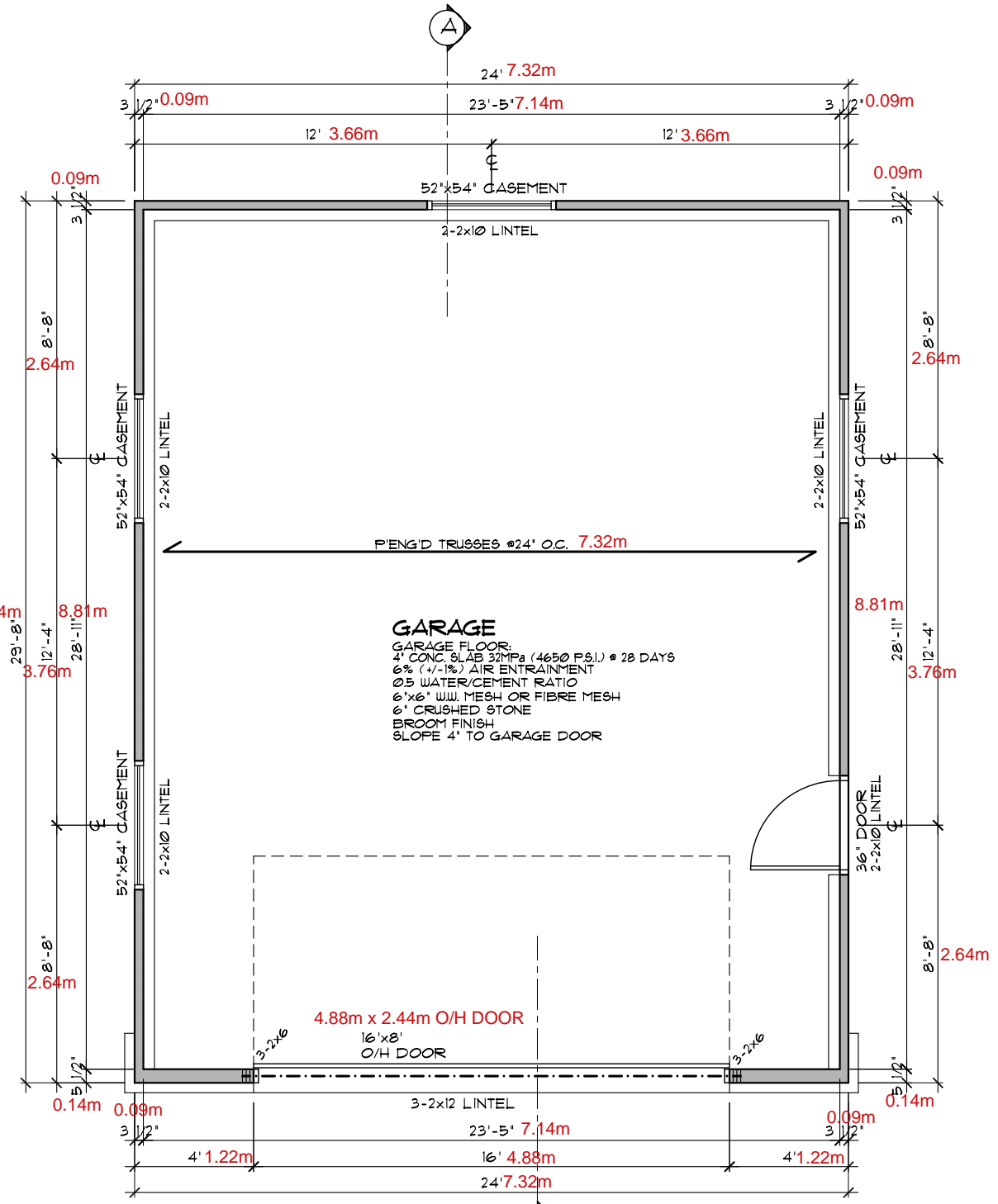


FOUNDATION PLAN



GROUND FLOOR

NOTE
CHECK WITH MANUFACTURER FOR EXACT ROUGH-OPENING REQUIREMENTS FOR ALL DOORS AND WINDOWS

- GENERAL NOTES:
-E. & O. E.
-DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED
-IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES TO LAND ARK HOMES.
-GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE WITH THE O.B.C. ANY MUNICIPAL BYLAWS & ALL OTHER APPLICABLE CODES.

Committee of Adjustment
Received | Reçu le

2024-08-08

City of Ottawa | Ville d'Ottawa
Comité de dérogation

NO.	REVISION	DATE

LUXART
HOMES

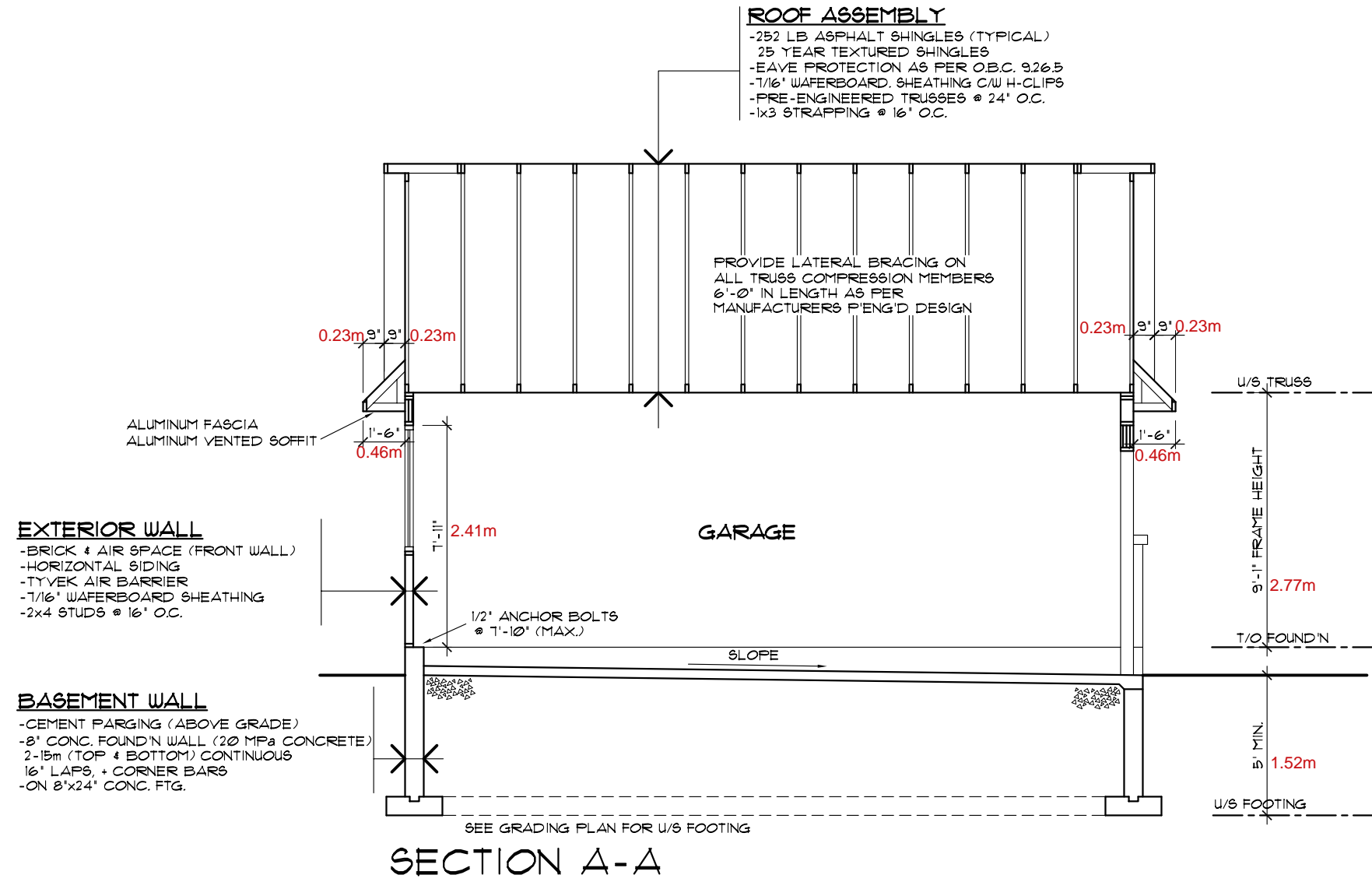
DRAWINGS BY
Gerald St.Jean
915 Beauchamp Ave., Gloucester, ON, K1C 3A9
Tel: (613) 830-0142

MODEL
GARAGE

DWG TITLE
FLOOR PLANS

DATE DRAWN: OCT 2010	SCALE: 3/16" = 1'-0"
DRAWN: GS	FILE NAME: GARAGE.DWG
CHECKED: GS	DWG. NO. A-1

GENERAL NOTES:
 -E. & O. E.
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 -GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE WITH THE O.B.C. ANY MUNICIPAL BYLAWS & ALL OTHER APPLICABLE CODES.



NO.	REVISION	DATE

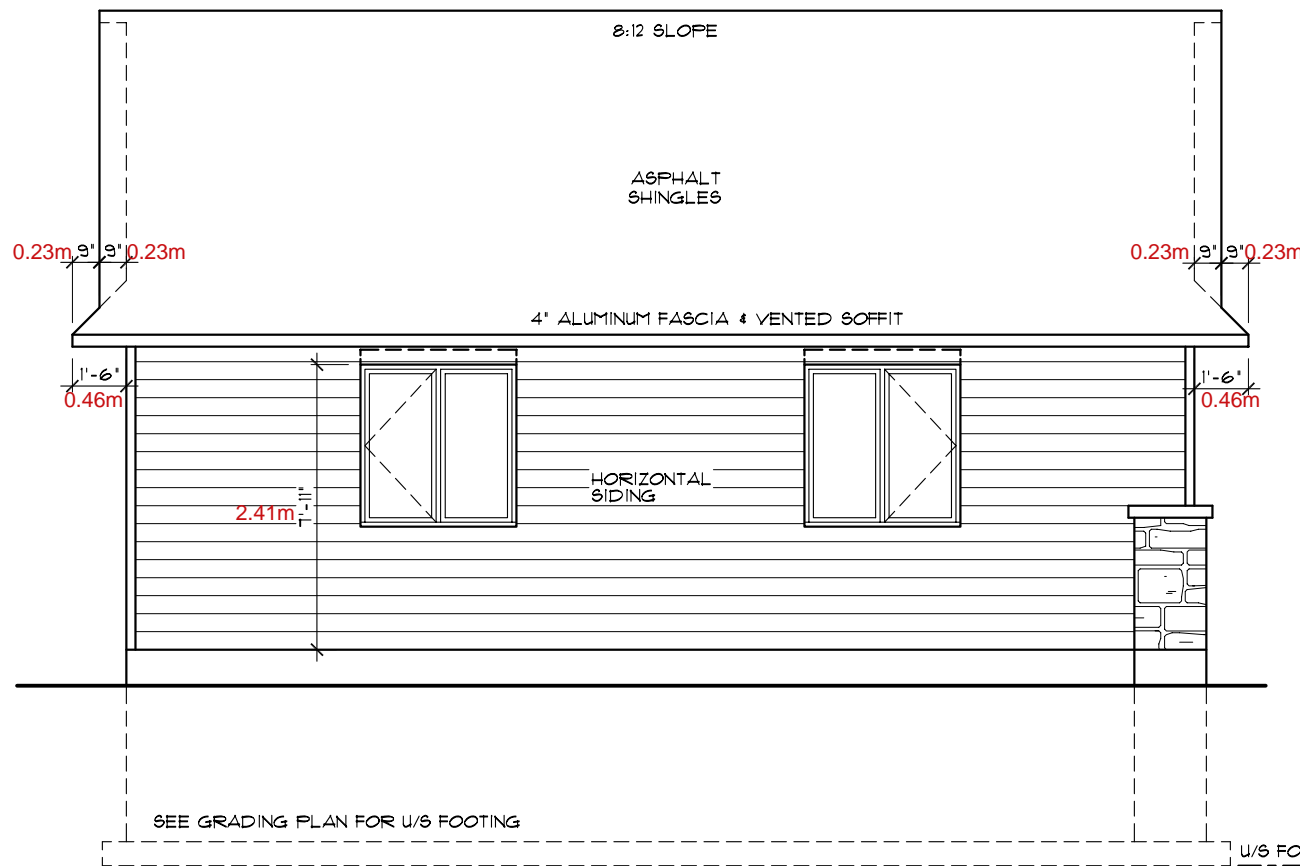
LUXART
 HOMES

DRAWINGS BY
Gerald St.Jean
 915 Beauchamp Ave., Gloucester, ON, K1C 3A9
 Tel: (613) 830-0142

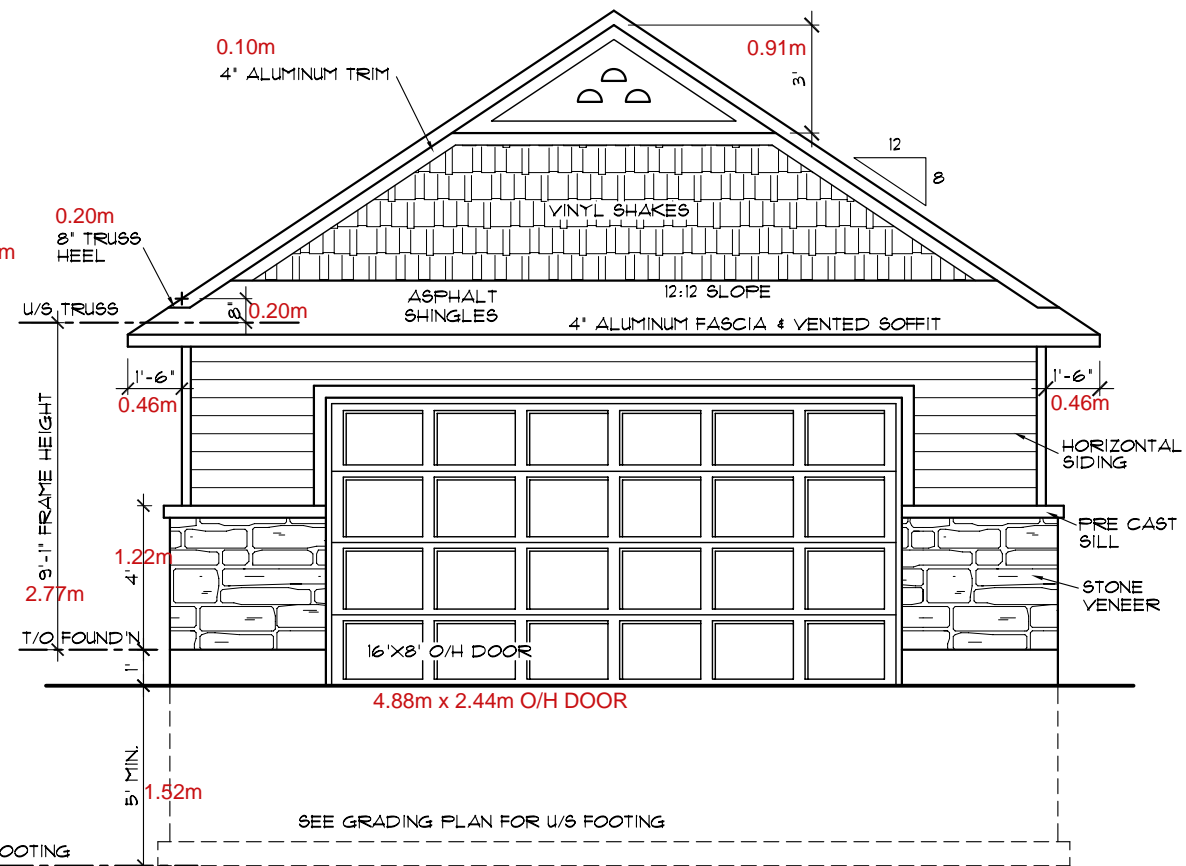
MODEL
GARAGE

DWG TITLE
SECTION A-A

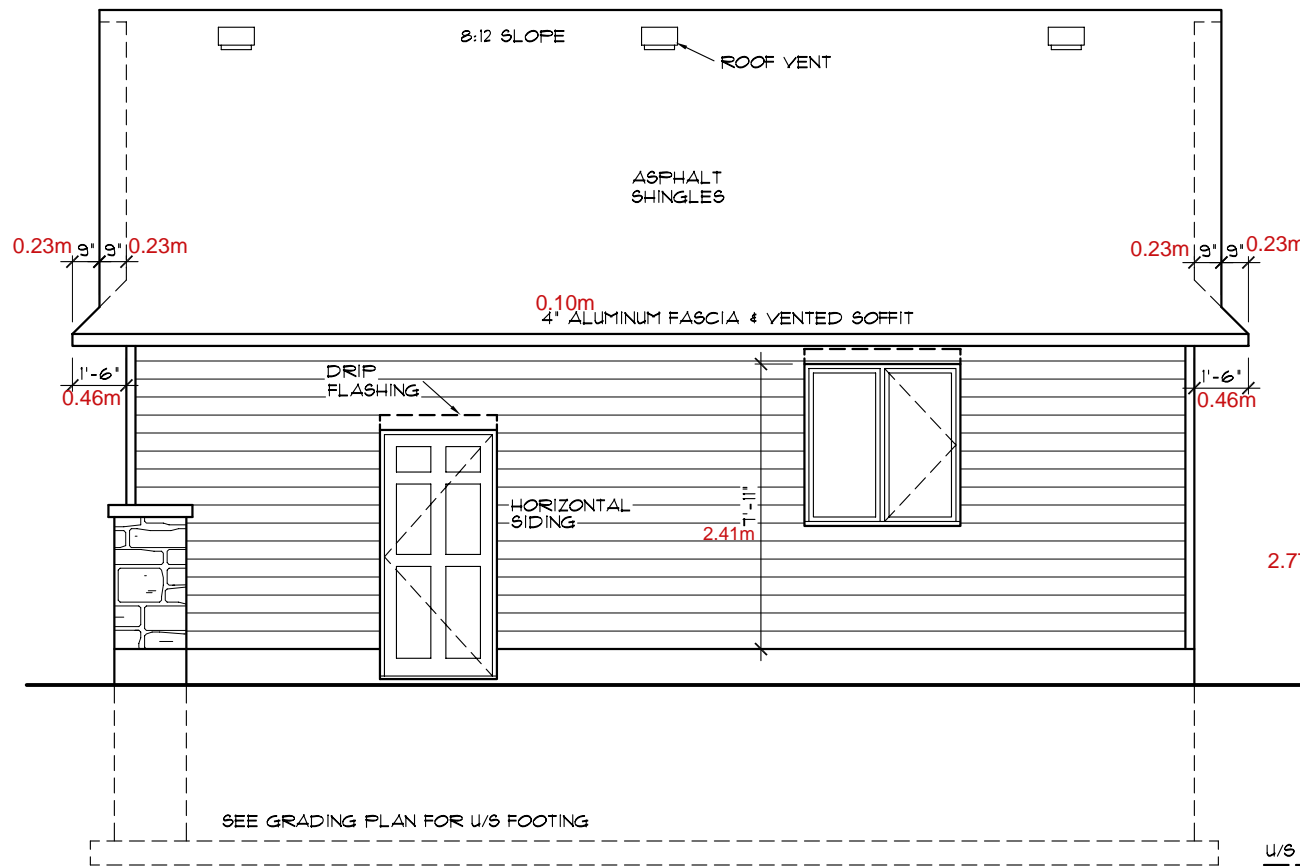
DATE DRAWN: OCT 2010	SCALE: 3/16" = 1'-0"
DRAWN: GS	FILE NAME: GARAGE.DWG
CHECKED: GS	DWG. NO. A-2



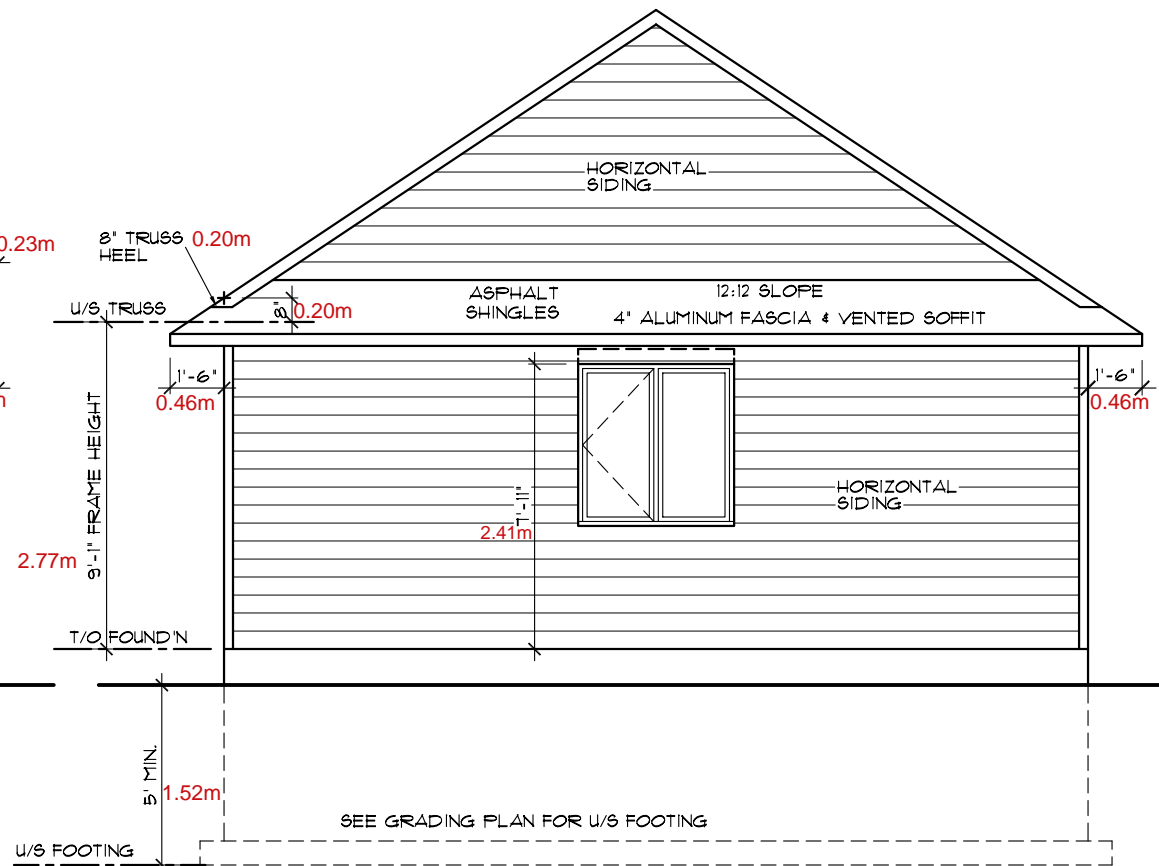
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

GENERAL NOTES:
-E. & O. E.
-DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED
-IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES TO LAND ARK HOMES.
-GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE WITH THE O.B.C. ANY MUNICIPAL BYLAWS & ALL OTHER APPLICABLE CODES.

NO.	REVISION	DATE

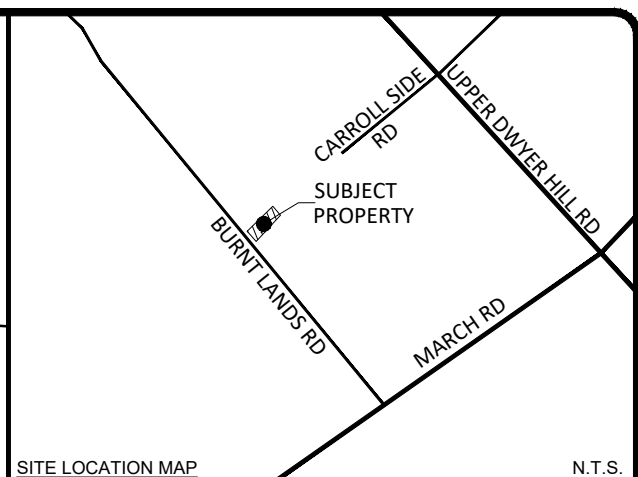
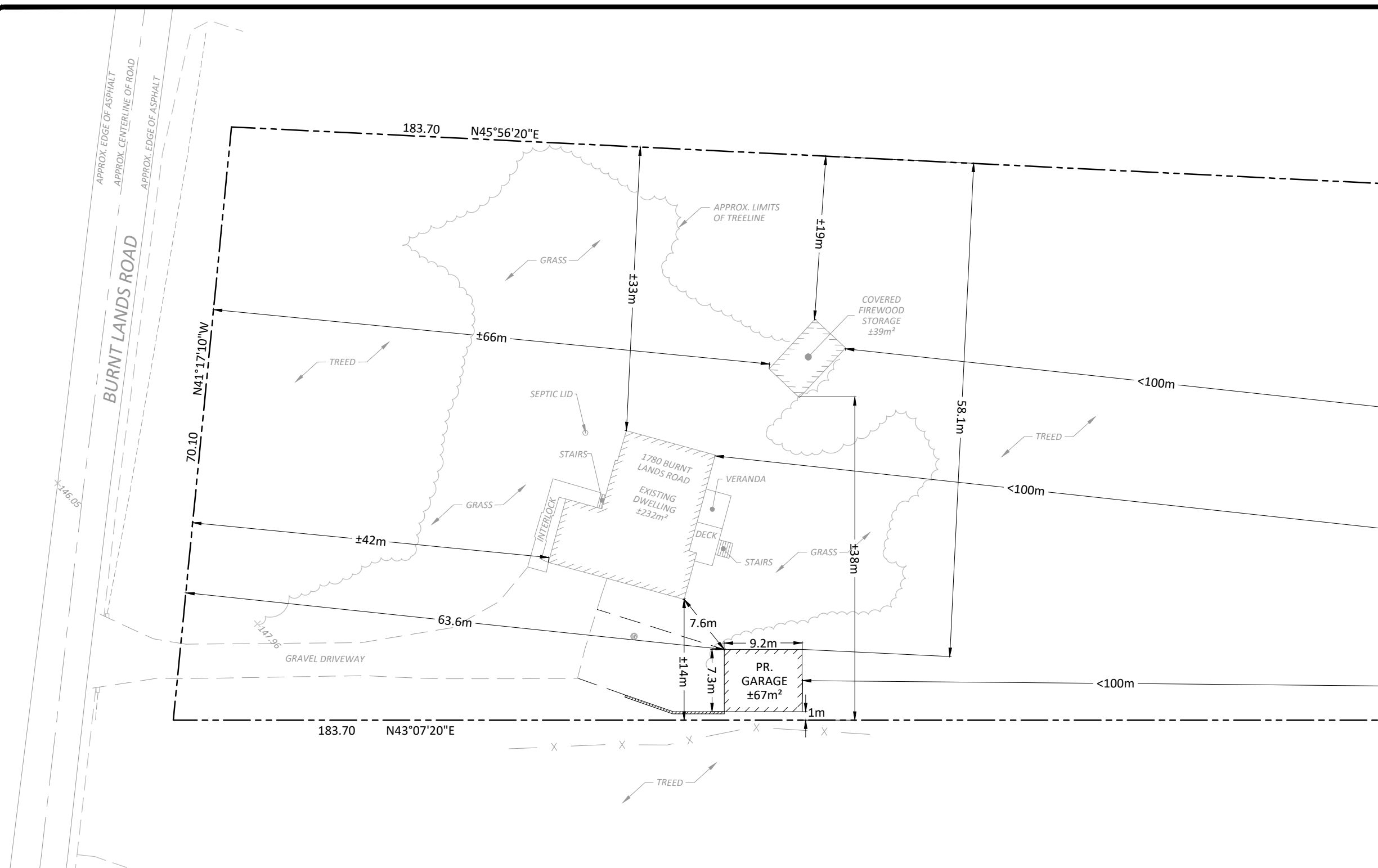
LUXART
HOMES

DRAWINGS BY
Gerald St.Jean
915 Beauchamp Ave., Gloucester, ON, K1C 3A9
Tel: (613) 830-0142

MODEL
GARAGE

DWG TITLE
ELEVATIONS

DATE DRAWN: OCT 2010	SCALE: 3/16" = 1'-0"
DRAWN: GS	FILE NAME: GARAGE.DWG
CHECKED: GS	DWG. NO. A-3



SITE LOCATION MAP N.T.S.
 SCALE BAR 0 10 20m
 ALL DIMENSIONS ARE IN METRES. DO NOT SCALE DRAWING

PAGE SIZE 11" x 17" SCALE 1:500

SHADE GROUP INC.
 4625 MARCH ROAD
 ALMONTE, ONTARIO
 K0A 1A0
 t: 613-889-9733 e:monica@shadegroup.ca



LEGEND

---	PROPERTY LINE
- - -	EX. CENTERLINE
---	EX. EDGE OF ASPHALT
---	EX. EDGE OF GRAVEL
- x -	EX. FENCE
---	EX. STRUCTURE
///	PR. RETAINING WALL (DESIGN BY OTHERS)
///	PR. STRUCTURE
---	PR. EDGE OF GRAVEL
⊙	EX. WELL

GENERAL NOTES

- ALL SURVEY DATA IS SHOWN FOR INFORMATION PURPOSES ONLY AND IMPLIES NO GUARANTEE OF ACCURACY. ALL DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- THE PROPERTY LINES SHOWN ON THIS PLAN HAVE BEEN REFERENCED FROM THE SURVEYOR'S REAL PROPERTY REPORT - PART 1; PLAN OF PART OF LOT 17, CONCESSION 11, GEOGRAPHIC TOWNSHIP OF HUNTLEY, CITY OF OTTAWA (FAIRHALL, MOFFATT & WOODLAND LIMITED, 2011/03/21) AS SUPPLIED BY THE CLIENT AND APPROXIMATED BASED ON THE OFFSETS TO THE HOUSE, AS SHOWN ON THE SRPR.
- THIS IS NOT A LEGAL SURVEY.
- THE OWNER IS RESPONSIBLE FOR ALL PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO CONSTRUCTION.
- LAYOUT BY OTHERS.
- IT IS RECOMMENDED THAT A LICENSED ONTARIO LAND SURVEYOR BE RETAINED TO CONFIRM THE LOCATION OF THE EAST PROPERTY LINE PRIOR TO CONSTRUCTION TO ENSURE THAT THE PROPOSED STRUCTURE REMAINS WITHIN THE OWNER'S PROPERTY LIMITS AND CONFORMS WITH THE MINIMUM 1m SETBACK.
- THIS PLAN HAS BEEN PROVIDED IN SUPPORT OF A BUILDING PERMIT FOR THE PROPOSED FREE STANDING GARAGE. THE PROPOSED GARAGE HAS BEEN DRAWN IN REFERENCE TO THE PLANS PREPARED BY GERALD ST JEAN, DATED OCT 2010, AS SUPPLIED BY THE CLIENT.

00	ISSUED FOR REVIEW	APRIL 26, 2024
REV.	DESCRIPTION	DATE
CLIENT	JENNA KEWLEY	
PROJECT ADDRESS	1780 BURNT LANDS ROAD	
PROJECT TITLE	PROPOSED DETACHED GARAGE	
DRAWING TITLE	SITE PLAN	



Approx. distance to Septic lid

+/-
33.2m

Approx. distance to well head

+/-
11.1m

1780

1784

1780

PROPOSED GARAGE
USF = SEE NOTE
T/FND=150.35**

USF NOTE

USF TO BE SET ON BEDROCK OR SUITABLE SUBGRADE CONDITIONS AS CONFIRMED BY A GEOTECHNICAL ENGINEER AT THE TIME OF CONSTRUCTION. AS PROPERTY IS LOCATED WITHIN AN AREA KNOWN FOR SHALLOW BEDROCK, IT IS NOT ANTICIPATED THAT 5' OF COVER OVER THE FOOTINGS WILL BE ACHIEVABLE, AND AS SUCH, THE FOOTING MAY REQUIRE FROST PROTECTION. REFER TO DIRECTION FROM A GEOTECHNICAL/STRUCTURAL ENGINEER. FROST PROTECTION, ENGINEERED FILL (IF APPLICABLE) AND FOUNDATION DESIGN BY OTHERS.
SUITABILITY OF SUBGRADE CONDITIONS TO BE CONFIRMED BY THE APPROPRIATE PROFESSIONAL PRIOR TO FOOTING INSTALLATION.

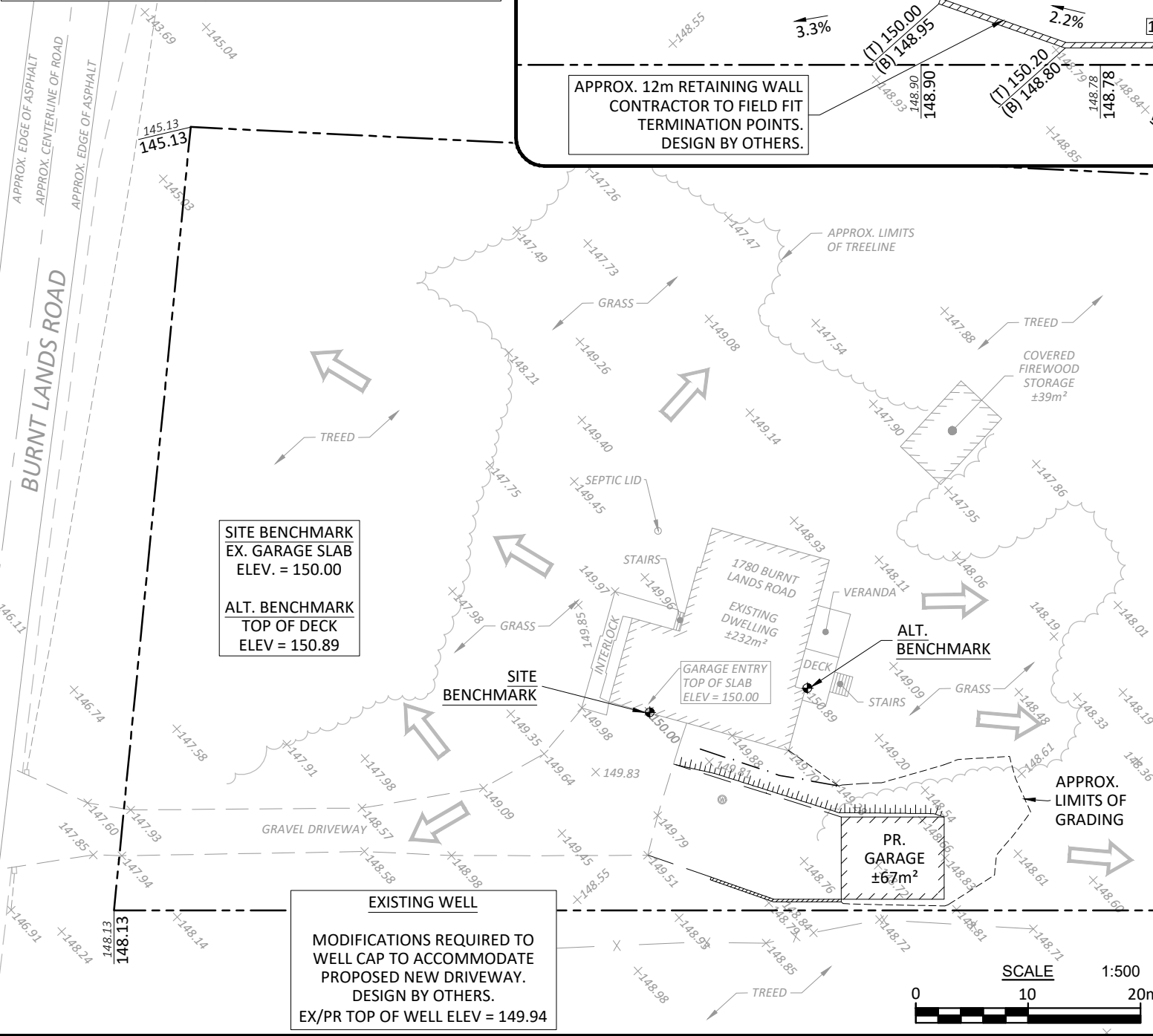
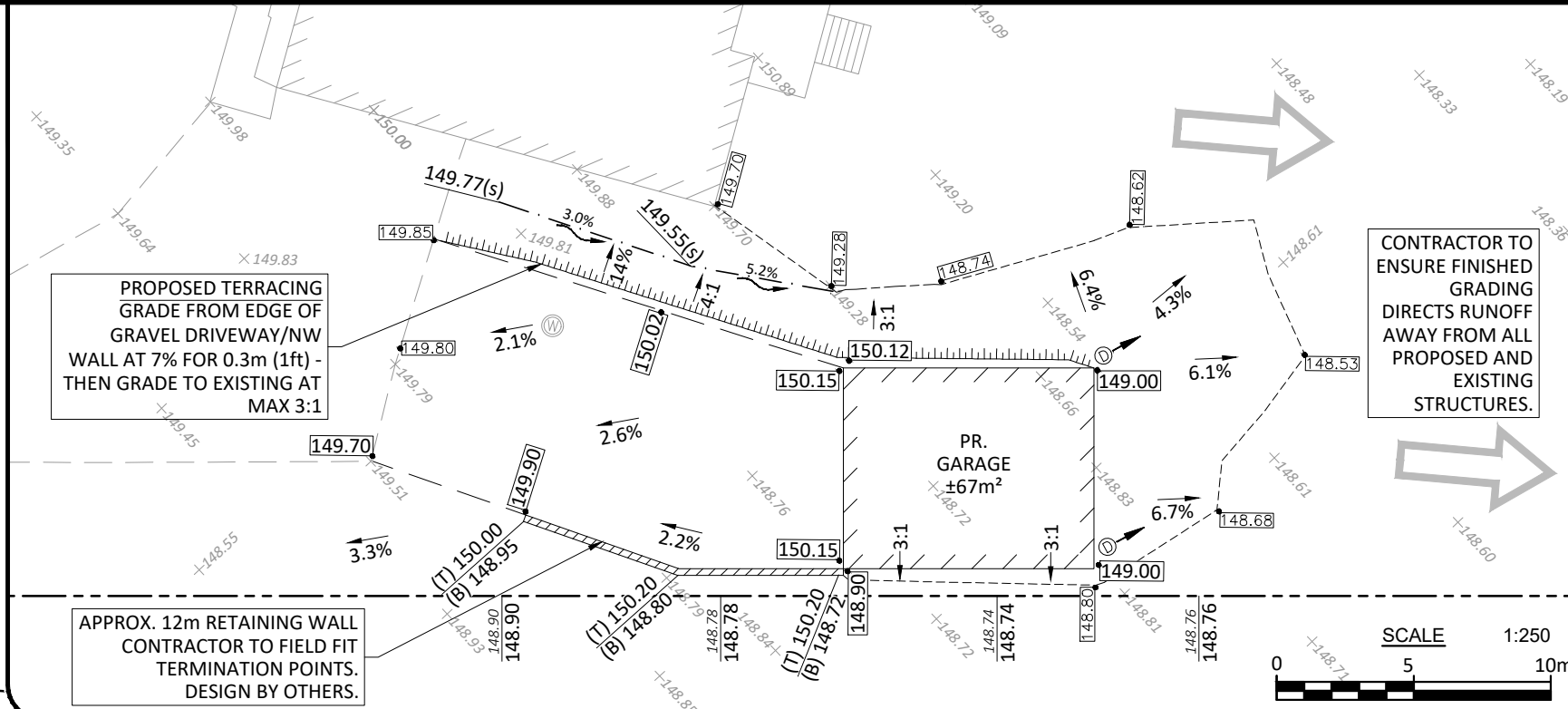
****T/FND NOTE****

TOP OF FOUNDATION ELEVATION HAS BEEN SET BASED ON CLIENT SUPPLIED DRAWINGS (1' ABOVE GARAGE ENTRY GRADE)

PROPOSED TERRACING GRADE FROM EDGE OF GRAVEL DRIVEWAY/NW WALL AT 7% FOR 0.3m (1ft) - THEN GRADE TO EXISTING AT MAX 3:1

APPROX. 12m RETAINING WALL CONTRACTOR TO FIELD FIT TERMINATION POINTS. DESIGN BY OTHERS.

CONTRACTOR TO ENSURE FINISHED GRADING DIRECTS RUNOFF AWAY FROM ALL PROPOSED AND EXISTING STRUCTURES.



GENERAL NOTES

- ALL TOPOGRAPHY, GROUND ELEVATIONS AND SURVEY DATA ARE SHOWN FOR INFORMATION PURPOSES ONLY AND IMPLY NO GUARANTEE OF ACCURACY. ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- ELEVATIONS WERE COLLECTED BY SHADE GROUP INC., ON APRIL 16, 2024 USING A SPECTRA PRECISION SP60 GNSS RECEIVER.
- THIS IS NOT A LEGAL SURVEY, UTILITY PLAN OR SITE PLAN - THE INFORMATION PROVIDED HEREON IS FOR GRADING AND DRAINAGE PURPOSES ONLY.
- THIS PLAN HAS BEEN PREPARED IN REFERENCE TO BUILDING PLANS SUPPLIED BY THE OWNER (GERALD ST. JEAN - GARAGE - OCTOBER 2010). A DETAILED FOUNDATION DESIGN WAS NOT AVAILABLE AT THE TIME OF THE PREPARATION OF THIS PLAN. IT IS RECOMMENDED THAT A STRUCTURAL ENGINEER BE RETAINED FOR THE FOUNDATION DESIGN.
- APPROXIMATE PROPERTY LINES HAVE BEEN DELINEATED BASED ON A CLIENT SUPPLIED SURVEY - SRPR FOR PART OF LOT 17, CONCESSION 1, GEOGRAPHIC TOWNSHIP OF HUNTLEY, PREPARED BY FAIRHALL, MOFFATT & WOODLAND LIMITED, 2011/03/21. THE PROPERTY LINES SHOWN ON THIS PLAN ARE NOT CONSIDERED SURVEY ACCURATE.
- THE OWNER IS RESPONSIBLE FOR ALL PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES PRIOR TO CONSTRUCTION.
- LAYOUT BY OTHERS. IT IS RECOMMENDED AN ONTARIO LAND SURVEYOR BE RETAINED TO CONFIRM THE LOCATION OF THE SOUTHEAST PROPERTY LINE PRIOR TO CONSTRUCTION TO ENSURE THE 1m SETBACK IS CONFORMED WITH.
- THIS PLAN HAS BEEN PROVIDED IN SUPPORT OF A BUILDING PERMIT FOR THE PROPOSED FREESTANDING GARAGE. IT HAS NOT BEEN PREPARED TO ADDRESS ANY PRE-EXISTING ON-SITE OR OFF-SITE DRAINAGE CONCERNS, IF APPLICABLE. COMPILED DATA IS LIMITED TO APPLICABILITY AS IT RELATES TO THE PROPOSED PERMIT APPLICATION.
- EAVESTROUGHING IS TO BE INSTALLED ON THE SIDES OF THE PROPOSED STRUCTURE. DOWNSPOUTS ARE TO BE DIRECTED AS SHOWN ON THE PLAN VIEW ABOVE. ROOF RUNOFF IS NOT TO BE DIRECTED TOWARDS THE NEIGHBOURING PROPERTY.
- MAXIMUM ALLOWABLE SLOPE IS TO BE 3:1. FINISHED GRADING TO BE COMPLETED TO DIRECT RUNOFF AWAY FROM ALL STRUCTURES. GRADING NOT TO EXTEND BEYOND THE PROPERTY LINE.
- ANY CHANGES MADE TO THIS PLAN ARE TO BE VERIFIED AND APPROVED BY SHADE GROUP INC. SHOULD THE GRADING PROPOSED HEREIN CONFLICT WITH SITE CONDITIONS ASSESSED DURING EXCAVATION, SHADE GROUP INC. IS TO BE CONSULTED ON ANY PROPOSED DEVIATIONS THAT MAY IMPACT SITE GRADING AND DRAINAGE.
- DETAILED DESIGN OF RETAINING WALL BY OTHERS.

SITE LOCATION MAP N.T.S.

ALL DIMENSIONS ARE IN METRES. DO NOT SCALE DRAWING

PAGE SIZE 11" x 17" SCALE VARIES

SHADE GROUP INC.
4625 MARCH ROAD
ALMONTE, ONTARIO
K0A 1A0



t: 613-889-9733 e:monica@shadegroup.ca

LEGEND

---	PROPERTY LINE	---	PR. STRUCTURE
---	EX. CENTERLINE	⊙	PR. DOWNSPOUT & DIRECTION OF DISCHARGE
---	EX. EDGE OF ASPHALT	150.10	DESIGN GRADE POINT (SURFACE GRADE)
---	EX. EDGE OF GRAVEL	3.9%	PR. OVERLAND FLOW ROUTE & SLOPE
x	EX. FENCE	3.9%	PR. SWALE, SLOPE AND DIRECTION
x	EX. STRUCTURE	149.22(s)	PR. SWALE INV. ELEVATION
+	EX. SPOT ELEVATION	(T)85.00	TOP AND BOTTOM ELEV OF RETAINING WALL
+	EX. OVERLAND FLOW ROUTE	(B)84.50	
+	SITE BENCHMARK		
---	EXISTING/PROPOSED PROPERTY LINE ELEVATION		
+	EX. ELEVATION - MATCH EXISTING FOR DESIGN		
---	PR. RETAINING WALL (DESIGN BY OTHERS)		

00 ISSUED FOR REVIEW APRIL 26, 2024

REV. DESCRIPTION DATE



CLIENT JENNA KEWLEY

PROJECT ADDRESS 1780 BURNT LANDS ROAD

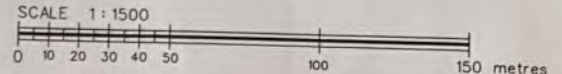
PROJECT TITLE PROPOSED DETACHED GARAGE

DRAWING TITLE GRADING AND DRAINAGE PLAN

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF
PART OF LOT 17
CONCESSION 11
GEOGRAPHIC TOWNSHIP OF HUNTLEY
CITY OF OTTAWA



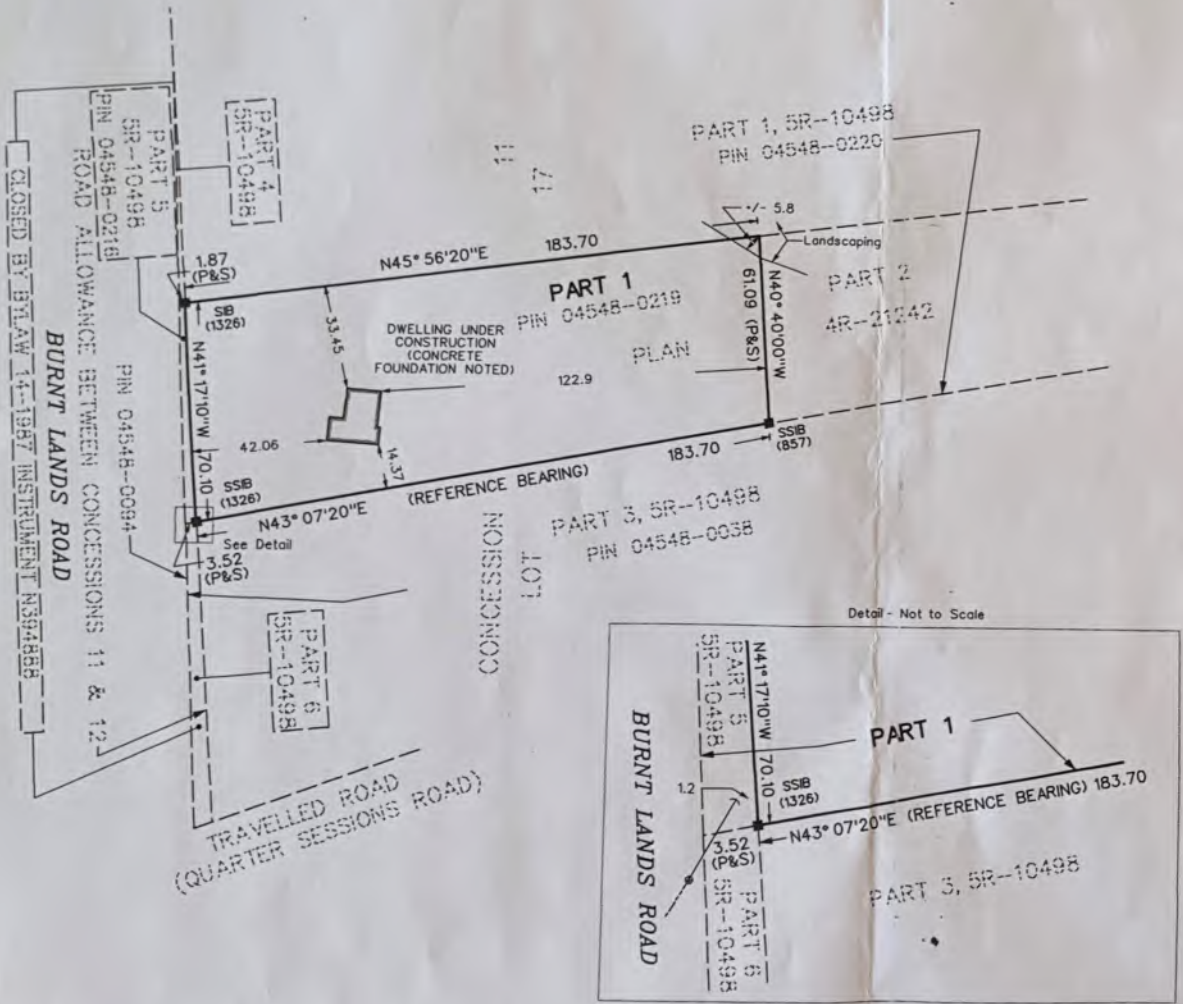
FAIRHALL, MOFFATT & WOODLAND LIMITED
 ONTARIO LAND SURVEYORS

NOTES

- BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH EASTERLY LIMIT OF PART 1 AS SHOWN ON PLAN 4R-21242, HAVING A RESULTANT BEARING OF N43°07'20"E.

LEGEND

- - SURVEY MONUMENT SET
- - SURVEY MONUMENT FOUND
- SIB - STANDARD IRON BAR
- SSIB - SHORT STANDARD IRON BAR
- IB - IRON BAR
- (P) - PLAN 4R-21242
- (S) - SET
- (M) - MEASURED
- (867) - FAIRHALL, MOFFATT & WOODLAND LIMITED, O.L.S.
- (1326) - W.R. TAGGART O.L.S.
- PIN - PROPERTY IDENTIFICATION NUMBER
- ← - GUY WIRE
- ⊙ - HYDRO POLE



SURVEYOR'S REAL PROPERTY REPORT - PART 2
REPORT SUMMARY

DESCRIPTION OF LAND
 PART OF LOT 17 CONCESSION 11, DESIGNATED AS PART 1, PLAN 4R-21242, SAVE AND EXCEPT PART 5 ON PLAN SR-10498 AS IN ALL OF PIN 04548-0219.

REGISTERED EASEMENTS
 NONE REGISTERED

REMARKS
 1. NOTE LOCATION OF GUY WIRE IN VICINITY OF MOST SOUTHERLY PROPERTY CORNER
 2. NOTE LIMIT OF LANDSCAPING AT MOST NORTHERLY PROPERTY CORNER
 3. PLEASE NOTE THAT A SEARCH OF LAND REGISTRY OFFICE RECORDS INDICATE THAT THE SUBJECT PROPERTY DOES NOT INCLUDE PART 5, PLAN SR-10498 WHICH IS OWNED BY CITY OF OTTAWA AS PART OF A CLOSED ROAD ALLOWANCE AS IN PIN 04548-0219.

THIS REPORT WAS PREPARED FOR
LUXART HOMES INC., MATTHEW KEWLEY & JENNA RYAN
 THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 1798294

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON DECEMBER 13, 2010.
 211/03/21
 DATE
 JOHN H. GUTHRIE
 ONTARIO LAND SURVEYOR

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 28 (3).

Fairhall Moffatt & Woodland LIMITED
 ONTARIO LAND SURVEYORS
 Surveying and Land Information Services
 100 - 600 TERRY FOX DRIVE, OTTAWA, ONTARIO K2L 4R6
 TEL: (613) 591-2580 FAX: (613) 591-1495
 www.fmw.on.ca

JOB No. N39800
 E 332310 N 5014350
 Drawing Name: SUBMISSION/PROVIDOR (H)
 REFERENCE No. 94-11-HUNTLEY