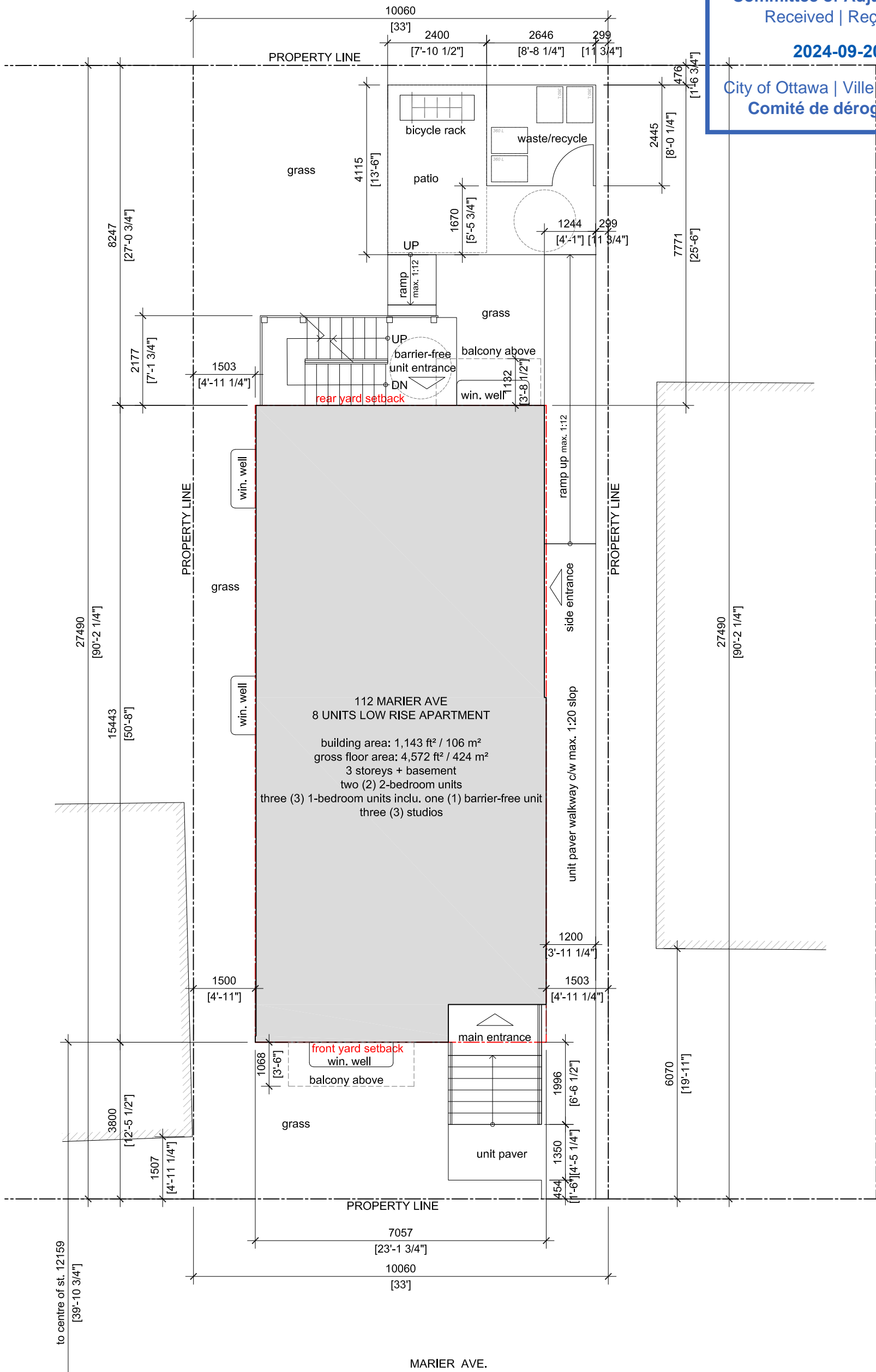
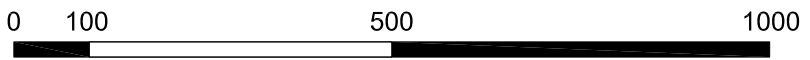
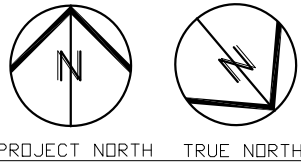


**Committee of Adjustment**  
Received | Reçu le  
**2024-09-20**  
City of Ottawa | Ville d'Ottawa  
**Comité de dérogation**



**1** **SITE PLAN**  
A0.4a **SCALE: 1:100**



**BING PROFESSIONAL ENGINEERING INC.**  
Unit 5, 6 Antares Dr., Nepean, ON K2E 8A9  
Phone: (613) 608 - 1324 E-mail: welcome@bingpro.ca

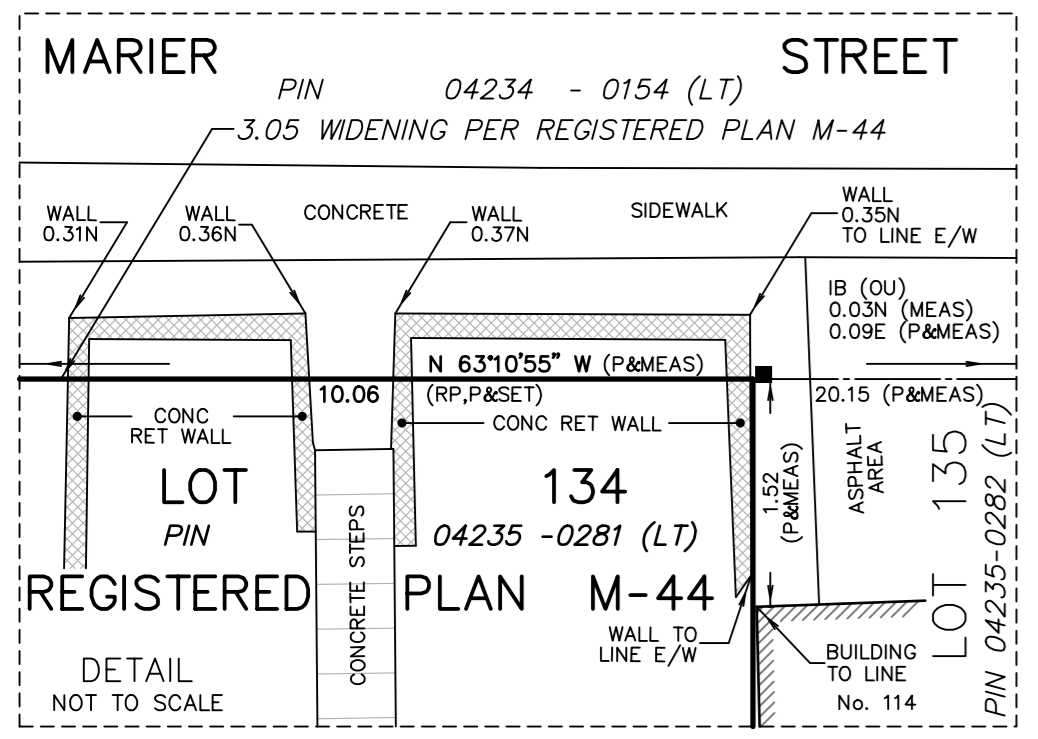
JOB **NEW LOW RISE APARTMENT, 8 UNITS**  
112 Marier Ave, VANIER, ON K1L 5S1  
DRAWING **SITE PLAN**

DATE: 2024-06-05	DRAWN: CHS	DRAWING No. <b>MV0.1</b> FILE.DWG
REV. DATE:	REV. No:	
SCALE: 1:100	PART OF:	
REFER:	PROJ. No: O-24-GEN-28	

## ZONING REVIEW:

ADDRESS: 112 MARIER AVE., VANIER, ON K1L 5S1  
 ZONING: R4UA-c  
 EXISTING USE: DETACHED DWELLING  
 PROPOSED USE: LOW RISE APARTMENT, 8 DWELLING UNITS

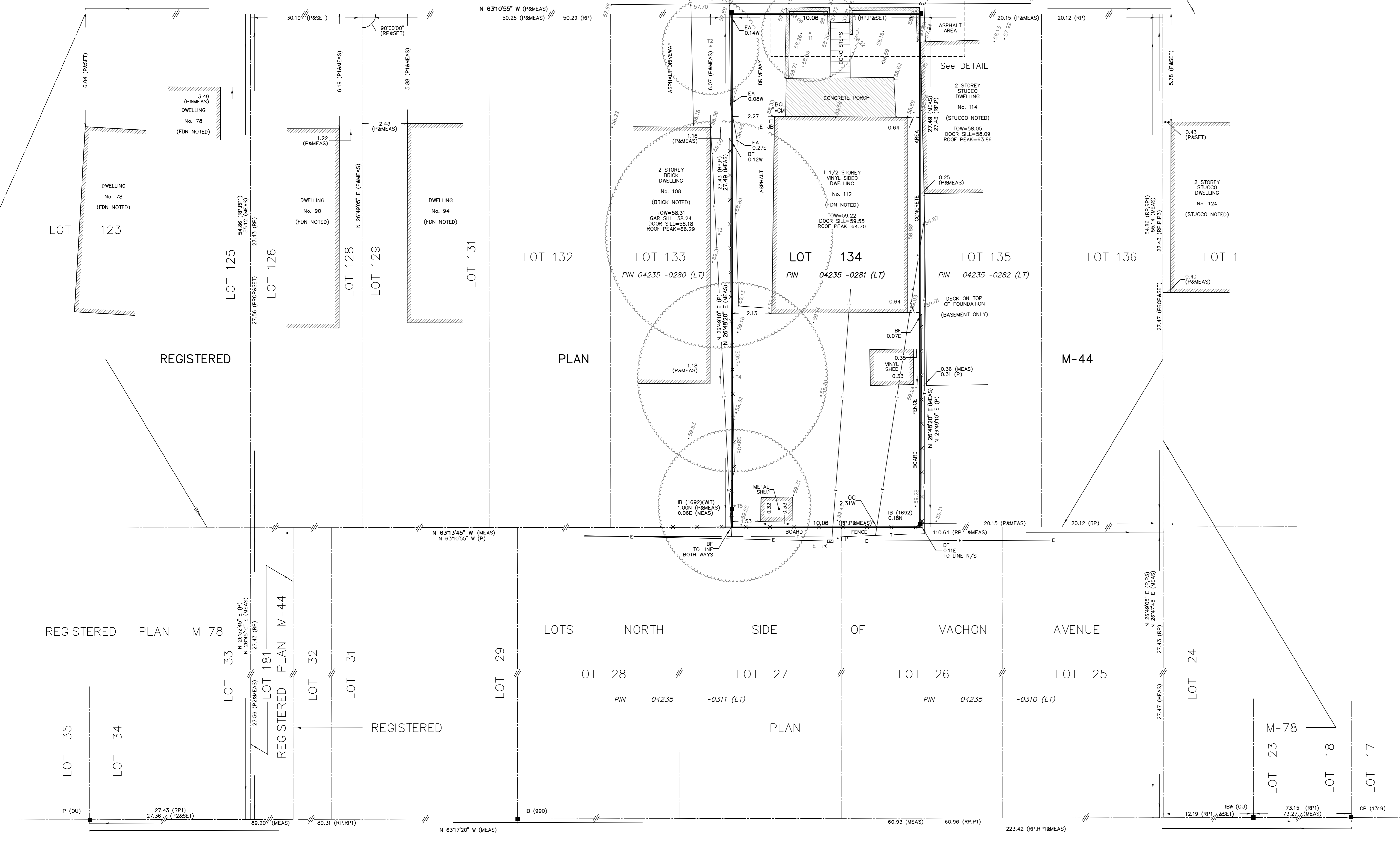
	<u>REQUIRED</u>	<u>PROVIDED</u>
MINIMUM LOT AREA:	3,875 ft <sup>2</sup> (360m <sup>2</sup> )	2,976 ft <sup>2</sup> (276.5m <sup>2</sup> )
MINIMUM LOT WIDTH:	39.37 ft (12m)	33 ft (10.06m)
MAXIMUM BUILDING HEIGHT:	36.1 ft (11m)	31'- 4 1 <sup>1</sup> / <sub>16</sub> " (9.57m)
MINIMUM:	N/A	
MINIMUM FRONT YARD SETBACK:	14.76 ft (4.5m)	N/A
MAXIMUM:	(1.51m+6.07m)/2 = 3.79m	3.8m
MINIMUM REAR YARD SETBACK:	27.1 ft (8.247m)	8.247 m
MINIMUM CORNER SIDE YARD SETBACK:	N/A	
MAXIMUM:	N/A	
MINIMUM INTERIOR SIDE YARD SETBACK:	4.92ft (1.5m)	1.5 m
MAXIMUM LOT COVERAGE:	N/A	
PERMITTED PROJECTIONS:		
fireplace:	1m, but not < 0.6m to lot line	N/A
eaves:	1m, but not < 0.3m to lot line	0.46 m
canopies:	1.8m, but not < 0.6m to lot line	N/A
fire escape, stairway, steps, ramps:	2.2m	2.18 m
balcony, deck, verandah:	1.2m, but not < 1m to lot line	1.14 m
bay window:	1m, but not < 1.2m to lot line	N/A
barrier-free ramp:	not limit	N/A
SECONDARY DWELLING UNIT:	N/A	
maximum floor area:	N/A	
ACCESSORY BUILDING:	N/A	
MINIMUM RECREATION AREA:		
amenity area:	not required	not provided
play ground:	N/A	
PARKING SPACES:	not required	not provided
minimum distance to window:	N/A	
minimum distance to lot line:	N/A	
MINIMUM DRIVEWAY WIDTH:	3m	not provided
minimum distance to window:	N/A	
minimum distance to lot line:	1.5m	
MINIMUM BICYCLE PARKING SPACES:	4	4
MAXIMUM WIDTH OF WALKWAY:	1.8m	1.5m
MINIMUM TOTAL LANDSCAPE AREA:	not required for 30 % of lot area	%
MINIMUM SOFT LANDSCAPE @ REAR YARD:	15 %	55 %
minimum area:	35m <sup>2</sup>	
MINIMUM SOFT LANDSCAPE @ FRONT YEAR:	35 %	75.8 %
WASTE MANAGEMENT:	not required	@ rear yard



TREE SCHEDULE			
TREE No.	TRUNK DIAMETER (m)	CROWN RADIUS (m)	DISTANCE FROM C/L TRUNK TO PROPERTY LINE
T1	0.2	2.5	4.2E, 1.0S
T2	0.2	2.5	1.2W, 1.7S
T3	0.25	6	0.7W
T4	0.35	5	± ON LINE
T5	0.15	4	0.1E, 1.2N

TRUNK DIAMETER MEASURED AT 1.2 METRES ABOVE GRADE  
TREE POSITION IS CALCULATED OFFSET TO ESTIMATED CENTER OF TREE

**SURVEYOR'S REAL PROPERTY REPORT WITH TOPOGRAPHIC DETAILS**  
**PART 1 - PLAN SHOWING**  
**LOT 134**  
**REGISTERED PLAN M-44**  
**CITY OF OTTAWA**  
J.D. BARNES LIMITED  
© COPYRIGHT 2024  
SCALE 1 : 100



**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**

BEARINGS ARE MTM GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD 83, (CSRS) (2010.0).

DISTANCES ARE GROUND.

COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

**PART 2 - SURVEY REPORT**

**- DESCRIPTION**  
LOT 134 REGISTERED PLAN M-44, BEING ALL OF PIN 04235-0281 (LT), IN THE CITY OF OTTAWA

**- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY**  
NONE

**- BOUNDARY FEATURES**  
NOTE LOCATION OF THE OVERHEAD UTILITY CABLE, THE BOARD FENCE AND THE EDGE OF ASPHALT ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY  
NOTE LOCATION OF THE OVERHEAD UTILITY CABLES, THE HYDRO POLE, THE METAL SHED AND THE BOARD FENCE ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY  
NOTE LOCATION OF THE OVERHEAD UTILITY CABLE AND THE CONCRETE RETAINING WALLS ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - CP DENOTES CONCRETE PIPE
  - IB DENOTES ROUND IRON BAR
  - IB DENOTES IRON BAR
  - IP DENOTES IRON PIPE
  - MEAS DENOTES MEASURED
  - OU DENOTES ORIGIN UNKNOWN
  - WIT DENOTES WITNESS
  - Acc DENOTES ACCEPTED
  - WIT DENOTES WITNESS
  - RP DENOTES REGISTERED PLAN M-44
  - RP1 DENOTES REGISTERED PLAN M-78
  - P DENOTES SURVEYOR'S REAL PROPERTY REPORT BY FARLEY, SMITH & DENIS SURVEYING LTD., DATED APRIL 2, 2020
  - P1 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY PAYETTE SURVEYING LTD., DATED AUGUST 4, 2015
  - P2 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY J.G. PAYETTE LTD., DATED SEPTEMBER 29, 1993
  - P3 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY STANTEC GEOMATICS LTD., DATED AUGUST 17, 2021
  - 990 DENOTES PAYETTE SURVEYING LTD.
  - 1319 DENOTES W.J. WEBSTER, O.L.S.
  - 1692 DENOTES FARLEY, SMITH & DENIS SURVEYING LTD.
  - PROPERTY LINE DENOTES PROPERTY LINE
- N=NORTH / S=SOUTH / E=EAST / W=WEST

- TOPOGRAPHIC LEGEND**
- FDN DENOTES FOUNDATION
  - CONC DENOTES CONCRETE
  - C/L DENOTES CENTERLINE
  - RET DENOTES RETAINING
  - TOW DENOTES TOP OF WALL
  - OC DENOTES OVERHEAD CABLE
  - EA DENOTES EDGE OF ASPHALT
  - BF DENOTES BOARD FENCE
  - RET DENOTES RETAINING
  - INV DENOTES INVERT
  - HP DENOTES HYDRO POLE
  - BOL DENOTES BOLLARD
  - GM DENOTES GAS METER
  - WK DENOTES WATER KEY
  - CB DENOTES CATCH BASIN
  - E\_IB DENOTES HYDRO JUNCTION BOX
  - E\_TR DENOTES HYDRO TRANSFORMER
  - MH\_STM DENOTES STORM MANHOLE
  - MH\_SAN DENOTES SANITARY MANHOLE
  - E DENOTES OVERHEAD HYDRO CABLE
  - T DENOTES OVERHEAD TELEPHONE CABLE
  - STM DENOTES UNDERGROUND STORM SEWER
  - SAN DENOTES UNDERGROUND SANITARY SEWER
  - DENOTES DECIDUOUS TREE

**ELEVATION NOTE:**

1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.

2. ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF OTTAWA CONTROL POINT 0011964U102 HAVING A PUBLISHED ELEVATION OF 80.081METRES (CGVD28: 78).

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON APRIL 9, 2024.

APRIL 25, 2024  
DATE

George Jervis  
LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-58166

**J.D. BARNES** SURVEYING MAPPING GIS LIMITED

LAND INFORMATION SPECIALISTS  
62 STEACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9  
T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: RP CHECKED BY: GZ REFERENCE NO.: 24-10-030-00  
PLOTTED: 4/26/2024 DATED: 04/25/24

Plot Stamp For BPEI Use Only

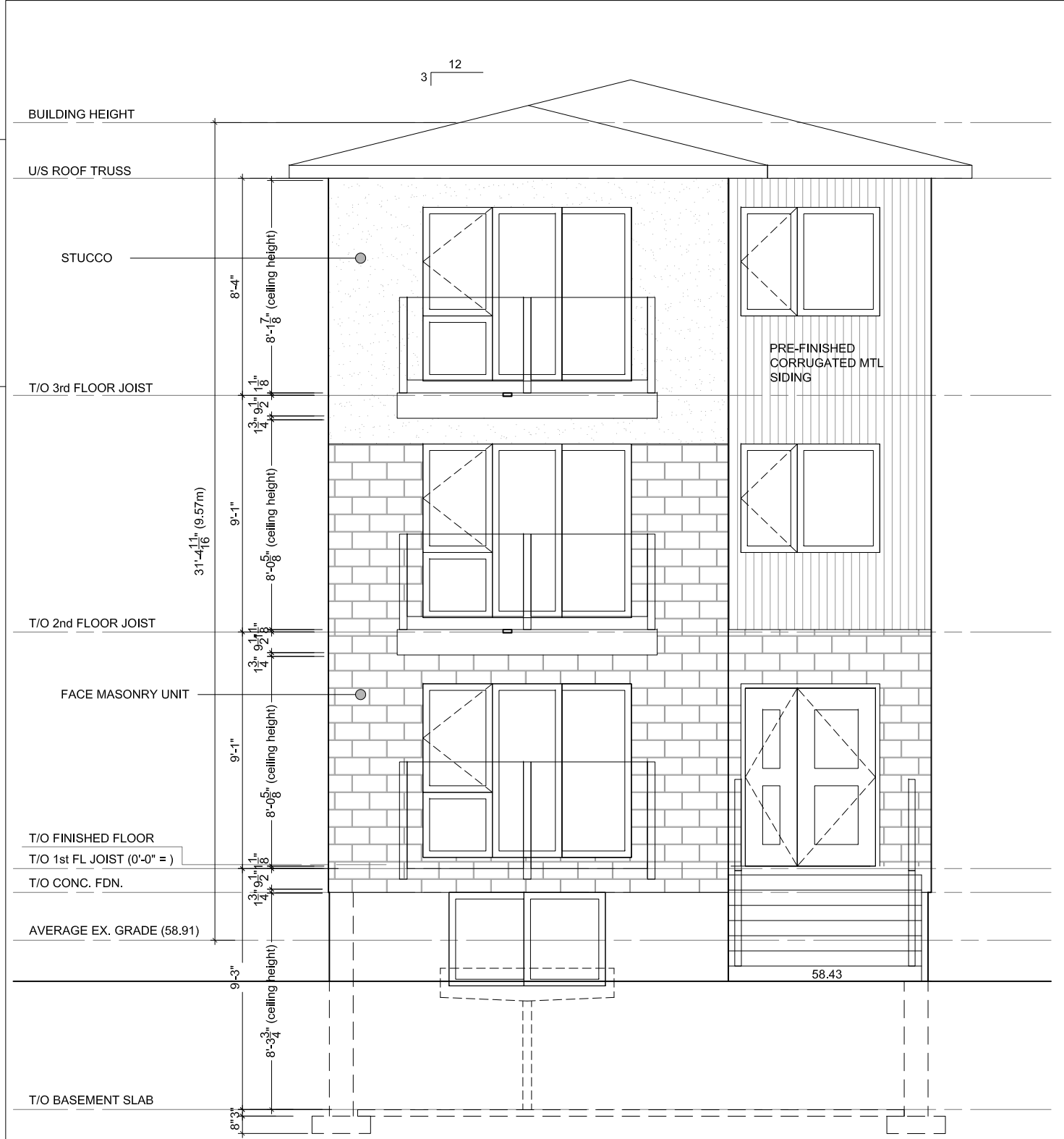
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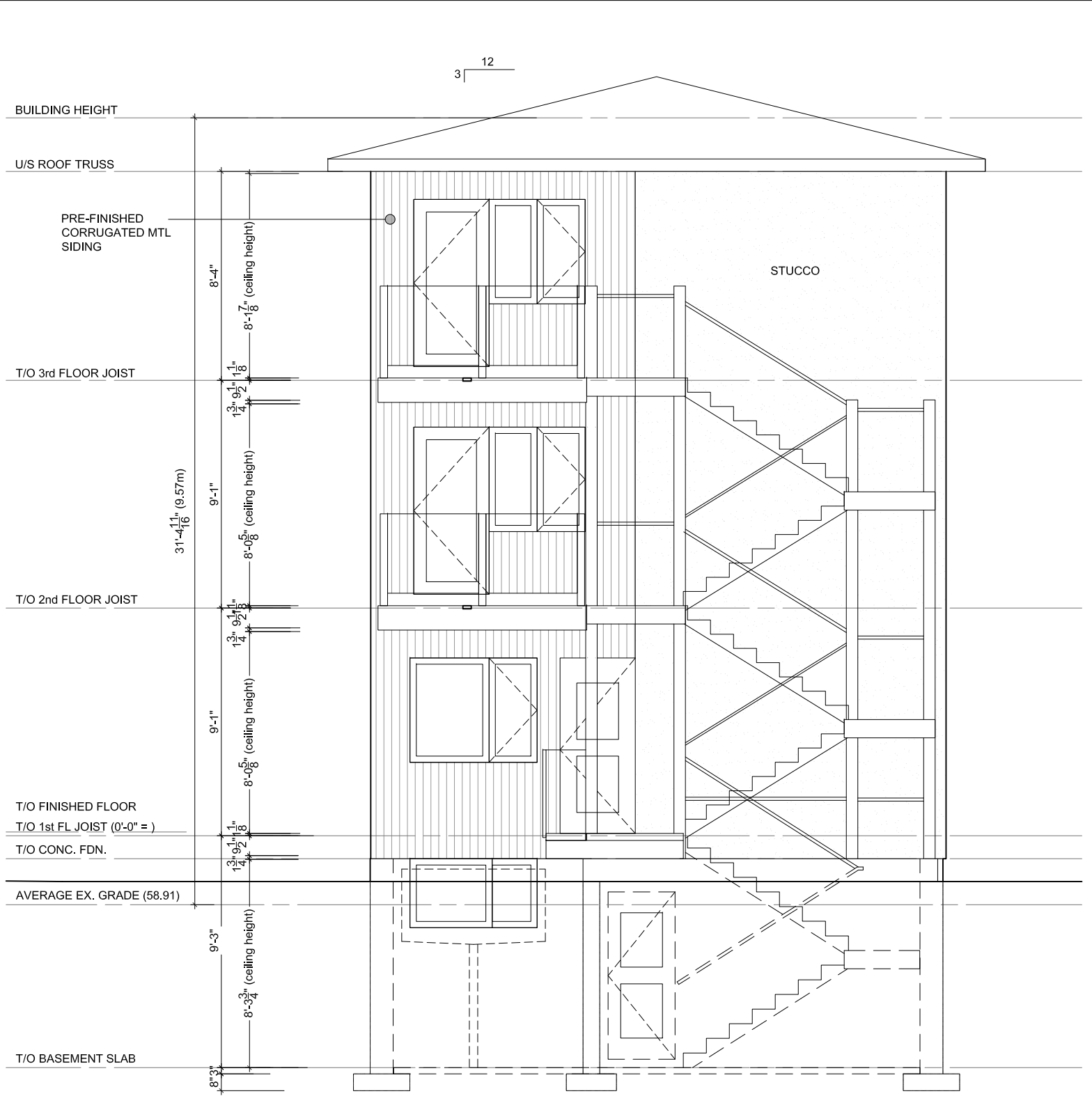


1

# FRONT BUILDING ELEVATION

MV3.0

SCALE: 3/16" = 1'-0"



2

# REAR BUILDING ELEVATION

MV3.0

SCALE: 3/16" = 1'-0"

**BING PROFESSIONAL ENGINEERING INC.**

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Phone: (613) 608 - 1324 E-mail: welcome@bingpro.ca

JOB NEW LOW RISE APARTMENT, 8 UNITS

112 Marier Ave, VANIER, ON K1L 5S1

DRAWING FRONT AND REAR BUILDING ELEVATIONS

DATE: 2024-08-03

REV DATE: SCALE: AS NOTED

REFER: PROJ. No: O-24-GEN-28

DRAWN: CHS

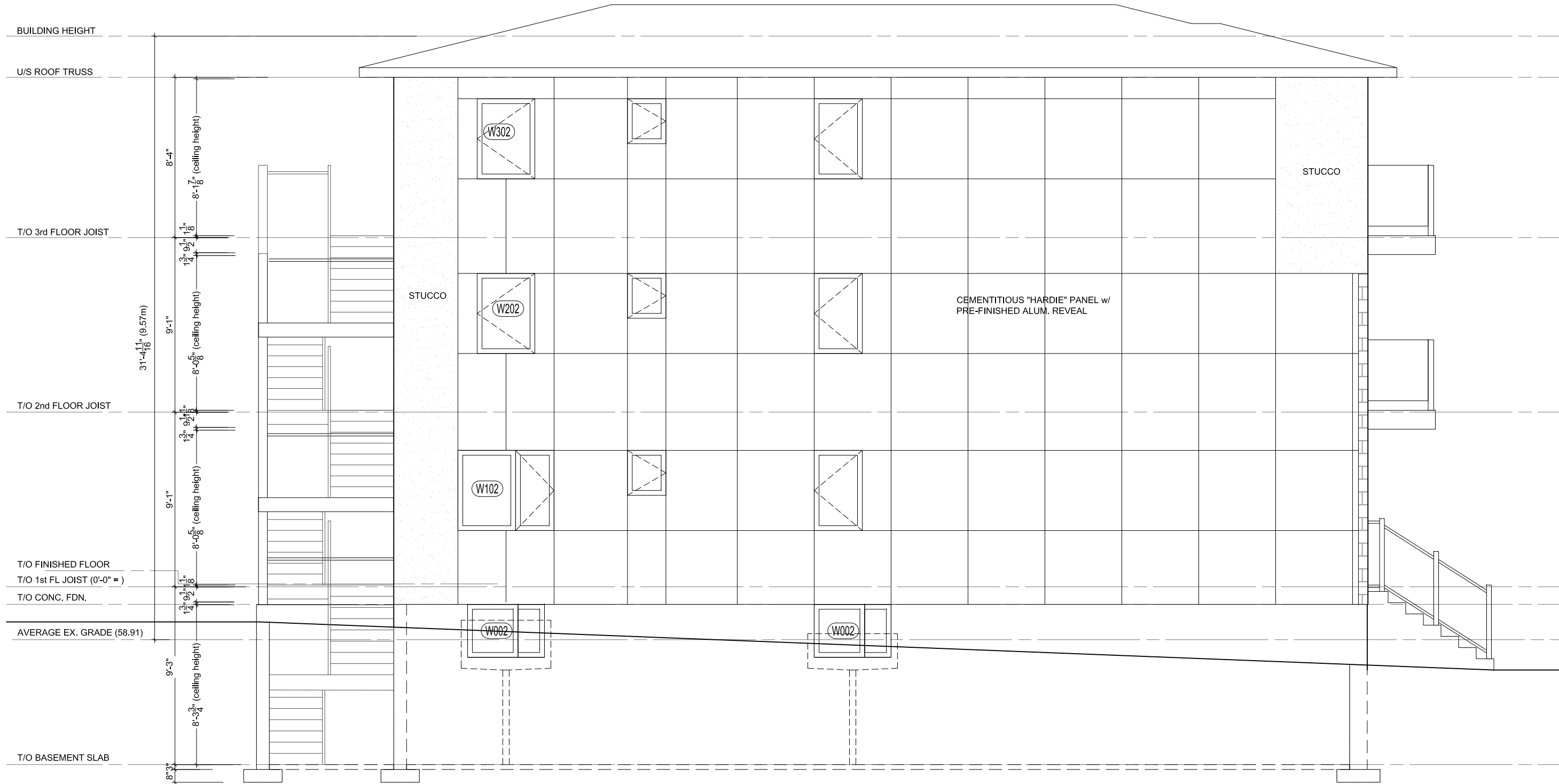
REV. No:

PART OF:

DRAWING No.

**MV3.0**

FILE.DWG



**1** LEFT BUILDING ELEVATION  
 MV3.1 SCALE: 1/4" = 1'-0"

**BING PROFESSIONAL ENGINEERING INC.**  
 Unit 5, 6 Antares Dr., Nepean, ON K2E 8A9  
 Phone: (613) 608 - 1324 E-mail: welcome@bingpro.ca

JOB	NEW LOW RISE APARTMENT, 8 UNITS	DATE:	2024-08-03	DRAWN:	CHS	DRAWING No.	
	112 Marier Ave, VANIER, ON K1L 5S1	REV DATE:		REV. No:		<b>MV3.1</b>	
DRAWING	LEFT BUILDING ELEVATION	SCALE:	AS NOTED	PART OF:			FILE.DWG
		REFER:		PROJ. No:	O-24-GEN-28		

PLLOT STAMP FOR BPEI USE ONLY

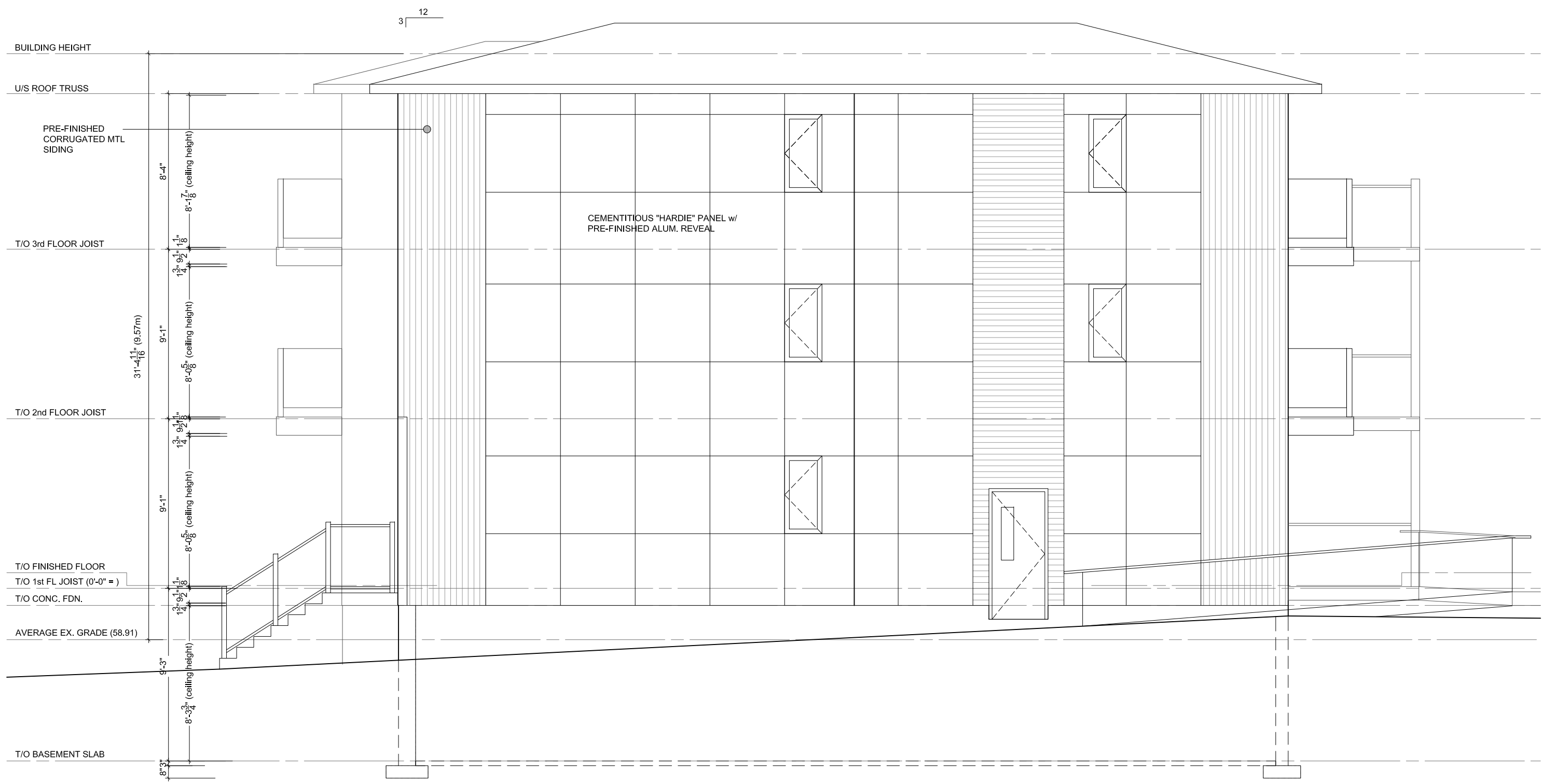
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Page Setup:

Plotter:



**1**  
MV3.2

# RIGHT BUILDING ELEVATION

SCALE: 3/16" = 1'-0"

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ENGINEERING INC.**

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JOB NEW LOW RISE APARTMENT, 8 UNITS

112 Marier Ave, VANIER, ON K1L 5S1

DRAWING  
RIGHT BUILDING ELEVATION

DATE:  
2024-08-03

REV.  
DATE:

SCALE:  
AS NOTED

REFER:

DRAWN:  
CHS

REV.  
No:

PART  
OF:

PROJ.  
No: O-24-GEN-28

DRAWING No.

**MV3.2**

FILE.DWG