



ROAD ALLOWANCE BETWEEN LOTS 25 AND 26  
(REGIONAL ROAD No. 8)  
(KNOWN LOCALLY AS DEVINE ROAD)

**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1 Plan of**  
**PART OF LOT 26**  
**CONCESSION 7**  
**(Geographic Township of Cumberland)**  
**CITY OF OTTAWA**

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.  
Scale 1 : 400



**Metric**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Surveyor's Certificate**

- I CERTIFY THAT :
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the regulations made under them.
  2. The survey was completed on August 28, 2023.

Aug 29/23 Date  
Mer J. Allison  
Ontario Land Surveyor

This Plan of Survey relates to AOLS Plan Submission form number V-43989.

**PART 2**

1. REGISTERED RIGHTS-OF-WAY/EASEMENTS  
No rights-of-way or easements were found to be registered against the subject property.
2. PROPERTY IMPROVEMENTS  
A post and wire fence runs along the south boundary. Refer to the plan for ties to the boundaries.
3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS  
Compliance is not certified by this report.
4. ADDITIONAL REMARKS  
The building ties are to the unparged concrete foundation walls.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to  
Laura Somerville ("The Client"), their solicitors,  
mortgagees, and other related parties, permission to use original, signed, sealed  
copies of the Surveyor's Real Property Report in transactions involving The Client.

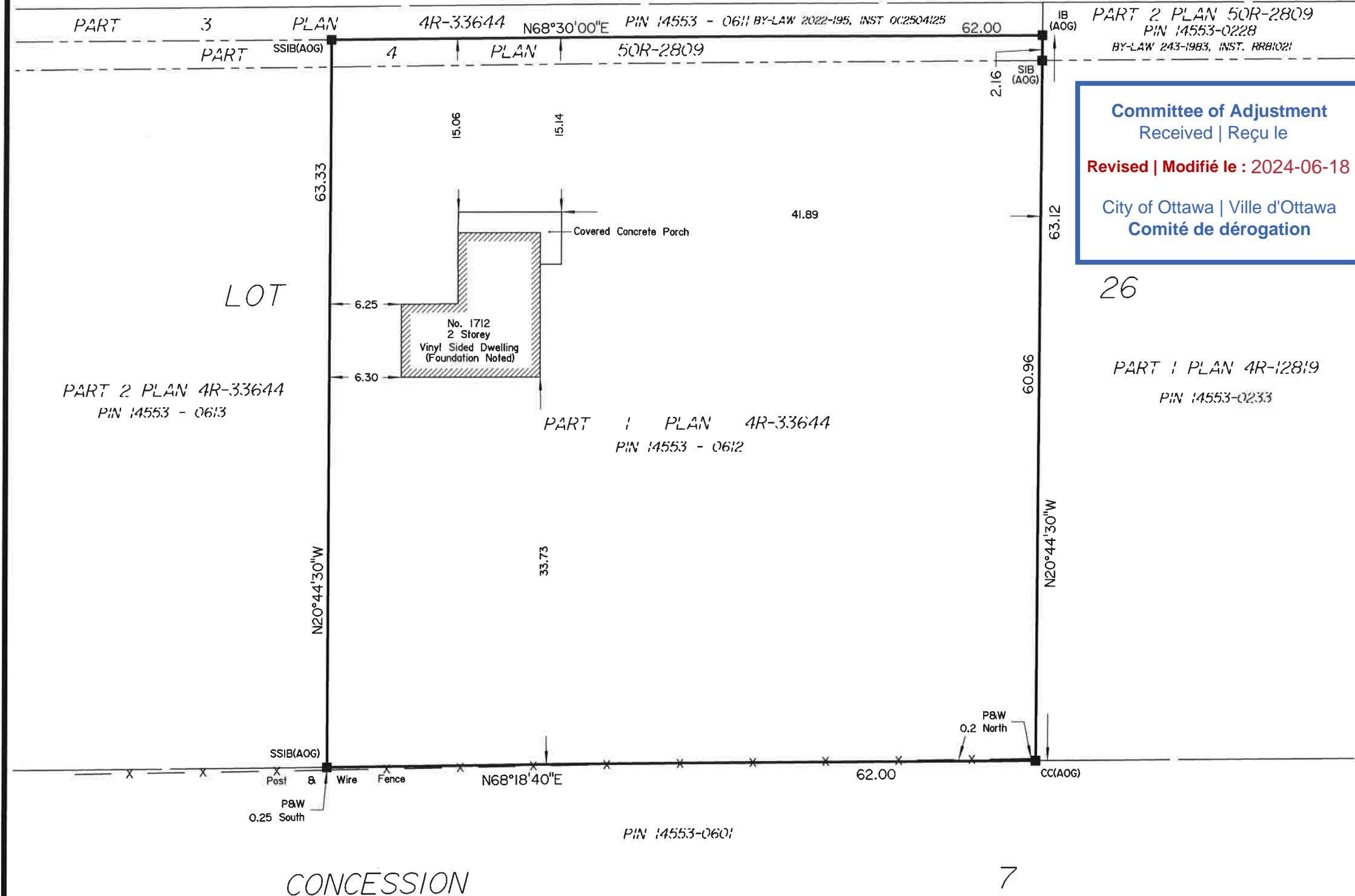
**Notes & Legend**

- Denotes Survey Monument Planted
- " Survey Monument Found
- SIB " Standard Iron Bar
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- CC " Cut Cross
- (WIT) " Witness
- (AOG) " Annis, O'Sullivan, Vollebakk Ltd.
- Meas. " Measured
- (P1) " Plan 4R-33644
- P&W " Post & Wire Fence

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**ANNIS, O'SULLIVAN, VOLLEBEKK LTD.**  
165 Bay Street  
Embrun, Ont. K0A 1W1  
Phone: (613) 443-3364  
Email: Embrun@aovltd.com

Ontario Land Surveyors Job No. E-3351-23



**Committee of Adjustment**  
Received | Reçu le  
**Revised | Modifié le : 2024-06-18**  
**City of Ottawa | Ville d'Ottawa**  
**Comité de dérogation**

26

PART 1 PLAN 4R-12819  
PIN 14553-0233

PART 2 PLAN 4R-33644  
PIN 14553 - 0613

PART 1 PLAN 4R-33644  
PIN 14553 - 0612

Bearings are grid, derived from Can-Net Real Time Network GPS observations and are referred to the Central Meridian of MTM Zone 9 NAD-83 (CSRS) (1997.0).

CONCESSION

7



ROAD ALLOWANCE BETWEEN LOTS 25 AND 26  
(REGIONAL ROAD No. 8)  
(KNOWN LOCALLY AS DEVINE ROAD)

Committee of Adjustment  
Received | Reçu le  
Revised | Modifié le : 2024-08-07  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT  
PART 1 Plan of  
PART OF LOT 26  
CONCESSION 7  
(Geographic Township of Cumberland)  
CITY OF OTTAWA  
Surveyed by Annis, O'Sullivan, Vollebek Ltd.  
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*Aug 29 2023*  
Date  
*Alison*  
Tyler J. Allison  
Ontario Land Surveyor

This Plan of Survey relates to AOLS Plan Submission form number V-43969.

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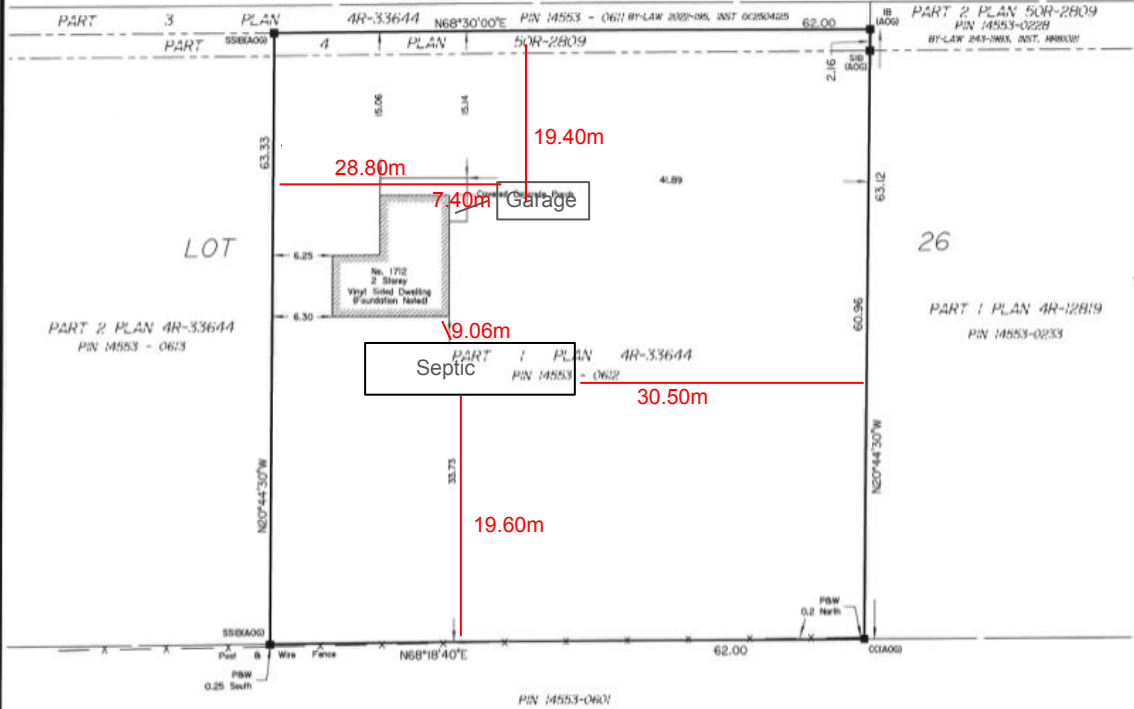
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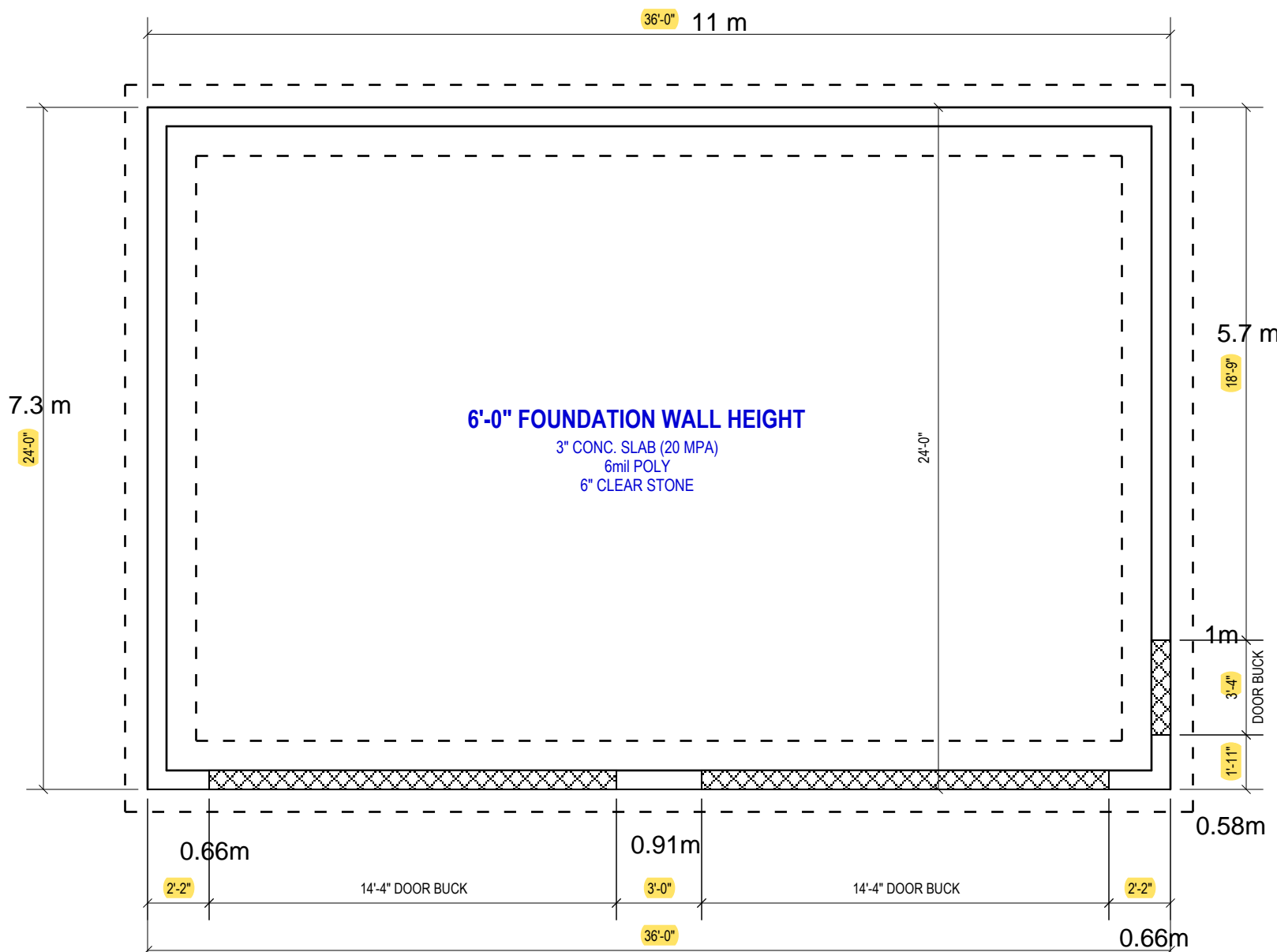
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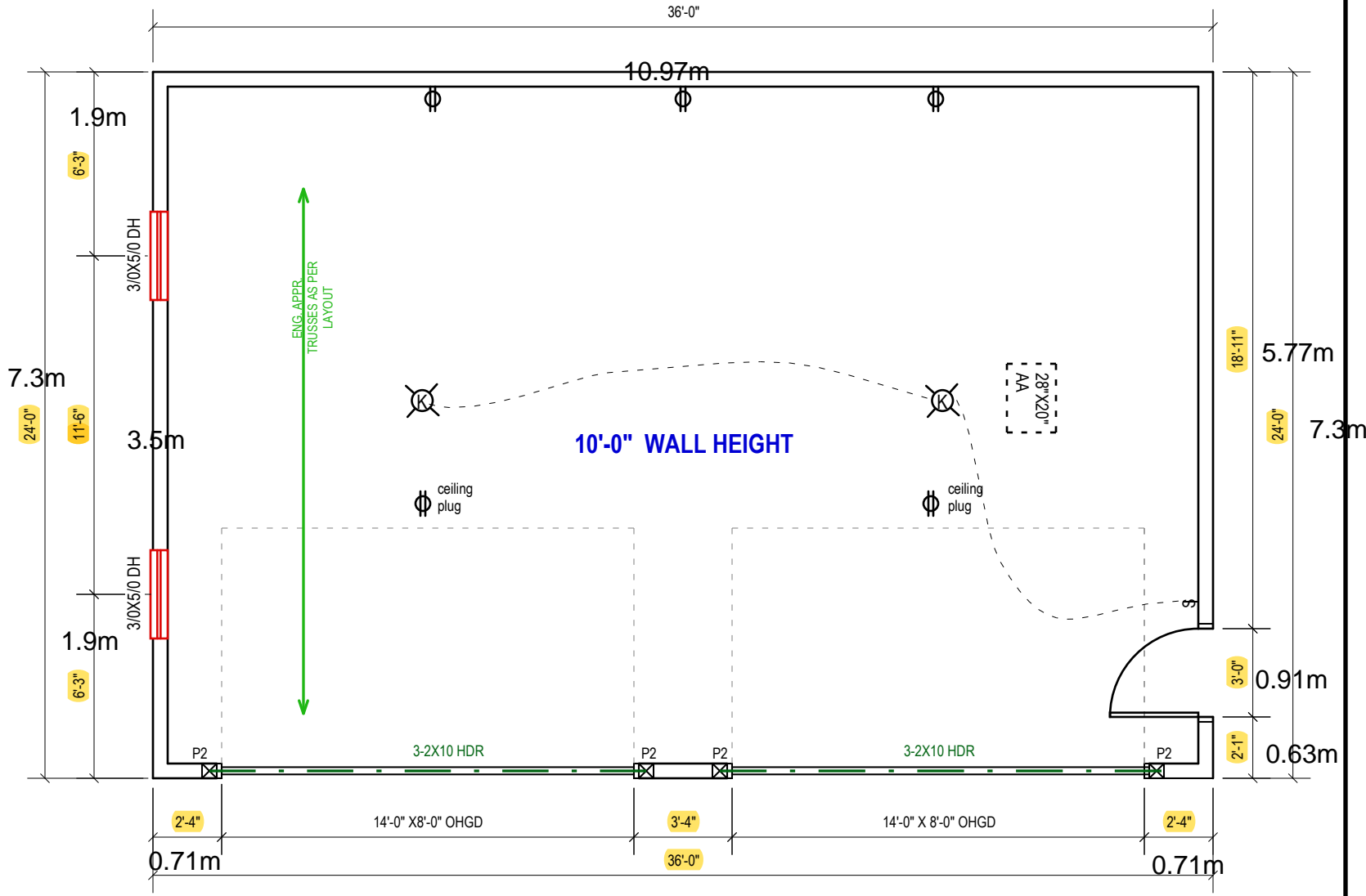
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Email: Embrun@avsltd.com  
Ontario Land Surveyors Lic. No. E-3350-23



7  
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**GARAGE FOUNDATION**



**GARAGE FLOOR PLAN**

**POST SCHEDULE**

P2 2-2X6  
P3 3-2X6  
P4 4-2X6

**ELECTRICAL LEGEND**

	THERMOSTAT & HRV CONTROL		POT LIGHT
	DUPLEX RECEPTACLE		CEILING MOUNTED LIGHT
	220V RECEPTACLE		WALL MOUNTED LIGHT
	A/C INTERCONNECTED SMOKE/CO DETECTOR		KEYLESS FIXTURE

**FOUNDATION WALL**

	FND. WALL
	DROPPED AREA
	DOOR BUCK

**FOUNDATION GENERAL NOTES:**  
 - 8" POURED CONC. STRIP FTG.  
 - PERIMETER STRIP FOOTINGS 24"X8"  
**MAIN FLOOR GENERAL NOTES:**  
 - ALL LINTELS TO BE 2-2X10 (UNLESS OTHERWISE NOTED)  
 - ALL BEAMS AND GIRDER TRUSSES REQUIRE 3-2X6 POSTS UNLESS NOTED  
 - STUDS OVER 10'-0" IN HEIGHT c/w blocking @7'-0" & 14'-0" (OTHER HEIGHTS MAY REQUIRE SPECIFIC BLOCKING AS PER PLAN)  
 - ATTIC ACCESS MINIMUM 3.4 sq. ft. WITH NO DIMENSION LESS THAN 21-1/2"

3.		
2.	FEB. 10, 2021	Garage size increased to 36'x24'
1.	JAN. 26, 2021	Prelim. Working Drawings

**6'-0" ICF FOUNDATION WALL HEIGHT & 10'-0" MAIN (WOOD) WALL HEIGHT**

Area	Sq. Ft.	Sq m
Garage	576 sq. ft.	81 sq. m

**SOIL BEARING CAPACITY ASSUMED TO BE 100 KPA, TO BE CONFIRMED ON-SITE**

GARAGE FOUNDATION & FLOOR PLAN  
SCALE: 3/16"=1'-0"

The undersigned has reviewed and undertaken the responsibilities for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code



GARAGE FRONT ELEVATION



GARAGE REAR ELEVATION

**ROOFER NOTES:**

- COMPACT ROOF AREAS ARE TO RECEIVE ICE & WATER SHIELD OVER ENTIRE SURFACE
- FLASH ROOF & WALL INTERSECTIONS
- FLASH ROOF & EAVE INTERSECTIONS
- FLASH ROOF VALLEYS
- MINIMUM FLASHING RETURNS TO ENSURE ADEQUATE PROTECTION AGAINST WATER DAMAGE
- WALL & ROOF INTERSECTIONS ARE TO RECEIVE ICE & WATER SHIELD AS REQUIRED

**EXTERIOR FINISH NOTES:**

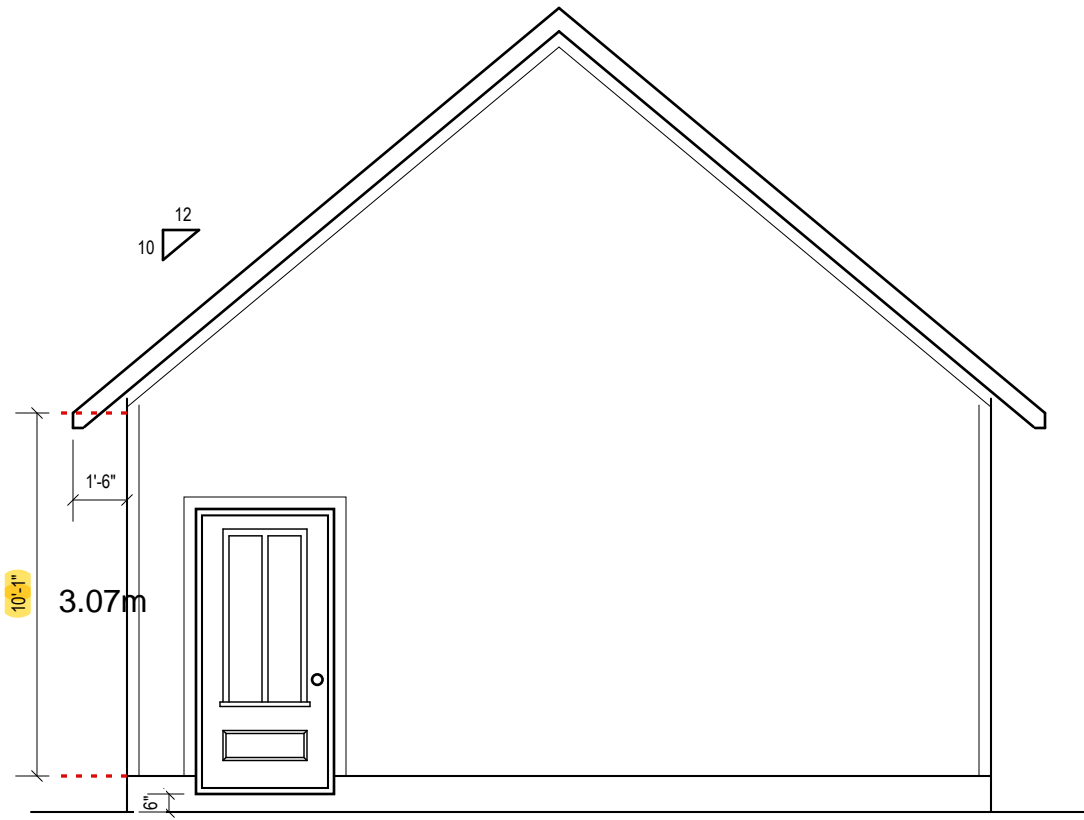
- ARCHITECTURAL SHINGLES
- EXTERIOR CLADDING
- OVERHANGS 18" UNLESS NOTED OTHERWISE
- PRE-FINISHED ALUMINUM VENTED SOFFIT AND 6" ALUMINUM FASCIA UNLESS NOTED OTHERWISE

#TBD DEVINE RD.  
VARS, ON.

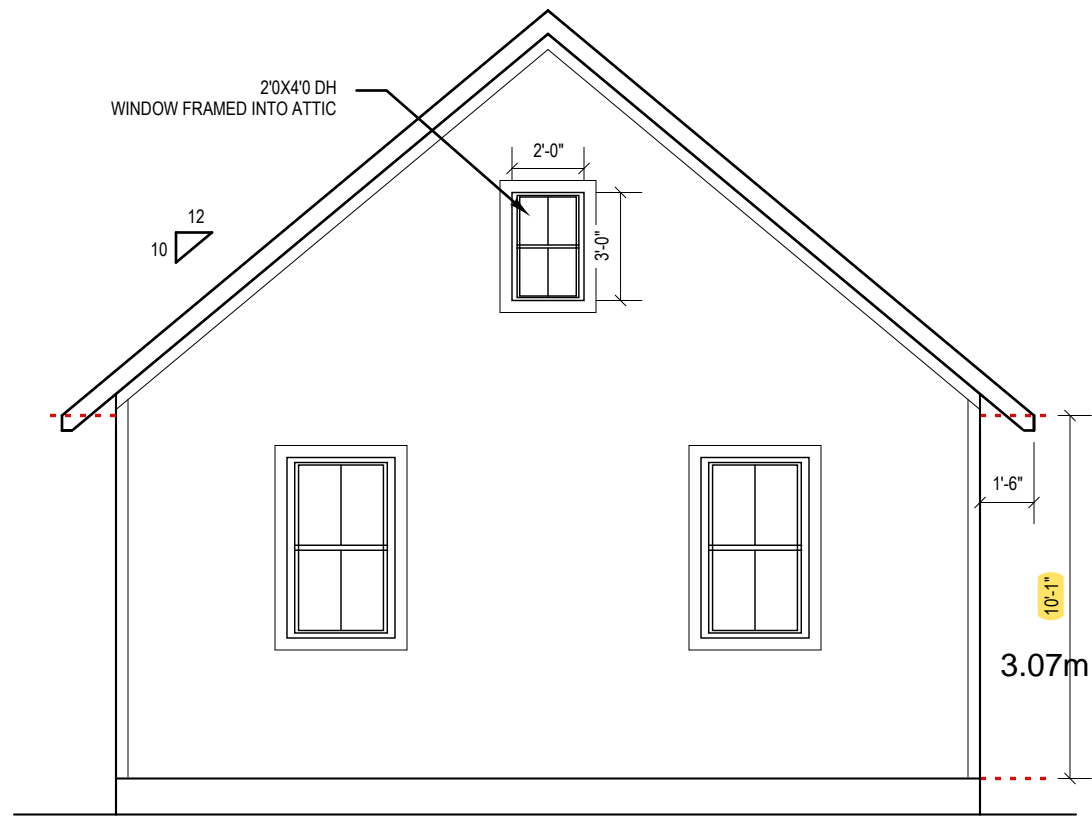
FRONT & REAR ELEVATION

SCALE: 3/16"=1'-0"

of	pg
2	4



RIGHT ELEVATION



RIGHT ELEVATION

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#TBD DEVINE RD.  
VARS, ON.

LEFT & RIGHT ELEVATION

SCALE: 3/16"=1'-0"

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