

ASHBURN

DRIVE

(REGISTERED PLAN 412297)

P. I. N. 04049 -- 0197

Committee of Adjustment
Received | Reçu le
2024-08-26
City of Ottawa | Ville d'Ottawa
Comité de dérogation

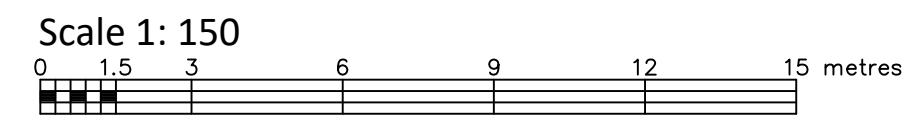
I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: _____
EMAD ALREFAAI
ONTARIO LAND SURVEYOR

PLAN 4R-
RECEIVED AND DEPOSITED
DATE: _____
REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	PART OF 224	289002	ALL OF 04049 - 0202	381.0
2				381.0

PLAN OF SURVEY OF
PART OF LOT 224
REGISTERED PLAN 289002
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2024



Metric Note
Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note
Bearings are MTM grid, derived from the southerly limit of the 0.3m reserve from Registered Plan 412297, having a bearing of N 57° 47' 10" E as per 4R-28100 and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°31'30" counter-clockwise was applied to bearings on P2.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5024715.50	366442.02
(B)	5024728.81	366463.18
01919680005	5027191.26	361496.76
01919680105	5024915.16	373971.65

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Surveyor's Certificate
I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
2. The survey was completed on the 26th day of February, 2024.

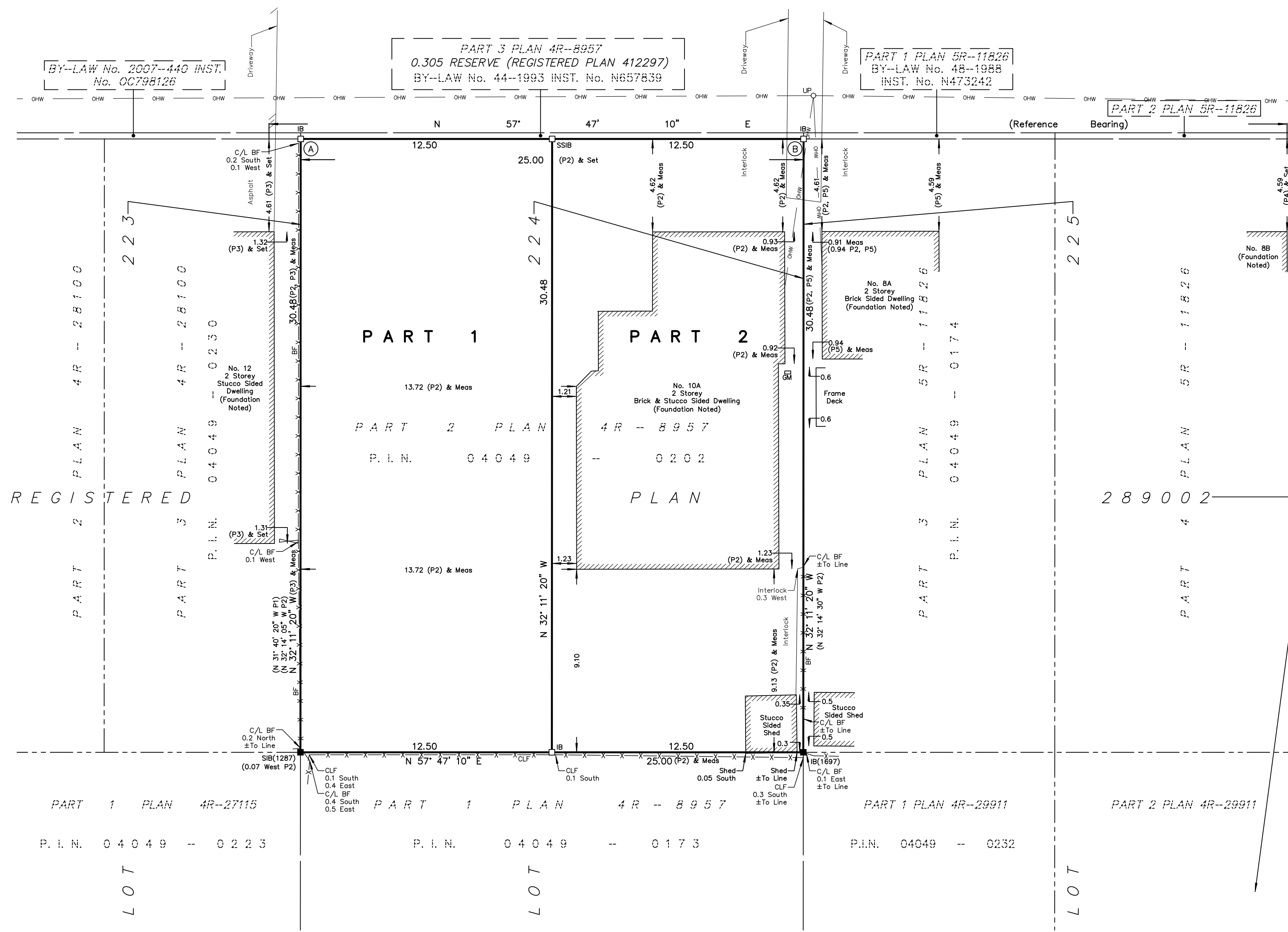
Date _____
Emad Alrefaai
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-73409

Notes & Legend

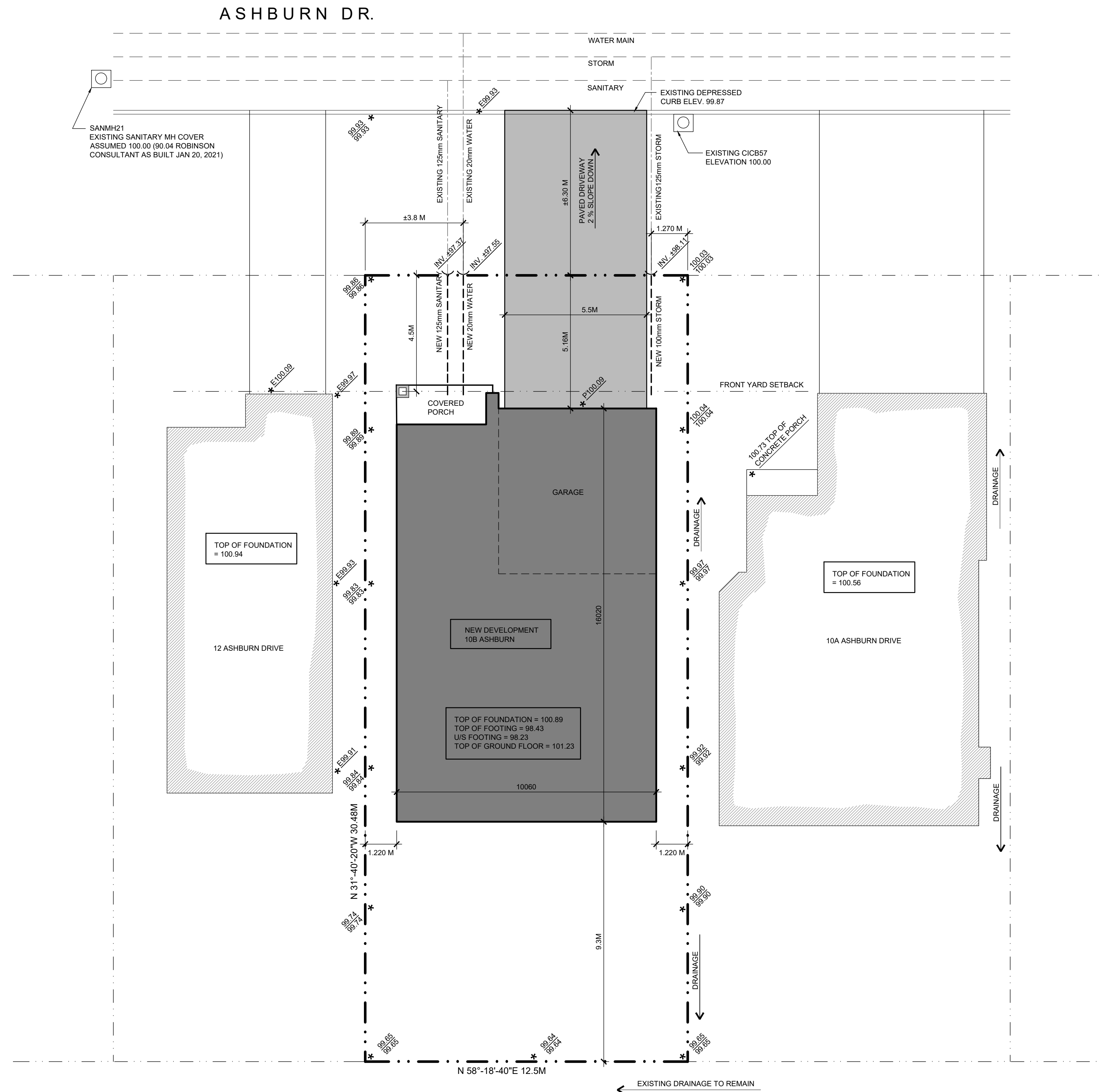
□	Denotes	Survey Monument Planted		
■	"	Survey Monument Found		
SIB	"	Standard Iron Bar	○ UP	Gate
SSIB	"	Short Standard Iron Bar	○	Utility Pole
IB	"	Iron Bar	□ GM	Gas Meter
(Wit)	"	Witness	CLF	Chain Link Fence
Meas	"	Measured	BF	Board Fence
(P1)	"	Registered Plan 289002	C/L	Centreline
(P2)	"	Plan by (1287) dated July 19, 2002 (Job No. 86-02)		
(P3)	"	Plan by (1692) dated December 1, 2014 (File No. 396-14)		
(P4)	"	Plan by (1287) dated June 29, 1988 (Job No. 260-88)		
(P5)	"	Plan by (1287) dated June 29, 1988 (Job No. 261/88)		
OHW	"	Overhead Wires		

FARLEY, SMITH & DENIS SURVEYING LTD.
ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL. (613) 727-8226 E-mail: fdsurveys@bellnet.ca



Committee of Adjustment
Received | Reçu le
2024-08-26
City of Ottawa | Ville d'Ottawa
Comité de dérogation

R2M Zoning Provisions				
Provisions Single-Detached Dwelling	Permitted / Required		Provided	
Minimum lot width (m) *s.158A	9.5		12.5m	
Minimum lot area (m ²) *s.158A	285.0		381.0m ²	
Maximum building height (m) *s.158A	8.5		7.938m	
Minimum front yard setback (m) *s.144(1)(a) (must align with average of abutting lots' corresponding setback but need not exceed 4.5 m)	4.5		5.16 m	
Minimum rear yard setback (m) Table 144A(iii)	30% lot depth	9.14	30%	9.30
Minimum rear yard area (m ²) s.144(3)(a)(i)	25% lot area	95.25 m ²	30%	114.50
Minimum interior side yard setback (m) *s.158A	0.9		1.22 / 1.22	
Minimum front yard soft landscape area, aggregated (%) *Table 139(1)	40%		50%	
Minimum width of landscape strip between driveway and side lot line (m) *s.139(2)(c)	0.15		1.3m	
Maximum driveway width on a lot 8.25 m to less than 15.0 m wide(m)	Single wide: 3.0 m Double wide (5.5 m) not permitted		Double wide driveway 5.5 m	
Minimum garage setback from principal entrance or portion of a projecting landing or porch that does not fall within a required yard (m) *s.139(3)(a)(i)&(ii) & *s.139(3)(b)	0.6 and no closer than 0.6 m to the front lot line than the principal entrance		0.66m	
Maximum walkway width (m) *s.139(4)(c)(ii) (may be included in soft landscaping calculations *s.139(4)(d))	1.2		1.2m	
Maximum driveway area (m) *Section 107(3)(b)(ii)	Greater of 50% of the front yard or 2.6 m x the front yard depth	32.5m ²	%	28.4m ²



The Contractor shall check and verify all dimensions on site. This drawing is not to be used for construction unless stamped and signed by the Engineer. Do not scale drawings. Copyright reserved. This drawing is the exclusive property of Cleland, Jardine Engineering Ltd.

LEGEND

- * P.X.X.X PROPOSED ELEVATION
- * EX.X.X EXISTING ELEVATION
- * P.X.X.X EXISTING ELEVATION

TEMPORARY BENCHMARK
SANMH21 TOP OF COVER
ASSUMED 100.00
(ELEVATIONS IN METERS)

No.	DATE	REVISIONS	BY
1	AUG 01/24	ISSUED FOR SEVERANCE	ME

PROJECT NORTH

STAMP

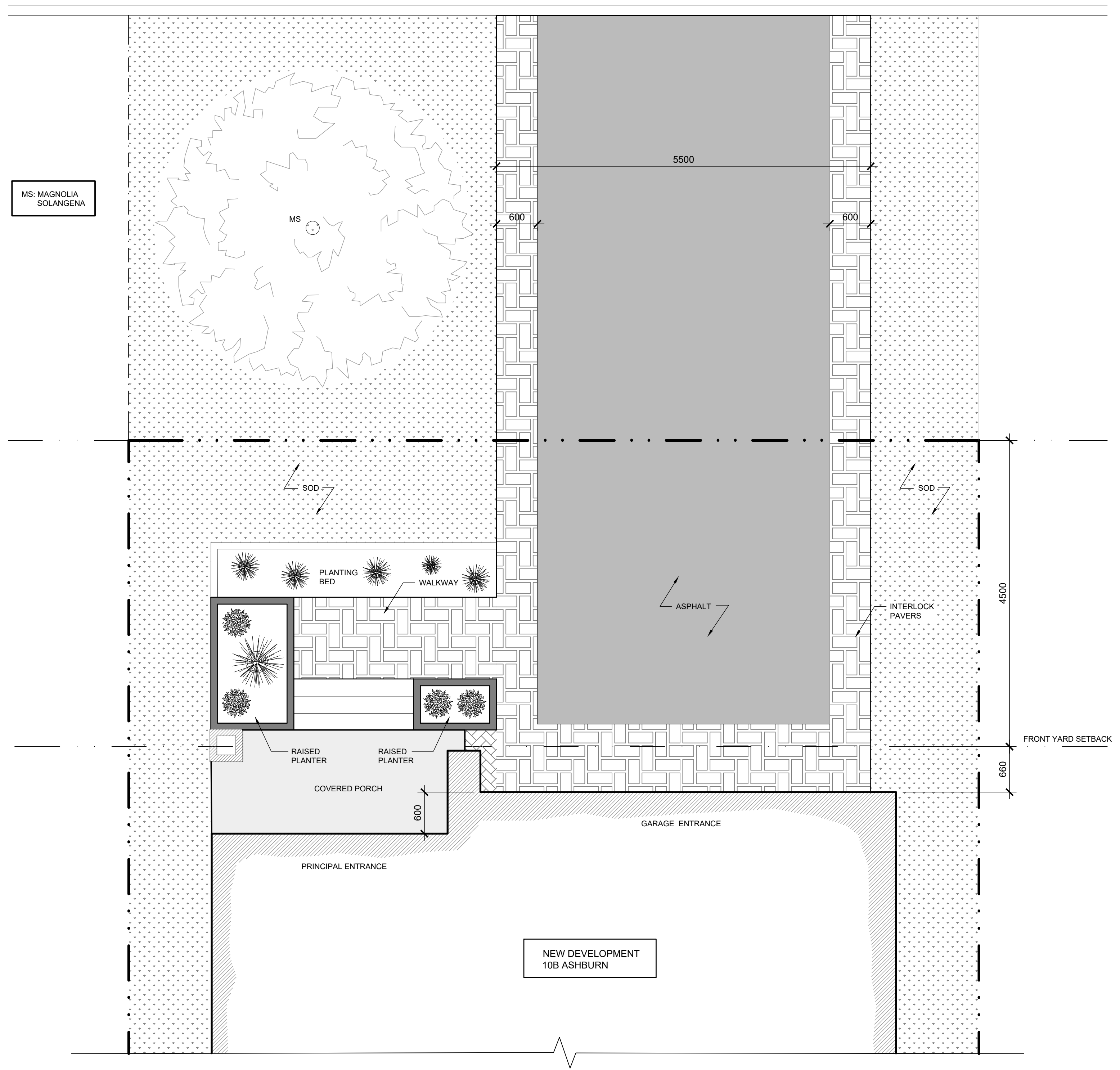
PROJECT
MARCOUX RESIDENCE
10b ASHBURN DRIVE

DRAWING
SITE PLAN

DRAWN:	A. MARCOUX	DRAWING No.	A0
DESIGNED:	A. MARCOUX		
DATE:	JULY 07/24		
SCALE:	1/2" = 1'-0"		
PROJECT No.:	00-00		

The Contractor shall check and verify all dimensions on site. This drawing is not to be used for construction unless stamped and signed by the Engineer. Do not scale drawings. Copyright reserved. This drawing is the exclusive property of Cleland, Jardine Engineering Ltd.

ASHBURN DR.



MS: MAGNOLIA SOLANGENA

MS

5500

600

600

SOD

SOD

PLANTING BED

WALKWAY

ASPHALT

INTERLOCK PAVERS

4500

RAISED PLANTER

RAISED PLANTER

COVERED PORCH

FRONT YARD SETBACK

600

GARAGE ENTRANCE

PRINCIPAL ENTRANCE

NEW DEVELOPMENT
10b ASHBURN

1 PLAN: LANDSCAPING
L1 SCALE: N.T.S.

1	AUG 01/24	ISSUED FOR SEVERANCE	ME
No.	DATE	REVISIONS	BY

PROJECT NORTH	STAMP

PROJECT
MARCOUX RESIDENCE
10b ASHBURN DRIVE

DRAWING
LANDSCAPING PLAN

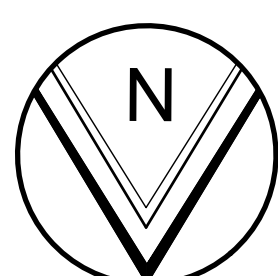
DRAWN:	A. MARCOUX	DRAWING No.	L1
DESIGNED:	A. MARCOUX		
DATE:	JULY 07/24		
SCALE:	1/2" = 1'-0"		
PROJECT No.:	00-00		

The Contractor shall check and verify all dimensions on site. This drawing is not to be used for construction unless stamped and signed by the Engineer. Do not scale drawings. Copyright reserved. This drawing is the exclusive property of Cleland Jardine Engineering Ltd.

Committee of Adjustment
Received | Reçu le
2024-08-26
City of Ottawa | Ville d'Ottawa
Comité de dérogation

No.	DATE	REVISIONS	BY
1	AUG 01/24	ISSUED FOR SEVERANCE	ME

PROJECT NORTH

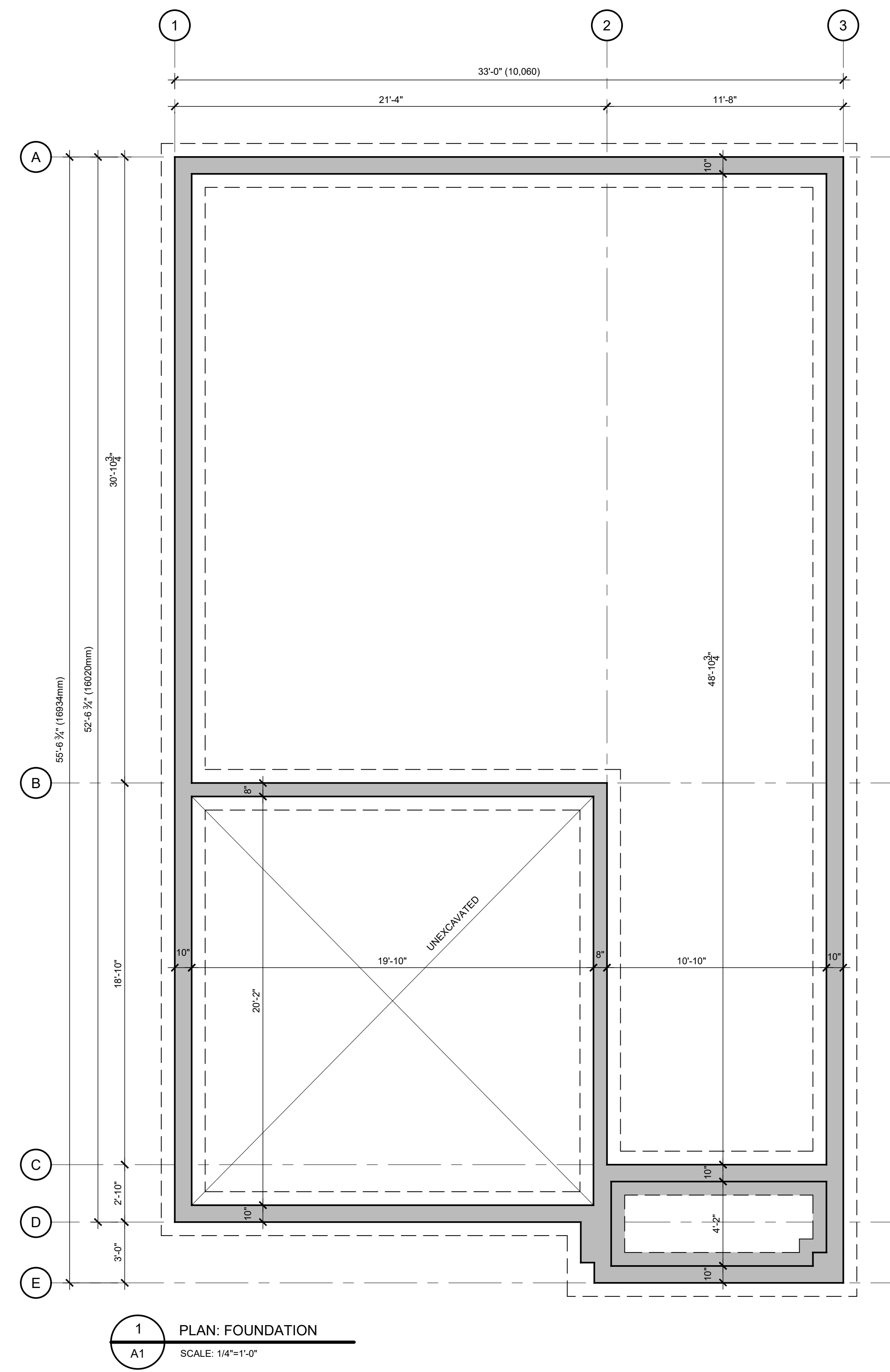
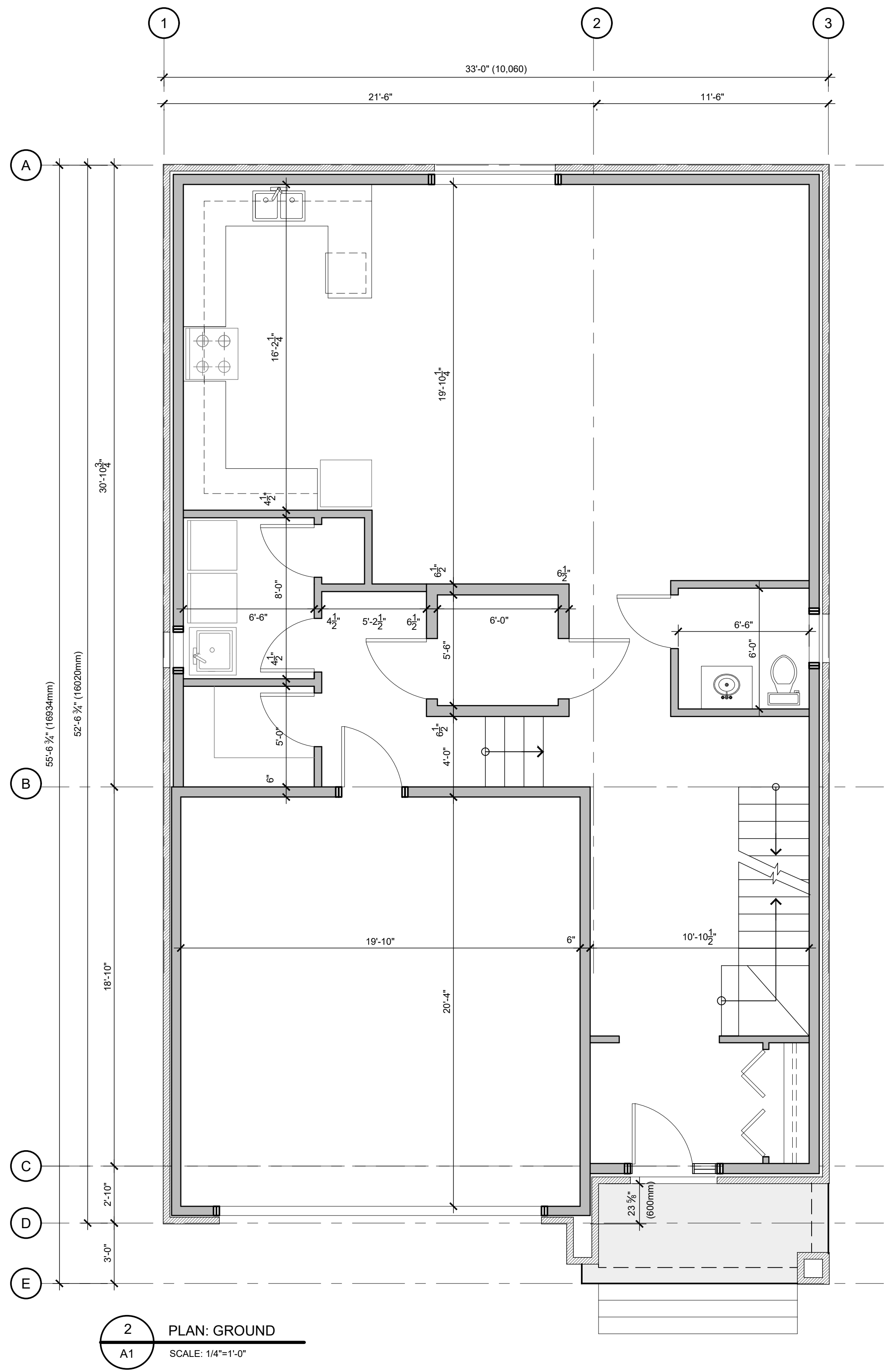


STAMP

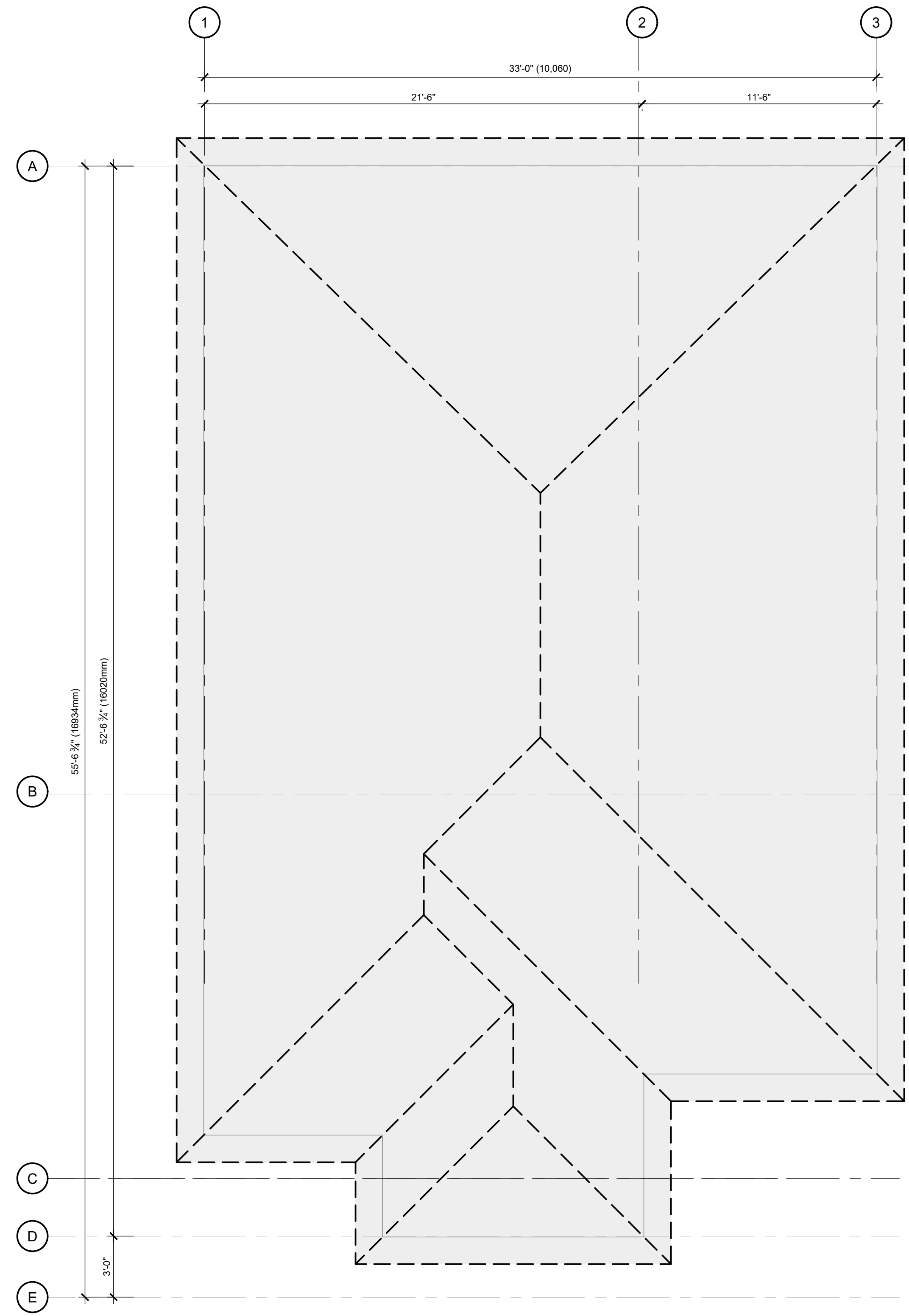
PROJECT
MARCOUX RESIDENCE
10b ASHBURN DRIVE

DRAWING
**FOUNDATION AND
GROUND FLOOR PLAN**

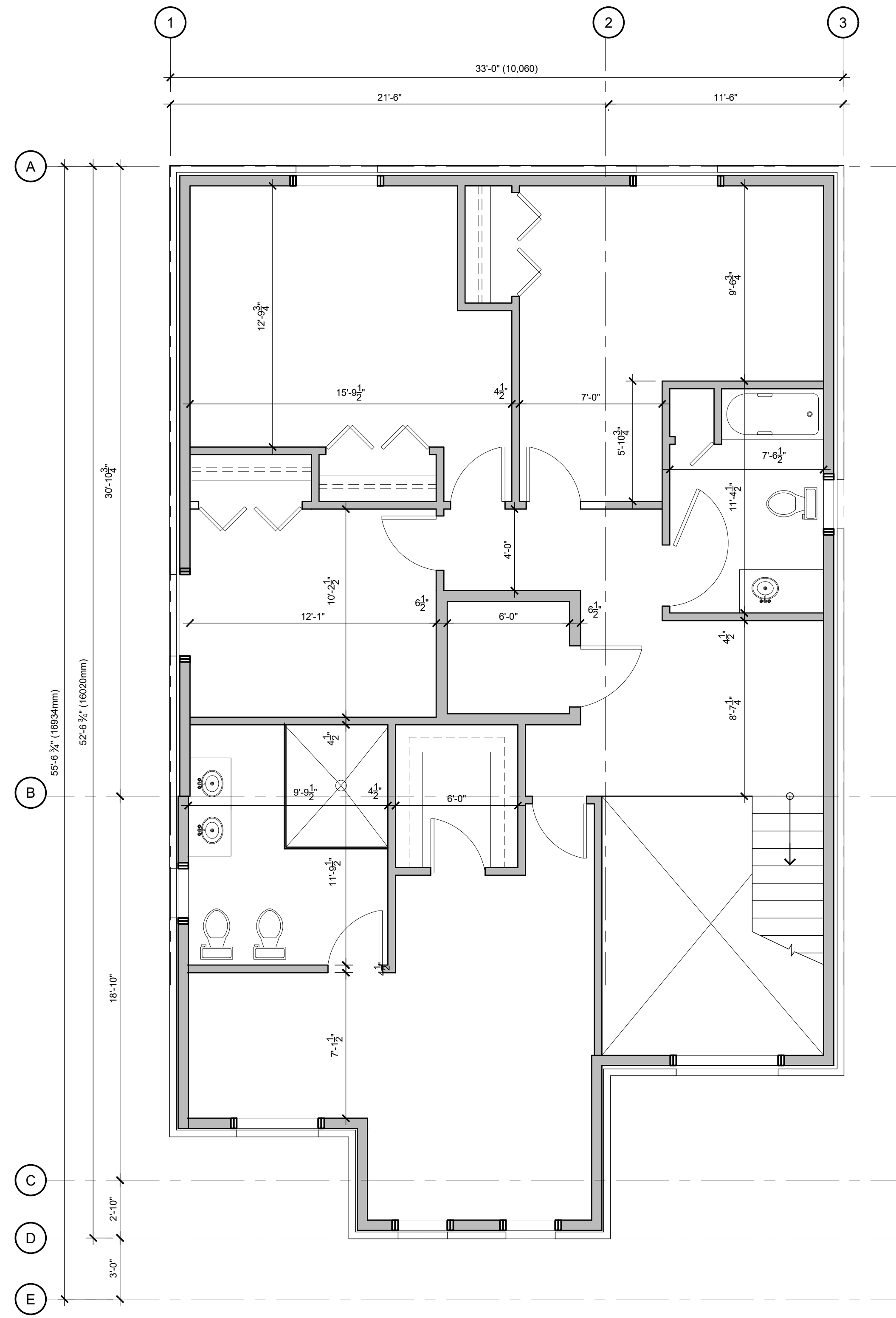
DRAWN:	A. MARCOUX	DRAWING No.	A1
DESIGNED:	A. MARCOUX		
DATE:	JULY 07/24		
SCALE:	1/2" = 1'-0"		
PROJECT No.:	00-00		



The Contractor shall check and verify all dimensions on site. This drawing is not to be used for construction unless stamped and signed by the Engineer. Do not scale drawings. Copyright reserved. This drawing is the exclusive property of Cleland Jardine Engineering Ltd.



2 PLAN: ROOF
A2 SCALE: 1/4"=1'-0"



1 PLAN: SECOND FLOOR
A2 SCALE: 1/4"=1'-0"

No.	DATE	REVISIONS	BY
1	AUG 01/24	ISSUED FOR SEVERANCE	ME

PROJECT NORTH

STAMP

PROJECT

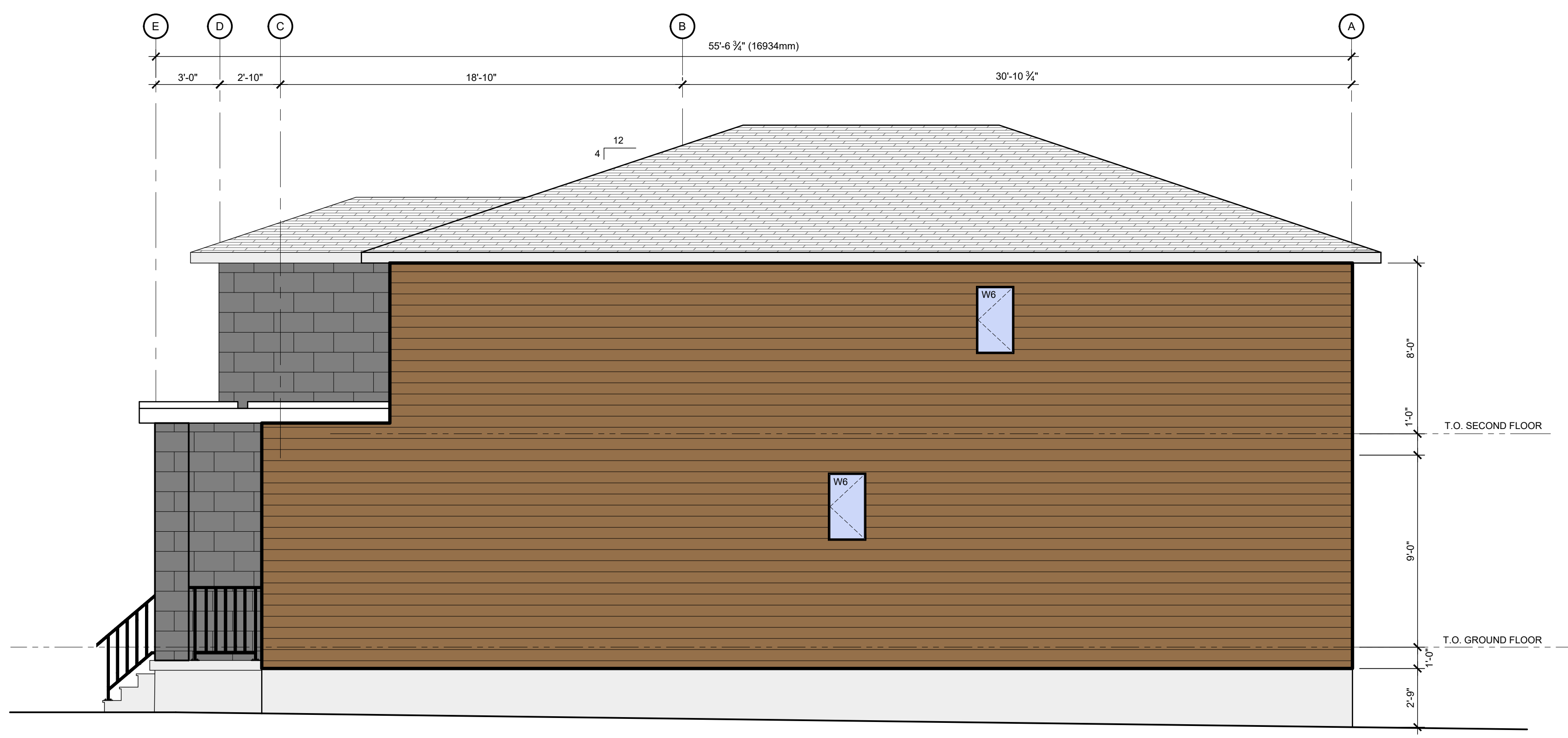
MARCOUX RESIDENCE
10b ASHBURN DRIVE

DRAWING

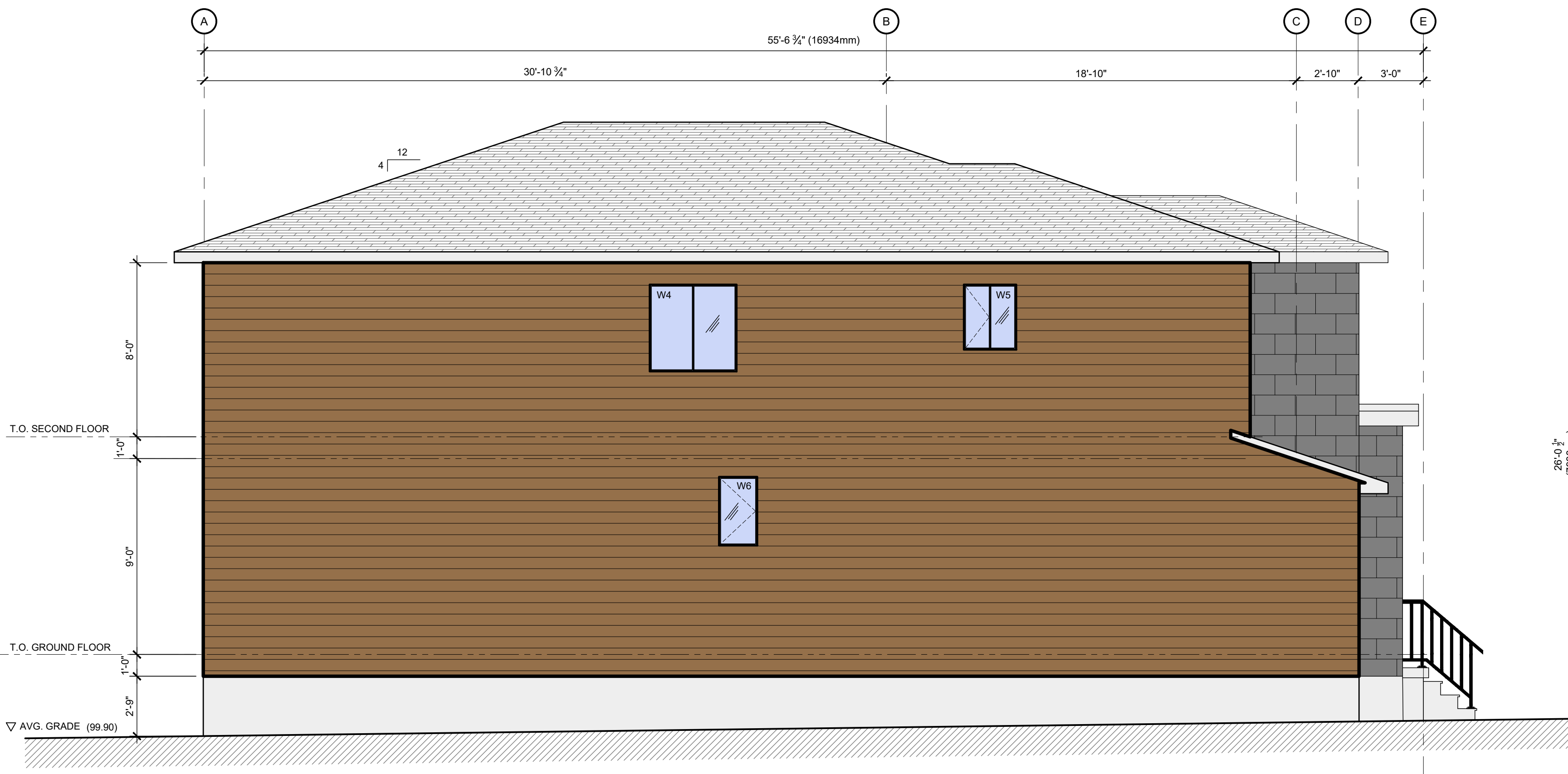
SECOND FLOOR AND ROOF PLAN

DRAWN:	A. MARCOUX	DRAWING No.	A2
DESIGNED:	A. MARCOUX		
DATE:	JULY 07/24		
SCALE:	1/4" = 1'-0"		
PROJECT No.:	00-00		

The Contractor shall check and verify all dimensions on site. This drawing is not to be used for construction unless stamped and signed by the Engineer. Do not scale drawings. Copyright reserved. This drawing is the exclusive property of Cleland Jardine Engineering Ltd.



3 ELEVATION: EAST
A3 SCALE: 1/4"=1'-0"



2 ELEVATION: EAST
A3 SCALE: 1/4"=1'-0"



1 ELEVATION: FRONT
A3 SCALE: 1/4"=1'-0"

No.	DATE	REVISIONS	BY
1	AUG 01/24	ISSUED FOR SEVERANCE	ME

PROJECT NORTH	STAMP
---------------	-------

PROJECT
MARCOUX RESIDENCE
10b ASHBURN DRIVE

DRAWING
ELEVATIONS

DRAWN:	A. MARCOUX	DRAWING No.	A3
DESIGNED:	A. MARCOUX		
DATE:	JULY 07/24		
SCALE:	1/4" = 1'-0"		
PROJECT No.:	00-00		