

LOT 249
PART 1
PLAN

LOT 250
PART 2
4R

LOT 251
PART 3
-

LOT 251
PART 4
12308

REGISTERED

LOT 260

LOT 262

STE. ANNE STREET

LOT 263

SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN SHOWING
PART OF LOT 76
REGISTERED PLAN 246
CITY OF OTTAWA

SCALE 1 : 200
5 0 5 10 metres

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METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 - SURVEY REPORT

- DESCRIPTION
PART OF LOT 76, REGISTERED PLAN 246
BEING PIN 04232-0040 (LT), IN THE CITY OF OTTAWA

- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
NONE REGISTERED

- ADDITIONAL REMARKS
NOTE THE LOCATION OF 2 STOREY STUCCO DWELLING #294 ALONG THE EASTERN LIMIT OF THE SUBJECT PROPERTY.
NOTE THE LOCATION OF CONCRETE BLOCK RETAINING WALL ALONG NORTHERLY LIMIT OF SUBJECT PROPERTY.
NOTE THE LOCATION OF 1 1/2 STOREY VINYL ADDITION, BOARD FENCE AND CHAIN LINK FENCE ALONG WESTERLY LIMIT OF SUBJECT PROPERTY.
NOTE THE LOCATION OF BOARD FENCE AND CONCRETE BLOCK RETAINING WALL ALONG SOUTHERLY LIMIT OF SUBJECT PROPERTY.

NOTES

BEARINGS ARE WTM GRID, DERIVED FROM GNSS OBSERVATION BY REAL TIME NETWORK (RTN) OBSERVATION, WTM ZONE 9, NAD 83 (CRSR) (2010.0).

ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION UNLESS OTHERWISE SHOWN.

COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

LEGEND

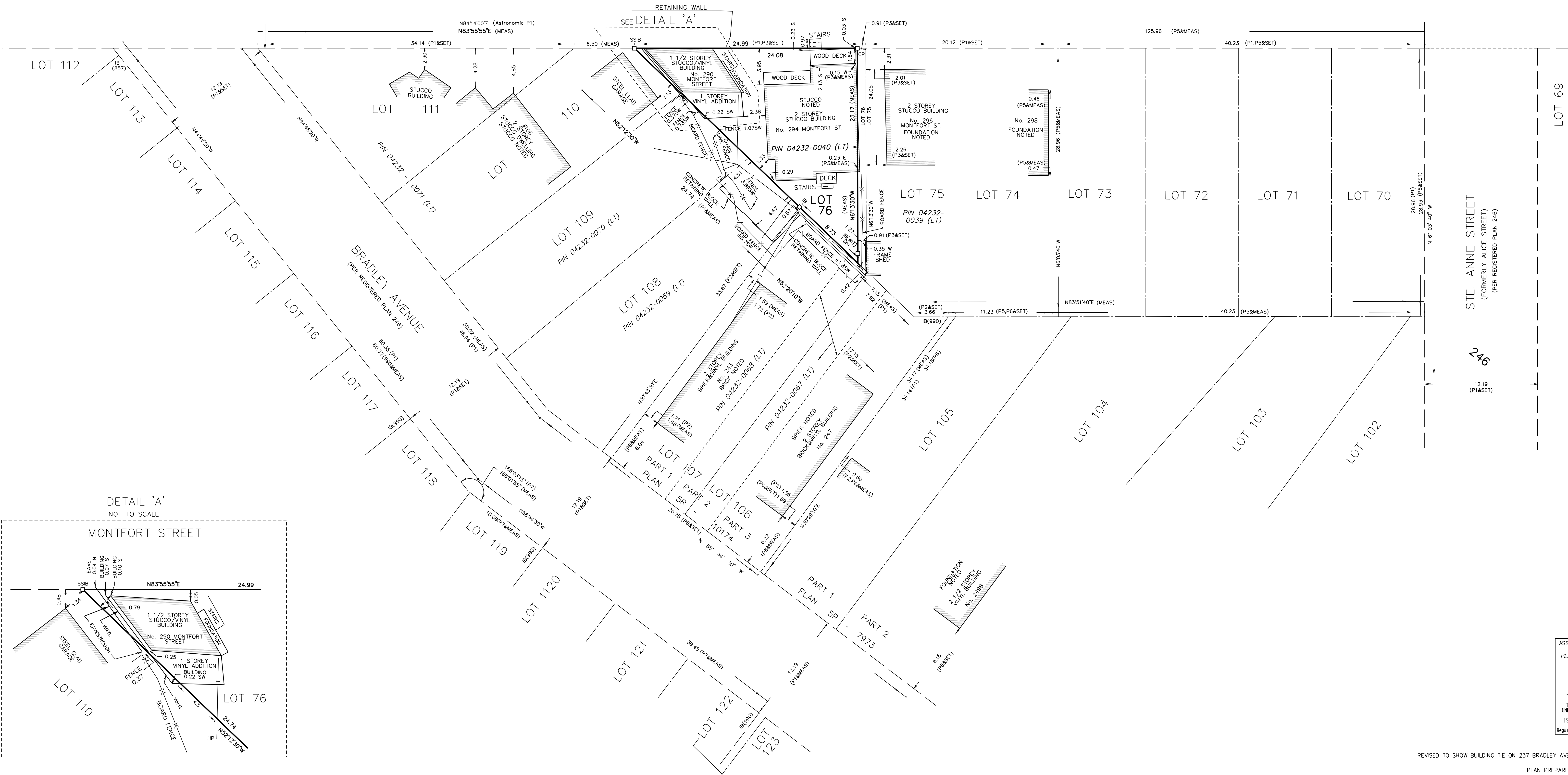
- DENOTES SURVEY MONUMENT FOUND
- SSIB DENOTES STANDARD IRON BAR
- IB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CP DENOTES CONCRETE PIN & WASHER
- WT DENOTES WITNESS
- MEAS DENOTES MEASURED
- P1 DENOTES REGISTERED PLAN 246
- P2 DENOTES PLAN SR-10174
- P3 DENOTES PLAN BY S. E. & H. R. FARLEY DATED OCT. 28, 1965
- P4 DENOTES PLAN 4R-12308
- P5 DENOTES SRPR BY PAYETTE, HIMMA, DELORME LTD., DATED AUG. 27, 2001
- P6 DENOTES SRPR BY PAYETTE, HIMMA, DELORME LTD., DATED OCT. 22, 2014
- P7 DENOTES SRPR BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., DATED JANUARY 28, 2007
- AOC DENOTES ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
- 990 DENOTES J. G. PAYETTE, O.L.S.
- 857 DENOTES CHARLES WESLEY FARMHALL
- HP DENOTES HYDRO POLE
- ST DENOTES STREET
- OT DENOTES OVERHEAD TELEPHONE CABLE
- CP DENOTES CONCRETE PIN & WASHER

MONTFORT STREET

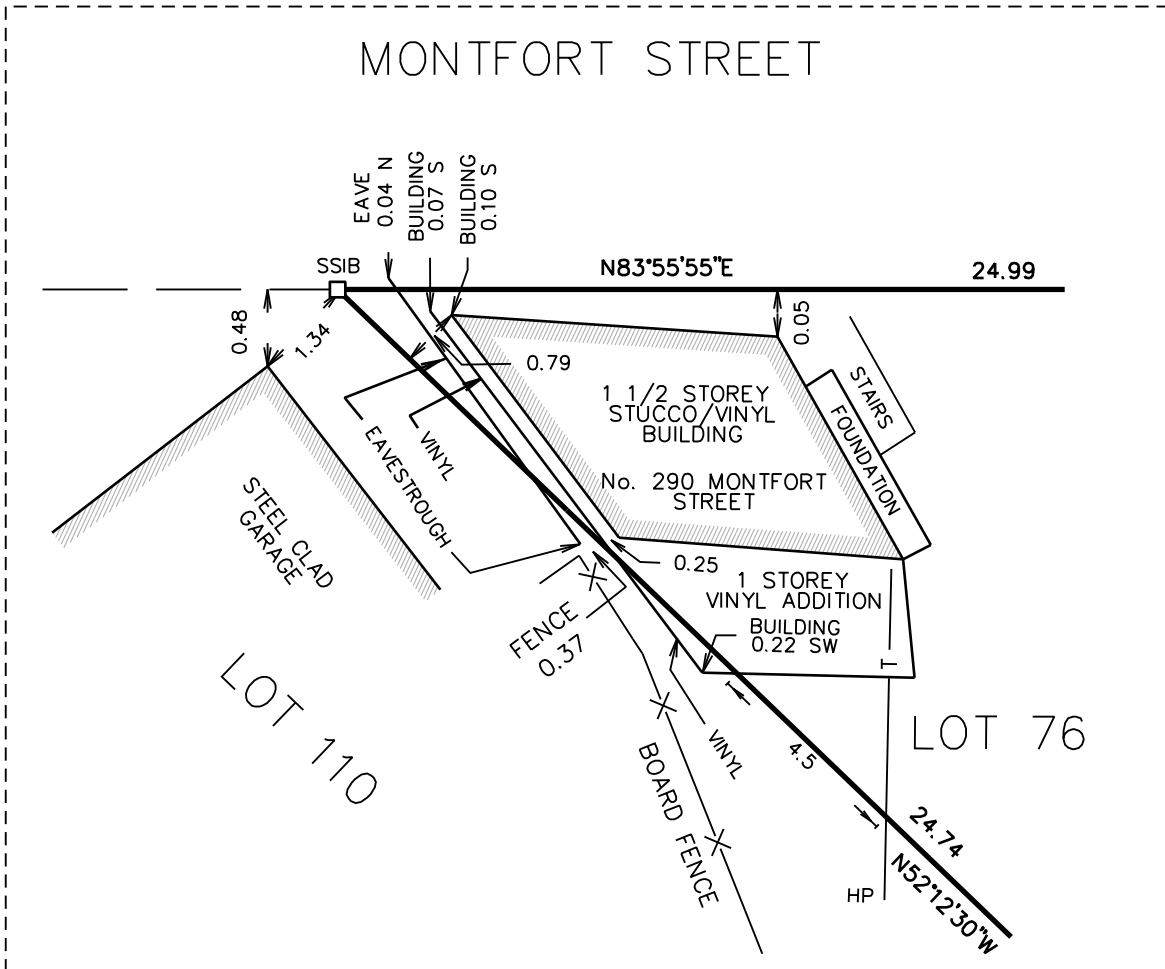
(BY BY-LAW No. V48677)
(FORMERLY OVERTON STREET PER REGISTERED PLAN 246)
PIN 04232-0264 (LT)

Committee of Adjustment
Received | Reçu le
2024-09-09
City of Ottawa | Ville d'Ottawa
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PLAN



DETAIL 'A'
NOT TO SCALE

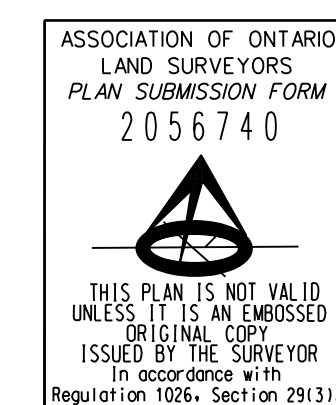


SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON FEBRUARY 12, 2018.

JULY 6, 2018
DATE

George Jervis
GEORGE JERVIS
REGISTERED LAND SURVEYOR



REVISED TO SHOW BUILDING TIE ON 237 BRADLEY AVENUE, DECEMBER 7 2021.

DRAWN BY: CE/SS CHECKED BY: REFERENCE NO.: 17-10-069-00-SRPR

PLAN PREPARED FOR: MICHAEL IBRAHIM DATED: OCTOBER 3, 2017

FILE: G:\17-10-069\00\Drawings\171006900prp.dgn PLOTTED: 12/8/2021

SITE STATISTICS:

ZONING: RAU4 - PERMITTED USES: SEMI-DETACHED, TOWNHOUSE, 3 UNITS.....

PROJECT DESCRIPTION: A PROPOSAL TO DEMOLISH EXISTING 1-1/2 STORY STUCCO/VINYL BUILDING (290 MONTFORT ST) AND REPLACE WITH A TWO STORY ATTACH TO THE EXISTING SEMI-DETACHED (292-294) TO BECOME A 3 UNIT TOWNHOUSE DWELLINGS AFTER CONSTRUCTION. EXISTING 292-294 MONTFORT ST. TO REMAIN AS IS.

ZONING REQUIREMENT FOR TOWNHOUSE:
 MINIMUM LOT WIDTH = 4.5m
 MINIMUM LOT AREA = 1.35m²
 MAXIMUM BUILDING HEIGHT = 10m
 MINIMUM FRONT YARD SETBACK = 3.3m, AVERAGE FRONT YARD SETBACK OF (296 MONTFORT, 2.31m) AND (237 BRADLEY CORNER LOT, 4.28m)
 MINIMUM REAR YARD SETBACK = 30% OF LOT DEPTH
 MINIMUM REAR YARD AREA = 25% OF LOT AREA
 MINIMUM SIDE YARD SETBACK = 1.2m
 MINIMUM FRONT YARD SOFT LANDSCAPING = 40% OF THE FRONT YARD
 PARKING: NOT REQUIRED

EXISTING LOT CONDITION:
 290 LOT WIDTH: 9.05m | LOT DEPTH: 15.97m | LOT AREA: 96.35m²
 292 LOT WIDTH: 5.07m | LOT DEPTH: 16.60m | LOT AREA: 84.10m²
 294 LOT WIDTH: 4.99m | LOT DEPTH: 21.17m | LOT AREA: 98.75m²
 TOTAL LOT AREAS: 279.2m²

LOT DEPTH AS ONE LOT: 26.13m
 (TAKEN FROM CENTERLINE OF FRONT LOT LINE AND VERTEX OF REAR/SIDE LOT LINE)

YARD AREAS AND SETBACK PROVIDED:
 FRONT YARD: 38.09m² (WHOLE LOT)
 REAR YARD: 38.68m² (WHOLE LOT)
 SIDE YARD: 23.47m² (290 MONTFORT)
 ADDITIONAL YARD NOT COVERED BY BUILDING FOOTPRINT: 24.75m²
 FRONT YARD SETBACK: 1.64m (294 MONTFORT)
 REAR YARD SETBACK: 9.82m
 SIDE YARD SETBACK: 0m (294 MONTFORT)

REQUIRED FRONT YARD SOFT LANDSCAPING = 15.23m² (40% OF FRONT YARD)
 AGGREGATE FRONT YARD SOFT LANDSCAPING PROVIDED: = 22.68m² (44% OF FRONT YARD)

TOTAL BUILDING FOOTPRINT (WHOLE BUILDING): 154.21m²

EXISTING AVERAGE GRADE CALCULATION: 60.00+61.05+60.31+60.08 / 4 = 60.36

FOR PROPOSED ADDITION (290 MONTFORT ST):
 LOT WIDTH = 9.05m (TAKEN FROM THE MINIMUM REQUIRED FRONT SETBACK LINE OF 4.50m OFFSET FROM FRONT PROPERTY LINE, PERPENDICULAR TO LOT DEPTH)
 LOT DEPTH = 15.97m (TAKEN AT LOT CENTERLINE)
 LOT AREA = 96.35m²
 PROPOSED BUILDING HEIGHT = 4.716m (FROM EXISTING AVERAGE GRADE TO T/O PARAPET)
 PROPOSED FRONT YARD SETBACK = 1.64m (ALIGN WITH EXISTING 294 MONTFORT ST.)
 PROPOSED REAR YARD SETBACK = 4.3m (RADIUS FROM THE VERTEX OF SIDE LOT LINE AND PROPOSED PARTY WALL LINE)
 PROPOSED REAR YARD AREA = 6.92m²
 SIDE YARD SETBACK = 1.20m

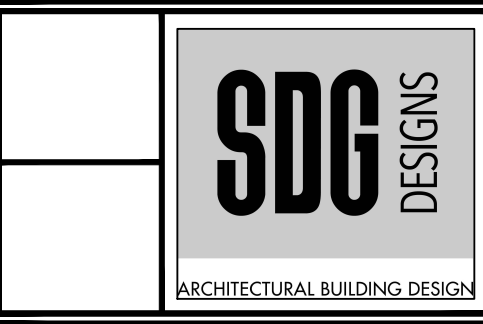
MINOR VARIANCE REQUESTS:

- PROPERTY AS A WHOLE
- TO PERMIT A FRONT YARD SETBACK OF 1.64m WHEREAS THE ZONING BY-LAW REQUIRES THE AVERAGE OF THE ADJUTING LOTS (3.30m) (ZONING BY-LAW SECTION 144, (1) (A), 2008-250, AS AMENDED), APPLIES TO 290 (PROPOSED) AND 294 (EXISTING CONDITION) MONTFORT.
 - TO PERMIT A STAIR PROJECTION LOCATED 0m FROM THE FRONT LOT LINE WHEREAS THE ZONING BY-LAW REQUIRES A MINIMUM SETBACK OF 0.6m FROM A LOT LINE (ZONING BY-LAW TABLE 65, (5) (B) (1) (2), 2008-250, AS AMENDED), APPLIES TO 290 (PROPOSED = 0.24m) AND 294 (EXISTING CONDITION = 0m) MONTFORT.
 - TO PERMIT A REDUCED FRONT PORCH SETBACK OF 0.03m FROM THE FRONT LOT LINE WHEREAS THE ZONING BY-LAW REQUIRES A MINIMUM SETBACK OF 1m FROM A LOT LINE (ZONING BY-LAW TABLE 65, (6) (B) (IV), 2008-250, AS AMENDED), APPLIES TO 290 (PROPOSED = 0.78m) AND 294 (EXISTING CONDITION = 0.03m) MONTFORT.
 - TO PERMIT A REDUCED FRONT PORCH SETBACK OF 0.15m FROM THE SIDE LOT LINE, WHEREAS THE ZONING BY-LAW REQUIRES A MINIMUM SETBACK OF 1m FROM A LOT LINE (ZONING BY-LAW TABLE 65, (6) (B) (IV), 2008-250, AS AMENDED), APPLIES TO 294 (EXISTING CONDITION) MONTFORT.
 - TO PERMIT A REDUCED REAR YARD AREA OF 21.15% OF THE LOT AREA (38.68m²) WHEREAS THE ZONING BY-LAW REQUIRES A MINIMUM REAR YARD AREA OF 25% OF THE LOT AREA (45.70m²) (ZONING BY-LAW SECTION 144, (3) (A), 2008-250, AS AMENDED), APPLIES TO 292 (EXISTING CONDITION) AND 294 (EXISTING CONDITION) MONTFORT.
 - TO PERMIT A REDUCED INTERIOR SIDE YARD SETBACK (EAST) OF 0m, WHEREAS THE ZONING BY-LAW REQUIRES AN INTERIOR SIDE YARD SETBACK OF 1.2m (ZONING BY-LAW 162A, X, 2008-250, AS AMENDED), APPLIES TO 294 (EXISTING CONDITION = 0m) MONTFORT.
 - TO PERMIT A REDUCED INTERIOR SIDE YARD SETBACK (WEST) OF 0.29m, WHEREAS THE ZONING BY-LAW REQUIRES AN INTERIOR SIDE YARD SETBACK OF 1.2m (ZONING BY-LAW 162A, X, 2008-250, AS AMENDED), APPLIES TO 292 (EXISTING CONDITION = 0.29m AS PER SURVEY) MONTFORT.
 - TO LEGALISE AN EXISTING REDUCED LOT AREA OF 96.35m², WHEREAS THE ZONING BY-LAW REQUIRES A MINIMUM LOT AREA OF 1.35m² (ZONING BY-LAW TABLE 162A, V, 2008-250, AS AMENDED) 290 MONTFORT.
 - TO LEGALISE AN EXISTING REDUCED LOT AREA OF 84.10m² WHEREAS, THE ZONING BY-LAW REQUIRES A MINIMUM LOT AREA OF 1.35m² (ZONING BY-LAW TABLE 162A, V, 2008-250, AS AMENDED) 292 MONTFORT.
 - TO LEGALISE AN EXISTING REDUCED LOT AREA OF 98.75m² WHEREAS, THE ZONING BY-LAW REQUIRES A MINIMUM LOT AREA OF 1.35m² (ZONING BY-LAW TABLE 162A, V, 2008-250, AS AMENDED) 294 MONTFORT.

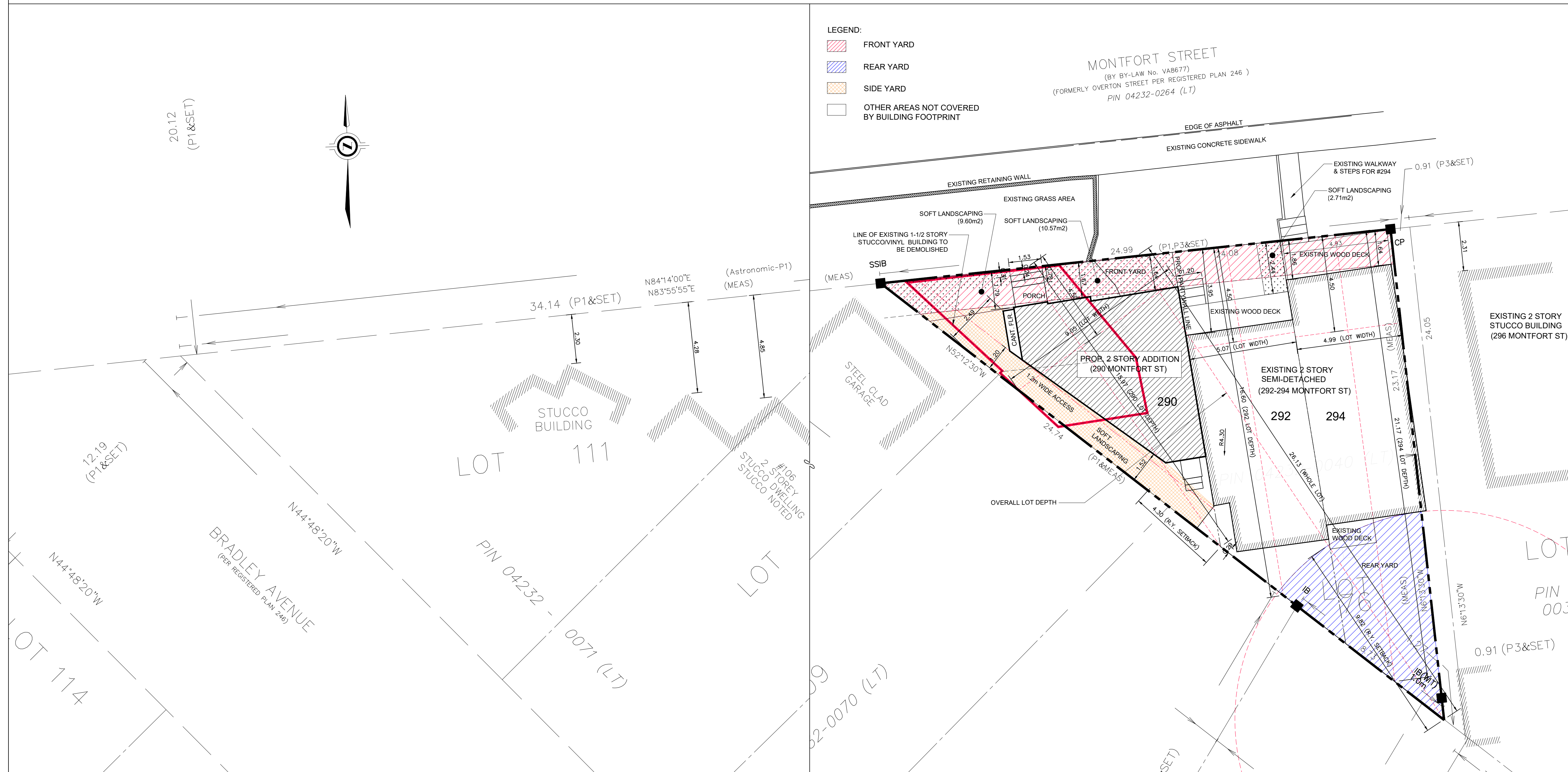
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GENERAL NOTES:

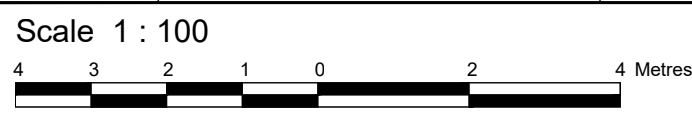
06	AUG1/24	NEW SETBACK/AREA REQUIREMENTS
05	JUNE1/23	ADDED F.Y. SOFT LANDSCAPING
04	MAY4/22	ADDED EXISTING CONC. SIDEWALK
03	APR4/22	ADDED EXISTING G.F.A.
02	MAR31/22	UPDATED SITE STATISTICS
01	FEB14/22	FOR M/V APPLICATION
No.	Date	Revision



PROJECT:		
PROPOSED 2 STOREY ADDITION 290 MONTFORT STREET, OTTAWA		
DRAWING TITLE:		
ARCHITECTURAL SITE PLAN		
DESIGNED:	DRAWN:	APPROVED:
SD	SD	
SCALE:	SHEET NO.:	
AS SHOWN	A0	
DATE:	FEBRUARY 2022	



- LEGEND:**
- FRONT YARD
 - REAR YARD
 - SIDE YARD
 - OTHER AREAS NOT COVERED BY BUILDING FOOTPRINT



1 ARCHITECTURAL SITE PLAN
 A0 SCALE: 1:100

2024-09-09

Survey

City of Ottawa | Ville d'Ottawa

Comité de dérogation

290 Montfort

Lot area

Required: 135 m²

Provided: 96.35 m²

Lot width

Required: 4.5 m

Provided: 9.05 m

292 Montfort

Lot area

Required: 135 m²

Provided: 84.10 m²

Lot width

Required: 4.5 m

Provided: 5.07 m

294 Montfort

Lot area

Required: 135 m²

Provided: 98.75 m²

Lot width

Required: 4.5 m

Provided: 4.99 m

