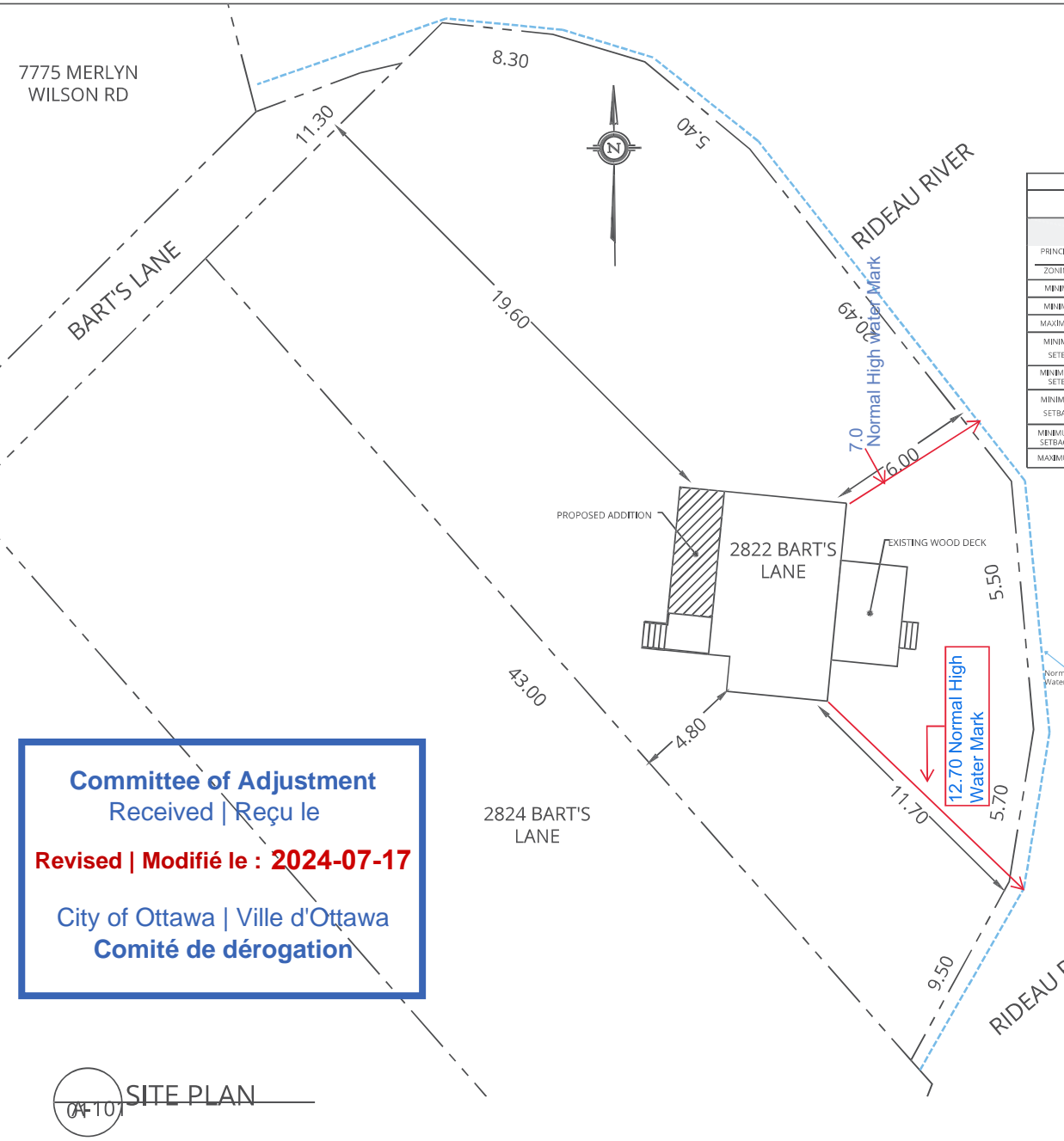


7775 MERLYN
WILSON RD



ZONING INFO		
LEGAL DESCRIPTION: PIN 042490100, PLAN 399 LOT 19		
ZONING	RU - RURAL COUNTRYSIDE ZONE	
PRINCIPAL DWELLING TYPE	DETACHED DWELLING	
ZONING REQUIREMENTS	REQUIRED	PROPOSED
MINIMUM LOT WIDTH	50 M	18.6 M (MV)
MINIMUM LOT AREA	0.8 HA	723.02 M ² (MV)
MAXIMUM BUILDING HEIGHT	12 M	6.99 M
MINIMUM FRONT YARD SETBACK	10 M	19.60 M
MINIMUM CORNER YARD SETBACK	10 M	6.00 M (MV)
MINIMUM REAR YARD SETBACK	10 M	11.70 M
MINIMUM INTERIOR SIDE YARD SETBACK	5 M	4.8 M
MAXIMUM LOT COVERAGE %	20	8.20

PROPOSED ADDITION AND RENOVATION

2822 Bart's Lane,
Kemptville, ON K0G 1J0

Client:
Regan and Lynn Oliver
2822 Bart's Lane,
Kemptville, ON K0G 1J0
oliver_landscaping@yahoo.ca
jalokiv9@hotmail.com



Architect:

05	
04	
03	
02	
01	Issued for Design Review
	06-18-2024
# REVISION	DATE

NOTE:
1. DO NOT SCALE DRAWINGS.
2. All dimensions are to be checked onsite. ALL errors and omissions and discrepancies or ambiguities on the drawings, specifications and any other contract documents, must be forwarded in writing to the Architect within two (2) days, upon discovery and prior to work on site or ordering materials.
3. All work must comply with Ontario Building Code.
4. All dimensions include thickness of gypsum board on stud walls.
5. Drawings to be read in conjunction with structural drawings.




Drawing Title:
SITE PLAN

Reviewed By:	Project Start Date: June 18, 2024
	Scale: AS INDICATED
	Drawn By:
	Job No.:
	Sheet No.:
	A-101
	OF ##

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2024-07-17
City of Ottawa | Ville d'Ottawa
Comité de dérogation

04/10 SITE PLAN



-  Floodplain
-  Area of Reduced Flood Risk
-  Area of Shallow Flooding

RVCA Reporting

RVCA Catchments

RVCA Catchments



Parcel - Assesment



Township Municipal



Geographic Township



RVCA Hazards, Regulations and Flo

Hazards

Spill Line



Regulation Limit



Regulated Wetlands




RVCA Natural Features

MNR Bathymetry



Wetlands

 Evaluated-Provincial (PSW)

 non-PSW Wetlands

Waterbody



Committee of Adjustment

Received | Reçu le

2024-06-24

City of Ottawa | Ville d'Ottawa

Comité de dérogation

Legend

Project

2822 Bart's Lane,
Kemptville

Proposed
Sections and
Flood Doors

Devon Roy
Contracting

Oaktree Engineering Limited
684 Bronson Avenue
Ottawa, ON
K1S 4E9

613-234-3000

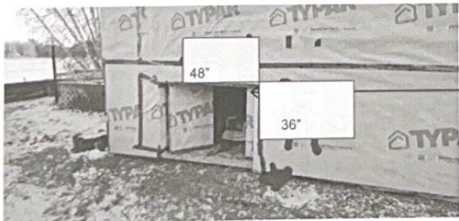
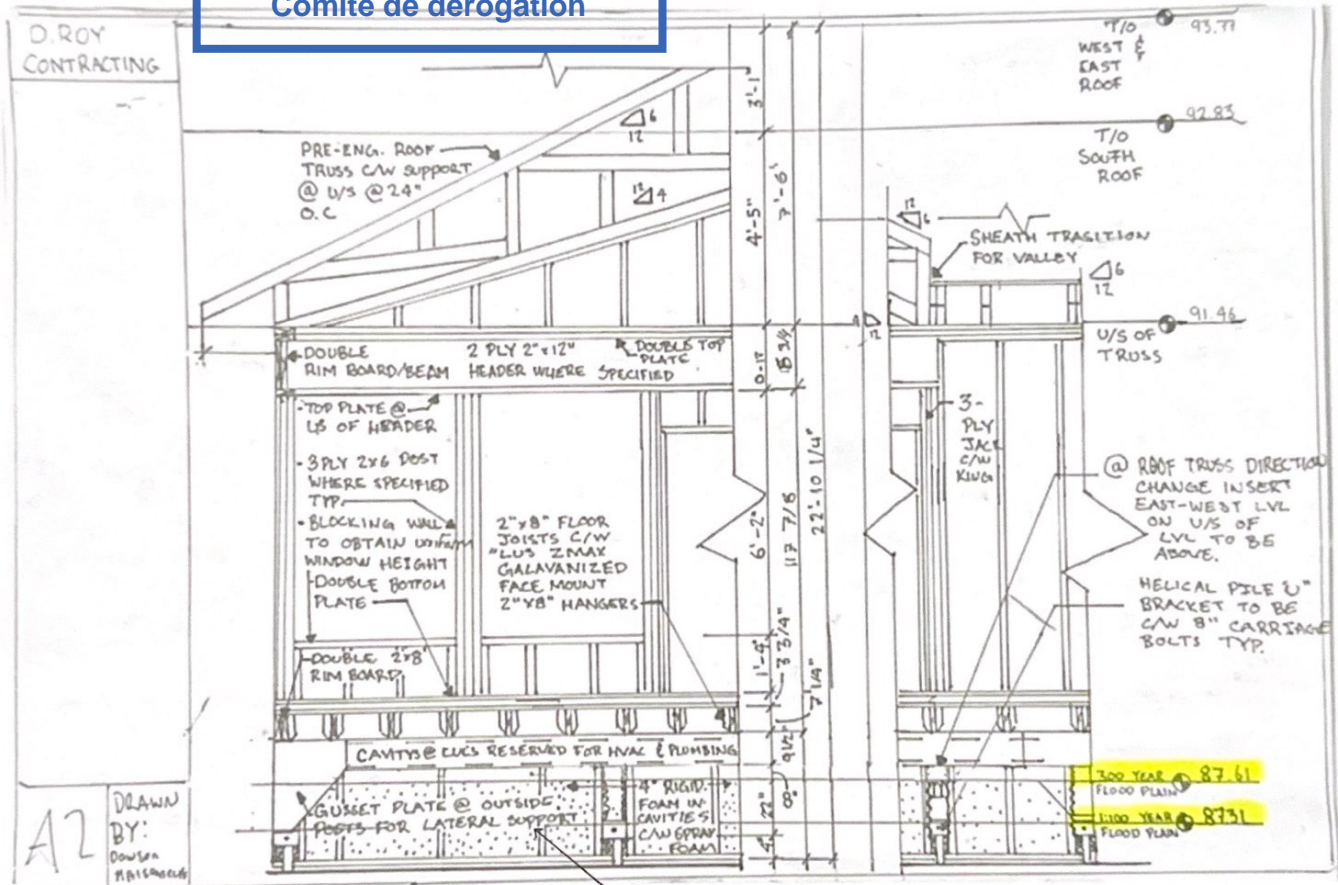
Mail@propertyinspection.ca



Scale NTS

Drawing Number 64833 - 6

January 2, 2023



Flood Doors - two flood doors will be installed with two way hinges which will allow water to flow in and out of the crawlspace as needed. Use self closing galvanized steel hinges. Hinge size minimum 6\"/>



Legend

H Helical piers by others

Project

2822 Bart's Lane,
Kemptville

Proposed Flood
Doors

Devon Roy
Contracting

Oaktree Engineering Limited
684 Bronson Avenue
Ottawa, ON
K1S 4E9

613-234-3000

Mail@propertyinspection.ca



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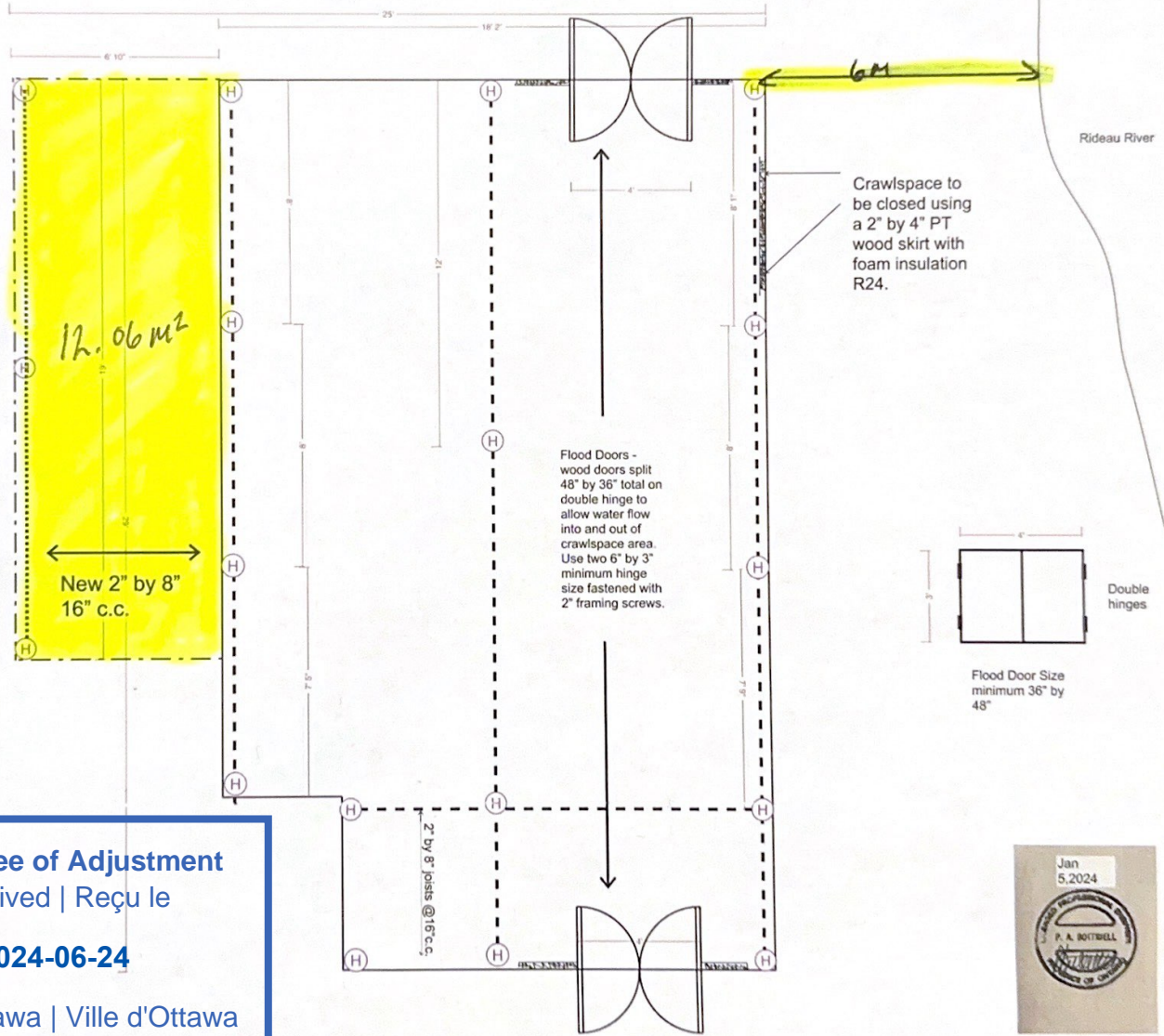
Drawing Number 64833 -
7/7

November 23, 2023

Committee of Adjustment
Received | Reçu le

2024-06-24

City of Ottawa | Ville d'Ottawa
Comité de dérogation



PROPOSED FLOOD PLAN



Legend

Project

2822 Bart's Lane,
Kemptville

Site Plan

Devon Roy
Contracting

Oaktree Engineering Limited
684 Bronson Avenue
Ottawa, ON
K1S 4E9

613-234-3000

Mail@propertyinspection.ca

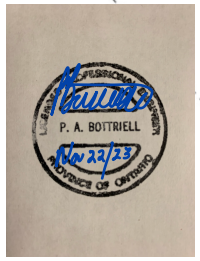
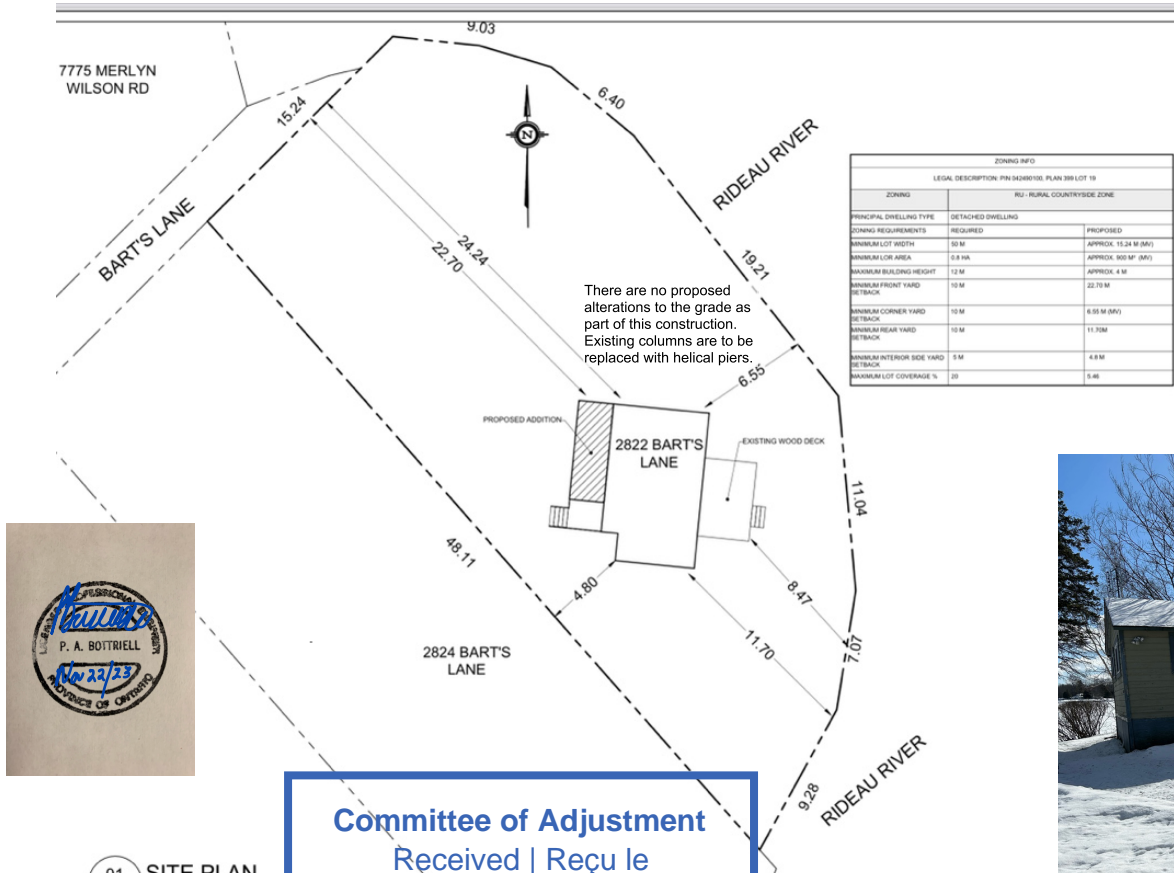


Scale NTS

Drawing number 64833-1
November 23, 2023

Project is the repair and replacement of the existing column foundation, alterations and addition to the first floor and new roof trusses.

- General Conditions
1. All work shall be in accordance with OBC 2012.
 2. The contractor is responsible for the location of all utilities.
 3. The contractor is responsible for verifying measurements prior to ordering materials and any discrepancies shall be brought to the engineer immediately.
 4. The current house has a perimeter insulated crawspace and this will be reinstated. The level of insulation will be determined by the proposed heating system to be installed.
 5. Material shortages may require adjustments to window and door openings and headers. This will be resolved on site.
 6. Roof cover will be asphalt shingles with ice shield to match the existing. All roof trim to be aluminum.
 7. Siding installation may require foam board insulation to meet insulation requirements.
 8. Any damage or rot found during siding removal will be reported to the engineer immediately.



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2024-06-24

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01 SITE PLAN
A-101 1/16"=1'-0"



Legend

Project

2822 Bart's Lane,
Kemptville

Site Plan

Devon Roy
Contracting

Oaktree Engineering Limited
684 Bronson Avenue
Ottawa, ON
K1S 4E9

613-234-3000

Mail@propertyinspection.ca



Scale NTS

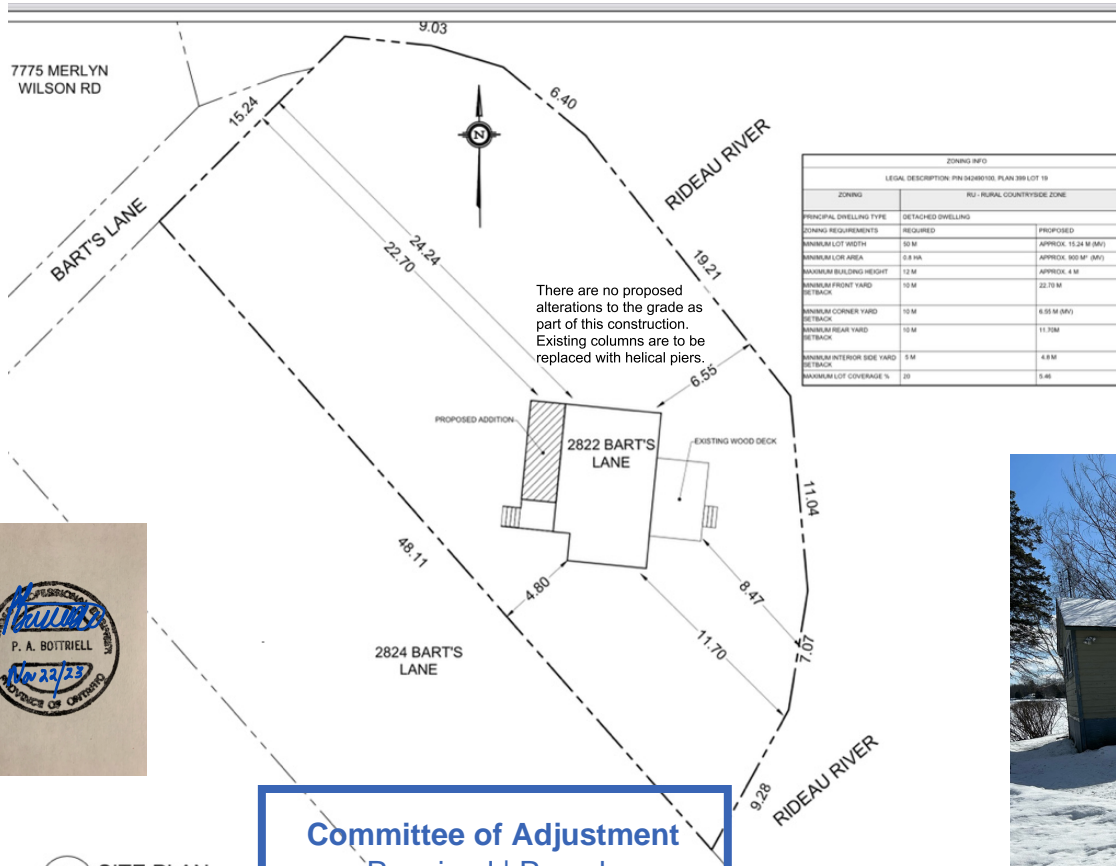
Drawing number 64833-1

November 23, 2023

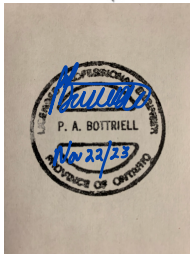
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ZONING INFO	
LEGAL DESCRIPTION: FN-34288100, PLAN 381 LOT 19	
ZONING	RU - RURAL COUNTRYSIDE ZONE
PRINCIPAL DWELLING TYPE	DETACHED DWELLING
ZONING REQUIREMENTS	REQUIRED
MINIMUM LOT WIDTH	30 M
MINIMUM LOT AREA	0.8 HA
MINIMUM BUILDING HEIGHT	1.2 M
MINIMUM FRONT YARD SETBACK	10 M
MINIMUM CORNER YARD SETBACK	10 M
MINIMUM REAR YARD SETBACK	10 M
MINIMUM INTERIOR SIDE YARD SETBACK	5 M
MINIMUM LOT COVERAGE %	20
	5.4%



01 SITE PLAN
A-101 1/16"=1'-0"

Committee of Adjustment
Received | Reçu le
DIMENSIONS ARE APPROXIMATE FROM GEO OTTAWA
2024-06-24
City of Ottawa | Ville d'Ottawa
Comité de dérogation



Legend

Project

Bart's Lane,
Kemptville

Existing First
Floor Plan

Oaktree Engineering Limited
684 Bronson Avenue
Ottawa, ON
K1S 4E9

613-234-3000

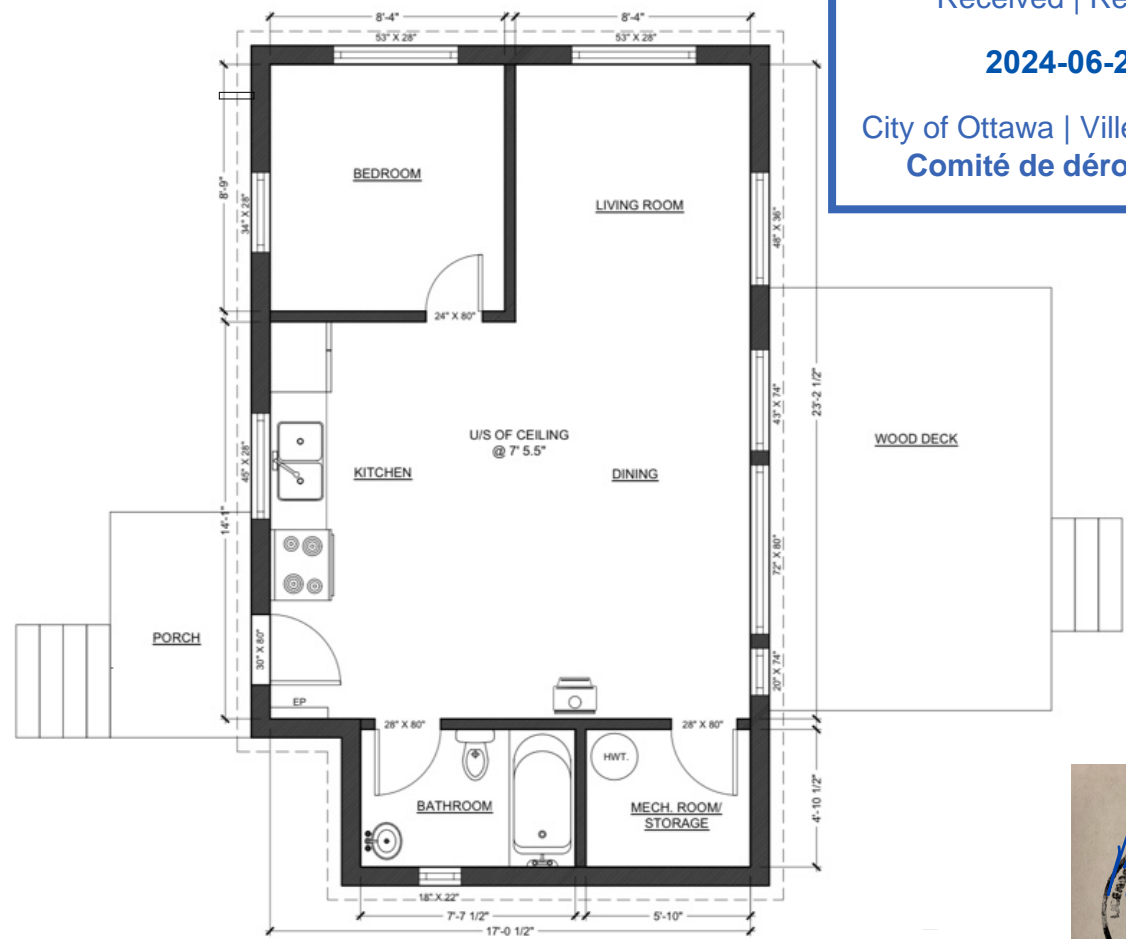
Mail@propertyinspection.ca



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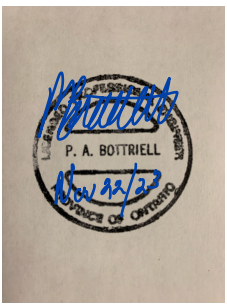
Drawing # 64833-3

November 23, 2023



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2024-06-24
City of Ottawa | Ville d'Ottawa
Comité de dérogation

01 **EXISTING FLOOR PLAN**
A-102 1/4"=1'-0"



Legend

 Helical piers by others

Project

2822 Bart's Lane,
Kemptville

Proposed
Foundation and
First Floor
Framing Plan
with Addition

Devon Roy
Contracting

Oaktree Engineering Limited
684 Bronson Avenue
Ottawa, ON
K1S 4E9

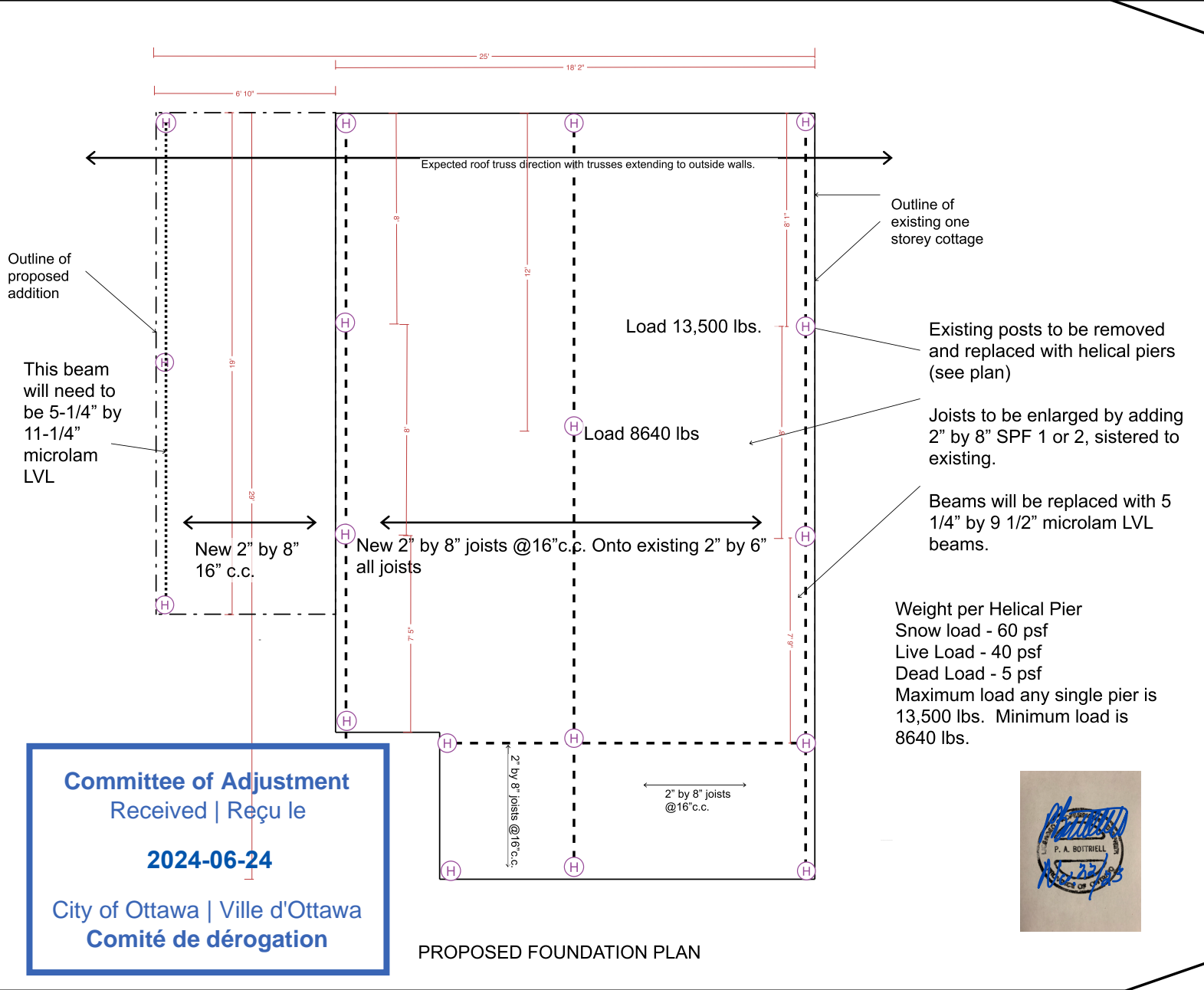
613-234-3000

Mail@propertyinspection.ca



Scale NTS

Drawing Number 64833 - 4
November 23, 2023

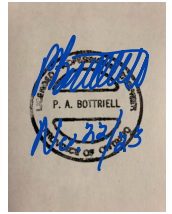


**Committee of Adjustment
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2024-06-24

**City of Ottawa | Ville d'Ottawa
Comité de dérogation**

PROPOSED FOUNDATION PLAN



Legend

Project

Bart's Lane,
Kemptville

Foundation and
First Floor
Framing Plan

Oaktree Engineering Limited
684 Bronson Avenue
Ottawa, ON
K1S 4E9

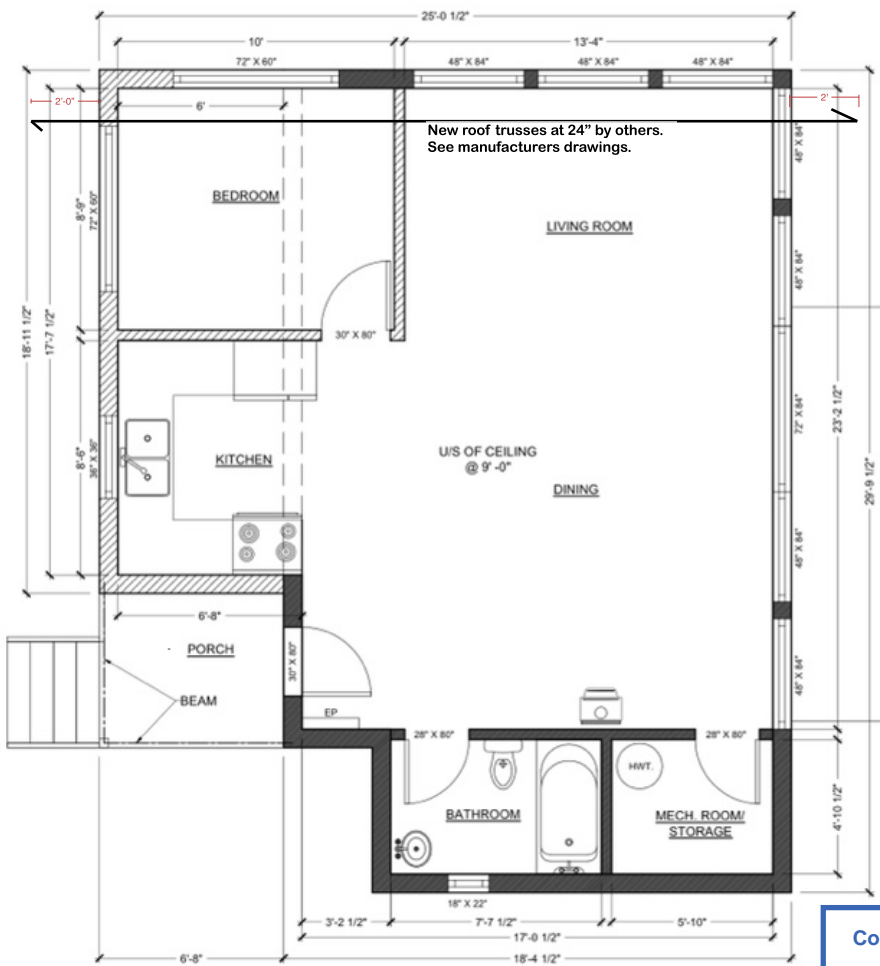
613-234-3000

Mail@propertyinspection.ca

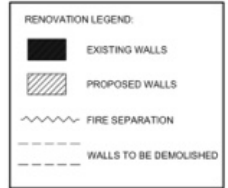


Scale NTS

Drawing # 64833 - 5
November 22, 2023



New roof trusses at 24" by others.
See manufacturers drawings.



Window Schedule - to be determined. All new windows to Energy Star standards as approved by the engineer or designer. Use 2-2" by 10" Header for spans up to 6 feet. Longer spans to be site designed by engineer.

New Wall Construction - section includes:
 -1/2" drywall or wood paneling
 -6mm vapour barrier with sealed joints
 -R24 insulation either foam spray or fibreglass and exterior 1" foam.
 -exterior sheathing 5/8" aspenite or brace wall if foam used.
 -exterior siding.

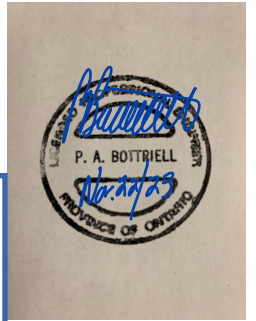
New roof Construction shall include:
 -1/2" clean finish drywall or paneling
 -6mm vapour barrier properly sealed
 -R50 insulation with soffit vent chutes and 2 Maxvents at peak

01 PROPOSED FLOOR PLAN
A-103 1/4"=1'-0"

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2024-06-24

City of Ottawa | Ville d'Ottawa
Comité de dérogation



Legend

Project

2822 Bart's Lane,
Kemptville

Proposed
Sections and
Flood Doors

Devon Roy
Contracting

Oaktree Engineering Limited
684 Bronson Avenue
Ottawa, ON
K1S 4E9

613-234-3000

Mail@propertyinspection.ca

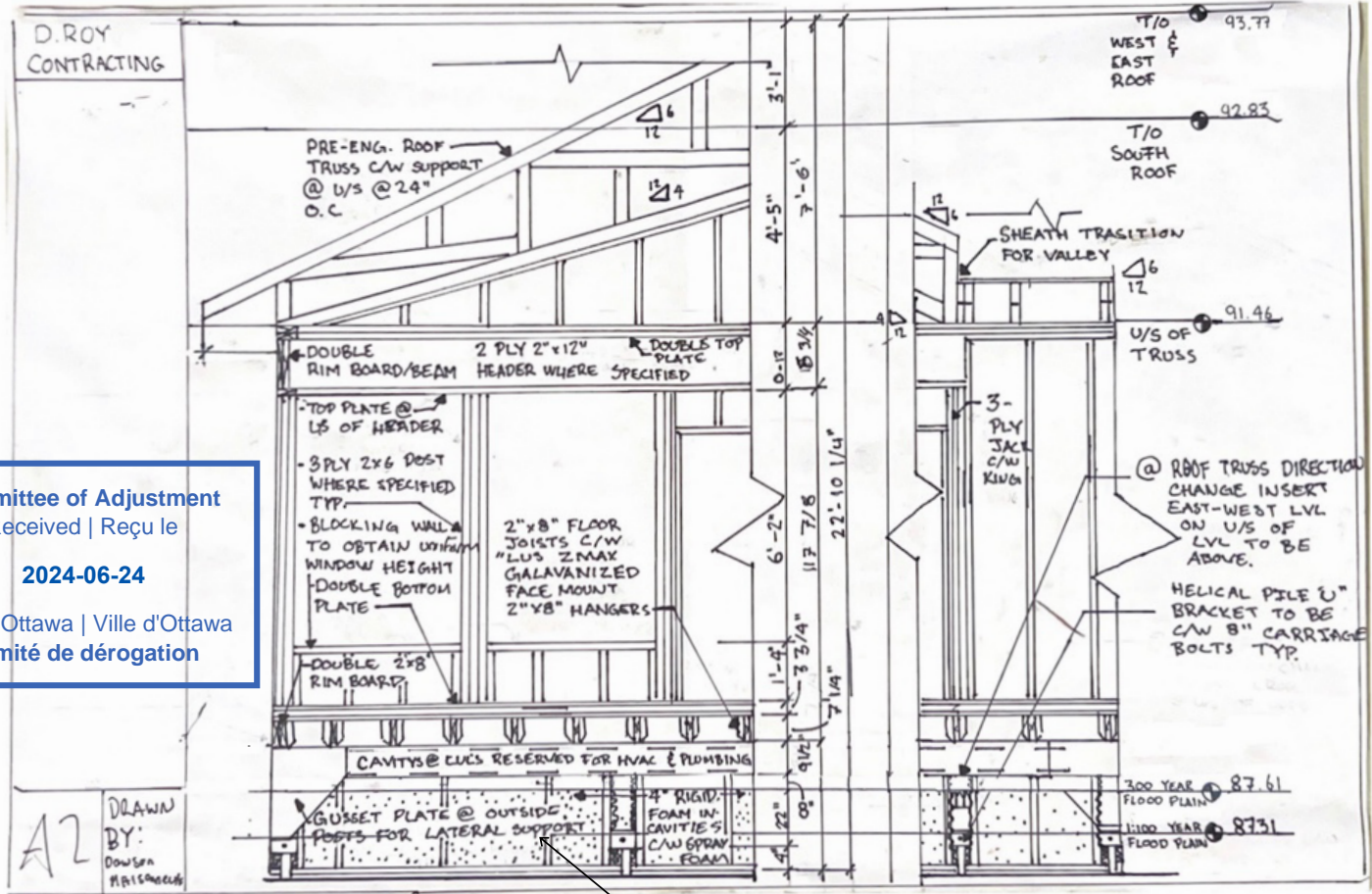
Committee of Adjustment
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2024-06-24
City of Ottawa | Ville d'Ottawa
Comité de dérogation



Scale NTS

Drawing Number 64833 - 6

January 2, 2023



Flood Doors - two flood doors will be installed with two way hinges which will allow water to flow in and out of the crawlspace as needed. Use self closing galvanized steel hinges. Hinge size minimum 6" by 2 1/8", 2 per door.

[Signature]
 P. A. BOITRIELL
 JUN 2/24

Legend

H Helical piers by others

Project

2822 Bart's Lane,
Kemptville

Proposed Flood
Doors

Devon Roy
Contracting

Oaktree Engineering Limited
684 Bronson Avenue
Ottawa, ON
K1S 4E9

613-234-3000

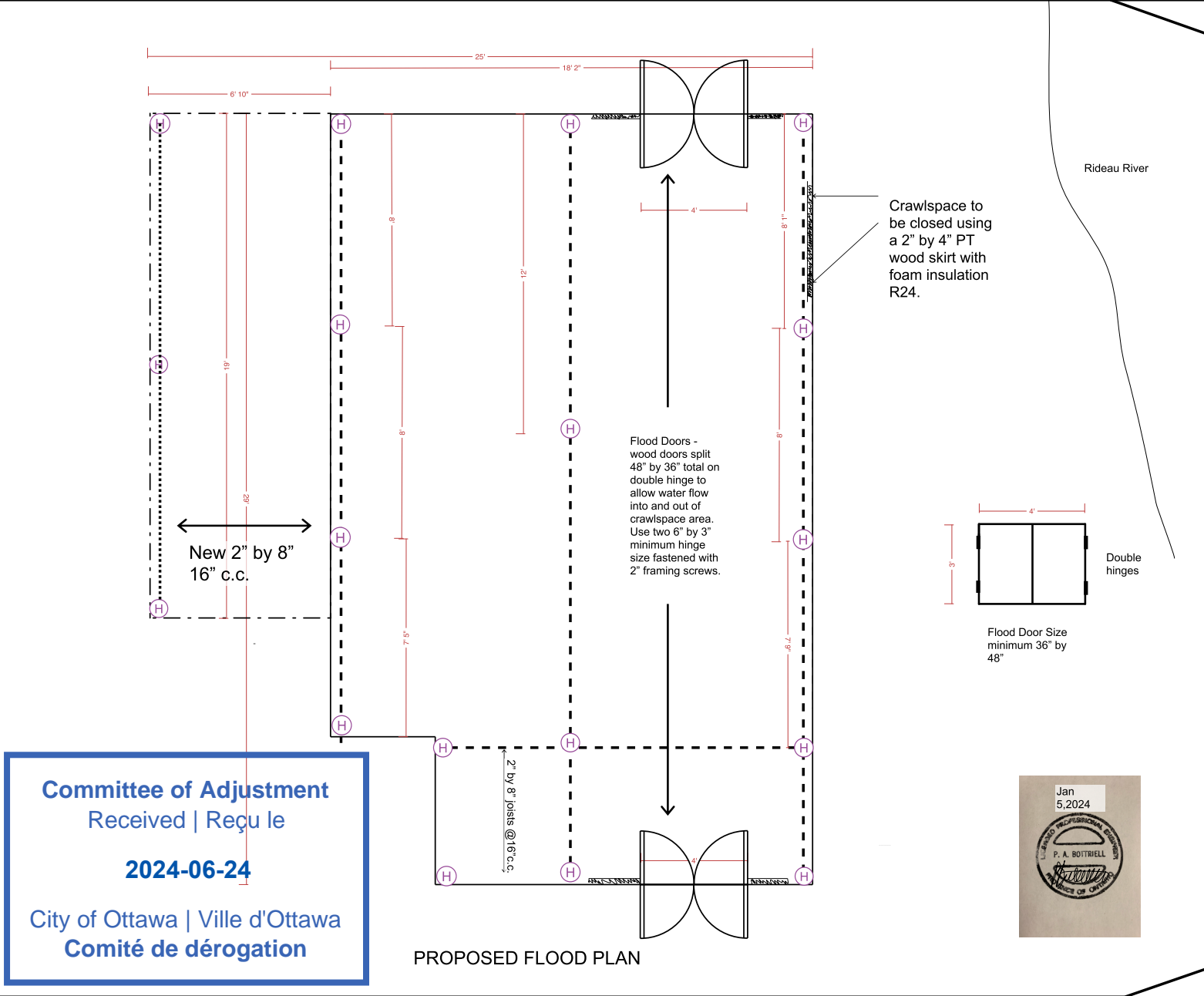
Mail@propertyinspection.ca



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Drawing Number 64833 - 7/7

November 23, 2023



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2024-06-24


**City of Ottawa | Ville d'Ottawa
Comité de dérogation**



PROPOSED FLOOD PLAN

Legend

 Concrete block posts 2" by 2" with concrete footing (presumed)

 Wood beam 4" by 4" or 4" by 6"

Project

2822 Bart's Lane,
Kemptville

Existing
Foundation and
First Floor
Framing Plan

Devon Roy
Contracting

Oaktree Engineering Limited
684 Bronson Avenue
Ottawa, ON
K1S 4E9

613-234-3000

Mail@propertyinspection.ca



Scale NTS

Drawing # 64833 - 2

November 22, 2023

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2024-06-24

**City of Ottawa | Ville d'Ottawa
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18' 3"

Outline of
proposed
addition

Outline of
existing one
storey cottage

Existing posts to be removed
and replaced with helical piers
(see plan)

Joists to be enlarged by adding
2" by 8" SPF 1 or 2, sistered to
existing.

Beams are inadequate they will
be replaced with 3- 2" by 10"
built up beams.

2" by 6" floor
joists @24" c.c.

Existing concrete block
posts with footings

Wood post and
footing

2" by 8" joists @16" c.c.

2" by 8" joists @16" c.c.

EXISTING FOUNDATION PLAN

