

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999942.

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N 65°18'00" W and are referenced to Specified Control Points 01919680105 and 019198434761, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680105 and 01918434761, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Notes & Legend

- Denotes Survey Monument Planted
- " Survey Monument Found
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- CP " Concrete Pin
- Meas. " Measured
- (AOG) " Annis, O'Sullivan, Vollebakk Ltd.
- (PI) " Registered Plan 681
- (P2) " Plan 4R-33637
- (P3) " (1474) Plan July 15, 1998
- WTL " Wall ± to Line
- C/L " Centreline
- BF " Board Fence
- CLF " Chain Link Fence
- WRW " Wood Retaining Wall

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

01919680105	Northing	5024915.16	Easting	373971.65
019198434761	Northing	5036178.12	Easting	372436.11
Point A	Northing	5034044.40	Easting	370689.80
Point B	Northing	5034058.20	Easting	370719.82

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: _____

T. HARTWICK
ONTARIO LAND SURVEYOR

PLAN 4R-

RECEIVED AND DEPOSITED

DATE: _____

REPRESENTATIVE FOR
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE

AREA (Sq.m.)	PART	LOT	PLAN	PIN
203.5	1	PART OF 2	908	ALL OF 04230-0585
10.8	2			
10.7	3			
203.2	4			

Parts 2 and 3: Subject to easement, Inst. OC2387206.

PLAN OF SURVEY OF PART OF LOT 2 REGISTRAR'S COMPILED PLAN 908 CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 150



Metric

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate

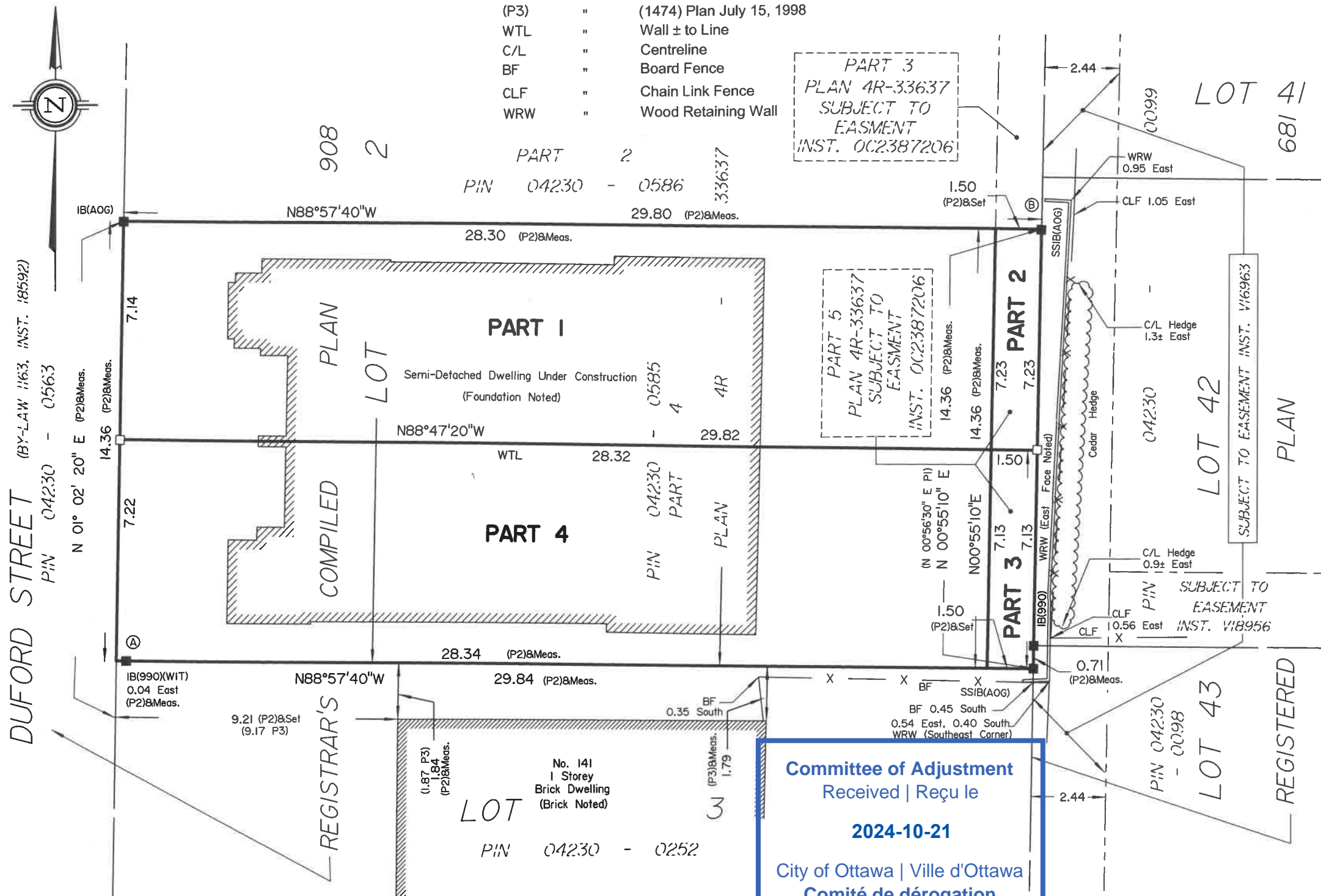
I CERTIFY THAT:

- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
- The survey was completed on the ___ day of ___, 20__.

Date

T. Hartwick
Ontario Land Surveyor

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovltd.com



Committee of Adjustment
 Received | Reçu le
2024-10-21
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

A:\2021\22401-21_Tavanti\137-136 Duford Street_Construction_T\Drawings\22401-21 Tavanti Lt 2 PL 908 (137-139) R D2.dwg, 2021-12-23 10:19:33 AM

ZONING INFO		
LEGAL DESCRIPTION: PIN		
ZONING	RZL	
PRINCIPAL DWELLING TYPE	SEMI-DETACHED DWELLINGS	
ZONING REQUIREMENTS	REQUIRED	PROPOSED 137/139 Duford St
MINIMUM LOT WIDTH	6	7.17 m (7.17 m)
MINIMUM LOT AREA	185 m ² (per sam)	213.07 m ² (213.07 m ²)
MAXIMUM BUILDING HEIGHT	8.5 m	8.32 m (8.32 m)
MINIMUM FRONT YARD SETBACK	4.5 m	4.52 m (4.52 m)
MINIMUM CORNER YARD SETBACK	4.5 m	n/a
MINIMUM REAR YARD SETBACK	20% OF THE LOT DEPTH MUST BE MIN 25% OF THE LOT AREA (8.34 m)	8.97 m (8.97 m)
MINIMUM INTERIOR SIDE YARD SETBACK REAR LOT	1 m	1.02 m (1.02 m)
MINIMUM AGGREGATED FRONT YARD SOFT LANDSCAPE	30% 4.5m x 14.34m = 64.53 m ² 64.53 m ² x 30% = 19.359 m ² (19.36 sq.ft.)	115.19 sq.ft. 109.92 sq.ft.



2 LOCATION PLAN
SCALE: NTS

Committee of Adjustment
OCT 10 2024
City of Ottawa

NEW SEMI-DETACHED DWELLING AT 137-139 DUFORD STREET OTTAWA, ONTARIO

PROJECT NORTH TRUE NORTH

MOHSEN EBRAHIMI-POUR Project Manager
T 613-748-1050
E mohsen@taventi.com

SUSAN D. SMITH ARCHITECT
541 Merrivale Road
Ottawa, Ontario K1Z 6A1
T 613-722-5327
s.smith@sdsarch.ca

1	ISSUED FOR CONSTRUCTION (CONTRACTOR PLAN)	10/09/2023
2	RESPONSE TO CITY ZONING COMMITTEE	06/16/2023
3	RESPONSE TO CITY COMMITTEE	04/03/2023
4	ISSUED TO THE COMMITTEE OF ADJUSTMENT	12/22/22
5	REVISION	DATE

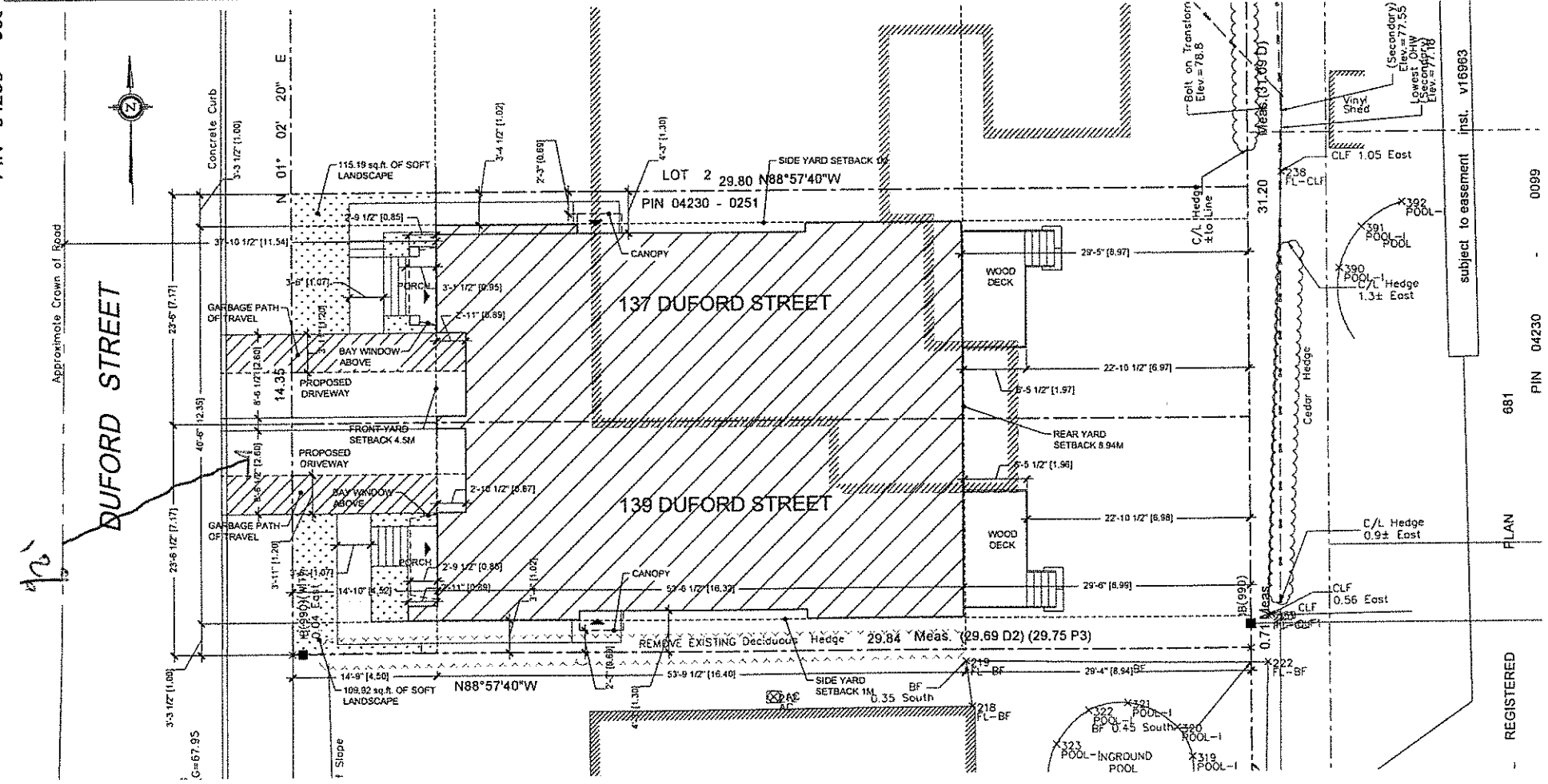
NOTE:
1. All dimensions are to be checked onsite. Discrepancies or ambiguities should be reported prior to work on site or ordering materials.
2. All work to comply with Ontario building code.
3. All dimensions include thickness of gypsum board on stud walls.

PROJECT TITLE
NEW SEMI-DETACHED DWELLING AT 137-139 DUFORD STREET OTTAWA, ONTARIO

DRAWING TITLE
SITE PLAN, BUILDING CODE MATRIX, ZONING CHART, AND GENERAL NOTES

PROJECT START DATE	DRAWN BY
MARCH, 2020	T.D.S.C. H.S.
SCALE	DATE
AS INDICATED	2015
REVIEWED BY	DRAWN BY

SP



1 SITE PLAN
SCALE: 3/16" = 1'-0"

681 PIN 04230 REGISTERED

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
PART OF LOT 2
REGISTRAR'S COMPILED PLAN 908
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 150



Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT :

1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 22nd day of November, 2021.

March 14/22
Date

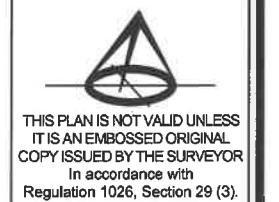
T. Hartwick
T. Hartwick
Ontario Land Surveyor

PART 2

1. REGISTERED RIGHTS-OF-WAY/EASEMENTS
Part 5 on Plan 4R-33637 is subject to easement Inst. OC2387206.
2. PROPERTY IMPROVEMENTS
Not applicable. This is a foundation survey only; future structures above foundation level and future site improvements cannot be commented on.
3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS
Compliance is not certified by this report.
4. ADDITIONAL REMARKS
The building ties are to the unparted concrete foundation walls.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to Taveni ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-22622



Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

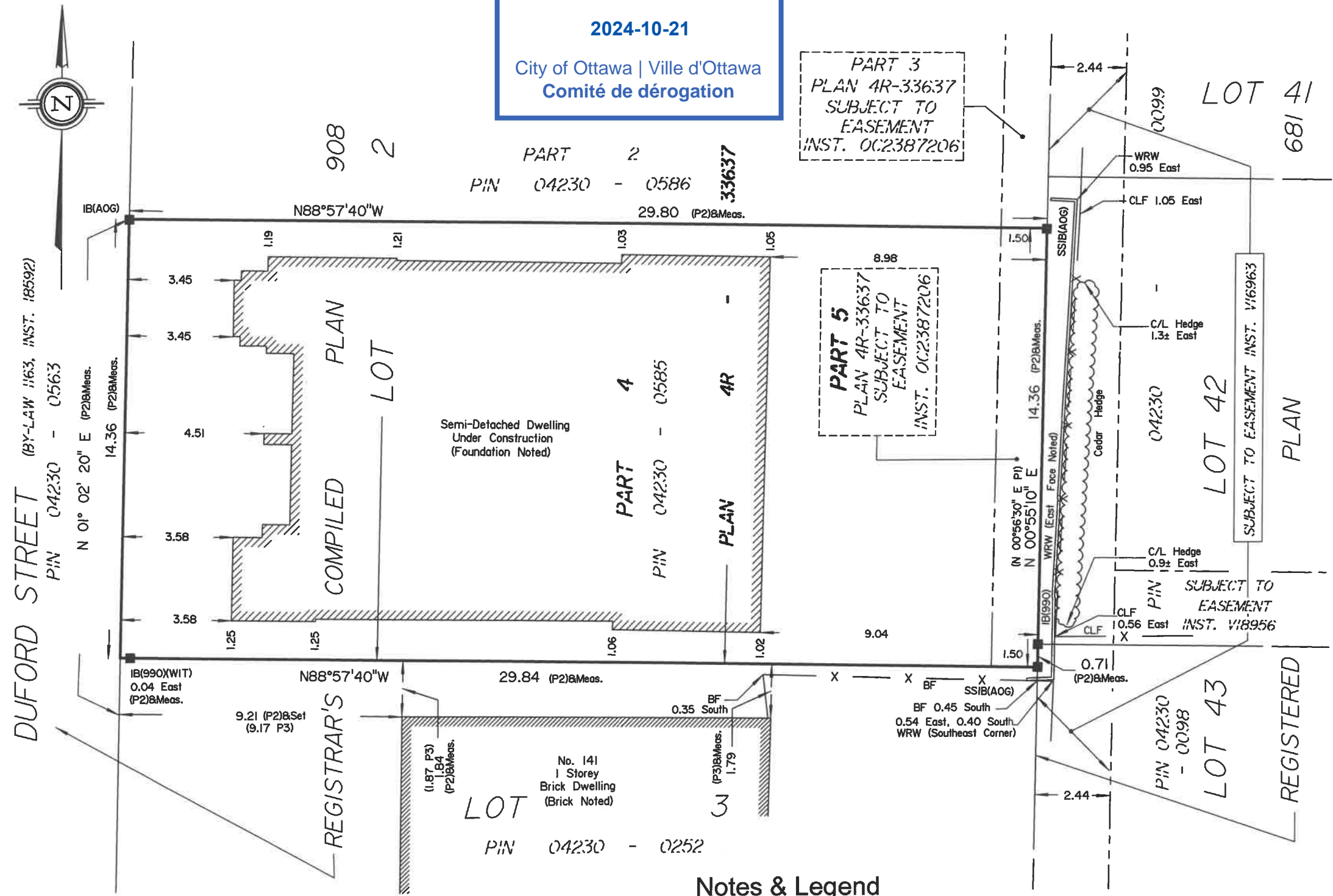
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 Email: Nepean@aosvld.com

Committee of Adjustment
 Received | Reçu le
2024-10-21
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

PART 3
 PLAN 4R-33637
 SUBJECT TO
 EASEMENT
 INST. OC2387206

PART 5
 PLAN 4R-33637
 SUBJECT TO
 EASEMENT
 INST. OC2387206



Notes & Legend

□	Denotes	Survey Monument Planted	(P1)	"	Registered Plan 681
■	"	Survey Monument Found	(P2)	"	Plan 4R-33637
SSIB	"	Short Standard Iron Bar	(P3)	"	(1474) Plan July 15, 1998
IB	"	Iron Bar	C/L	"	Centreline
CP	"	Concrete Pin	BF	"	Board Fence
Meas.	"	Measured	CLF	"	Chain Link Fence
(AOG)	"	Annis, O'Sullivan, Vollebakk Ltd.			

MAX BUILDING HEIGHT, ZONING BYLAW 79.27
PROPOSED BUILDING HEIGHT 78.09

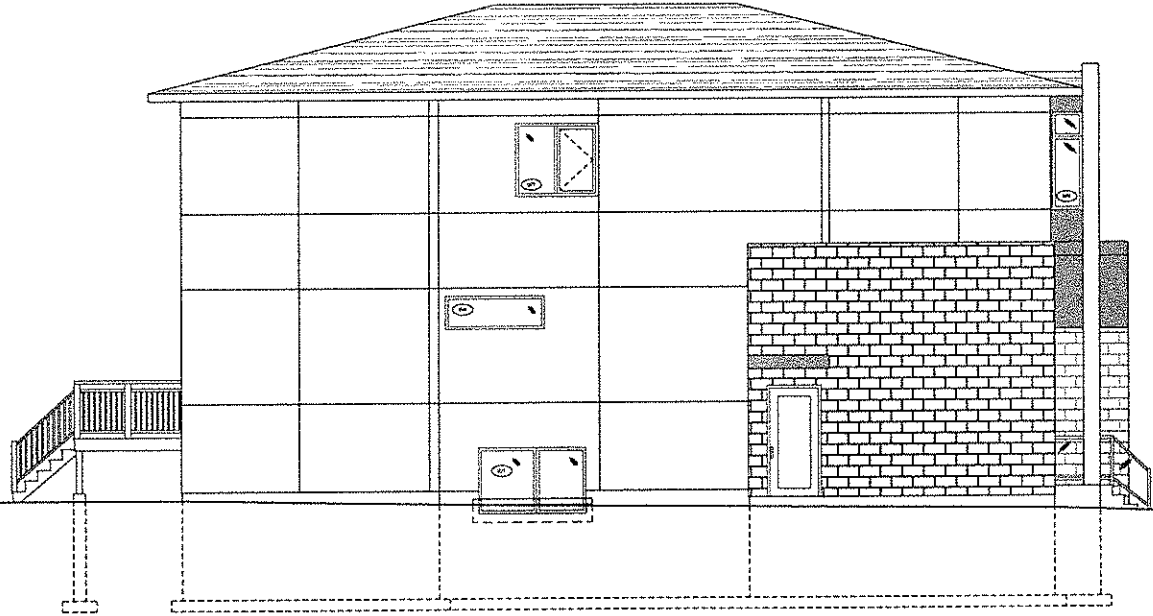
U/S OF FINISHED CEILING 77.13

T/O FINISHED SECOND FLOOR 74.33
U/S OF FINISHED CEILING 74.04

T/O FINISHED GROUND FLOOR 70.93
U/S OF FINISHED CEILING 70.63

AVERAGE GRADE 69.77
T/O GARAGE SLAB 69.14

T/O BASEMENT SLAB 67.83
U/S OF FOOTING 67.59



1 NORTH ELEVATION - 137 DUFORD STREET
SCALE: 1/4" = 1'-0"

MAX BUILDING HEIGHT, ZONING BYLAW 79.27
PROPOSED BUILDING HEIGHT 78.09

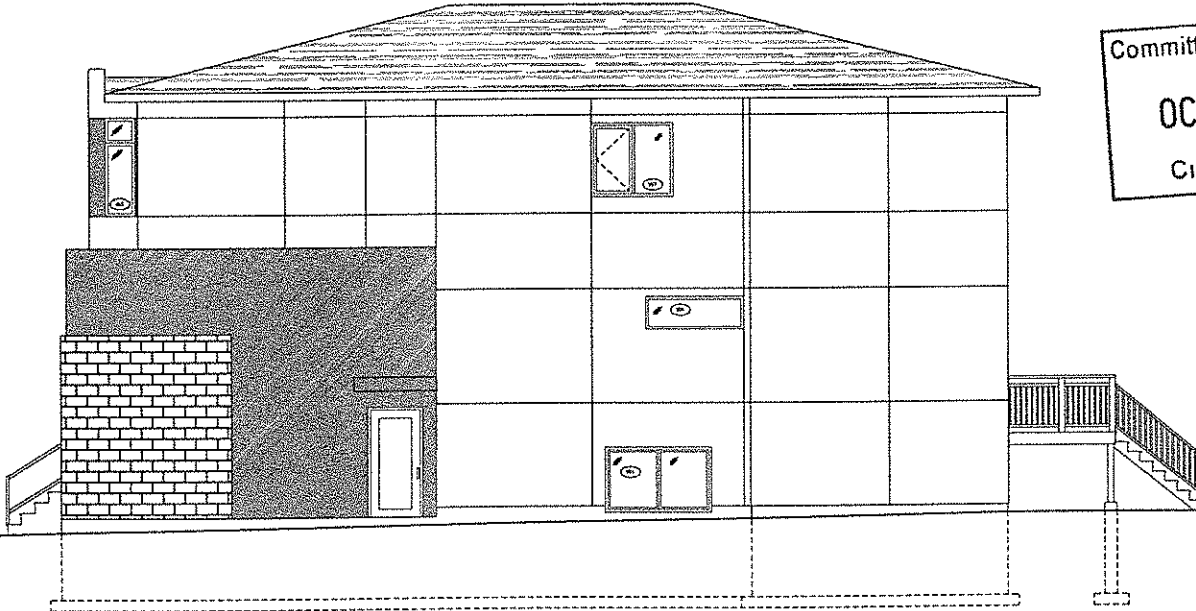
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AVERAGE GRADE 69.77
T/O GARAGE SLAB 69.14

T/O BASEMENT SLAB 67.83
U/S OF FOOTING 67.59



2 SOUTH ELEVATION - 139 DUFORD STREET
SCALE: 1/4" = 1'-0"

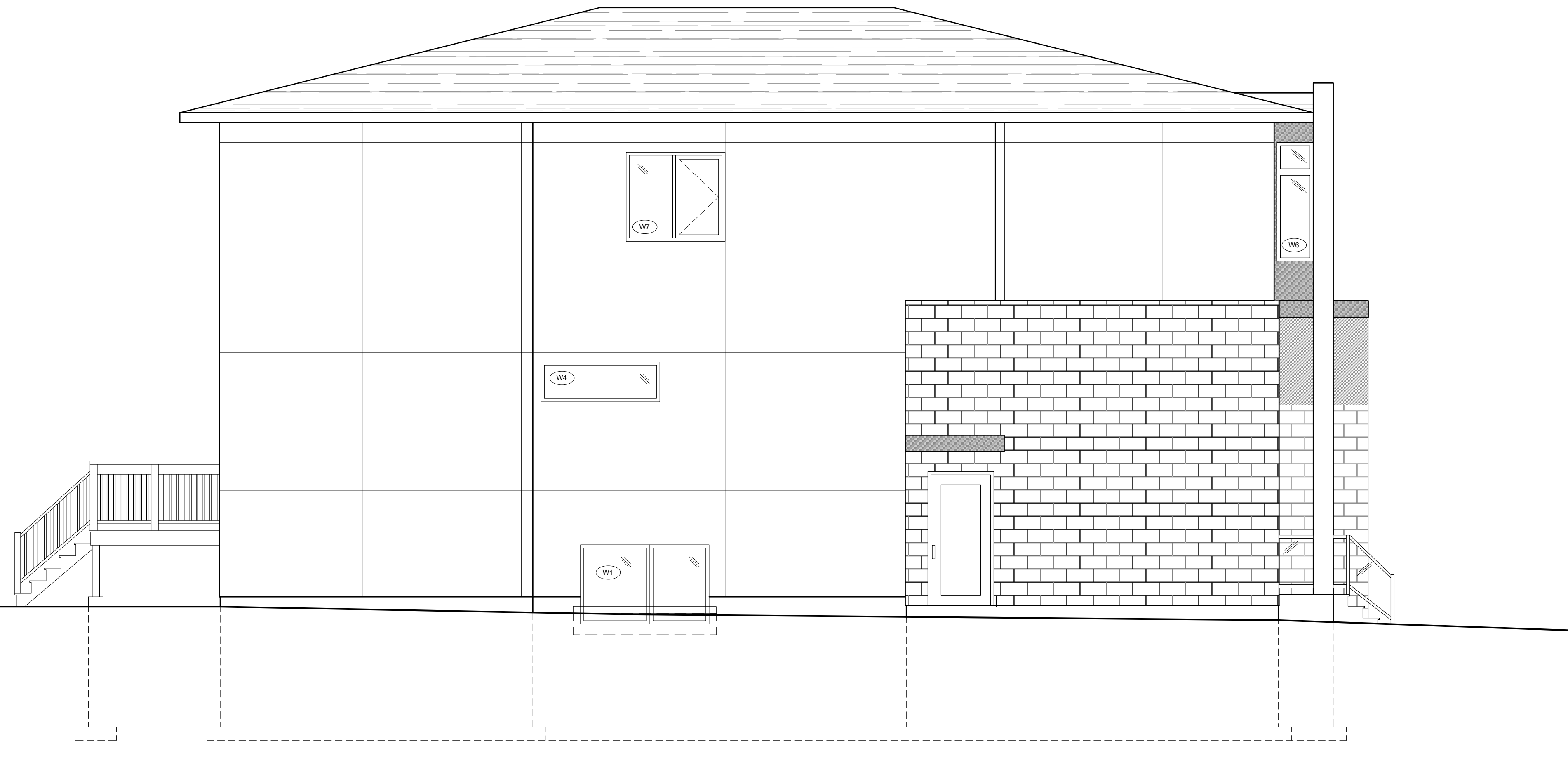
Committee of Adjustment
OCT 10 2024
City of Ottawa

NEW SEMI-DETACHED DWELLING AT 137-139 DUFORD STREET OTTAWA, ONTARIO		NEW SEMI-DETACHED DWELLING AT 139 DUFORD STREET OTTAWA, ONTARIO																																																																																																																																																																																																																																																																																																																																																																																																																					
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<p>PROJECT TITLE:</p> <p>NEW SEMI-DETACHED DWELLING AT 137-139 DUFORD STREET OTTAWA, ONTARIO</p>		<p>PROJECT TITLE:</p> <p>NEW SEMI-DETACHED DWELLING AT 139 DUFORD STREET OTTAWA, ONTARIO</p>																																																																																																																																																																																																																																																																																																																																																																																																																					
<p>DRAWING TITLE:</p> <p>137/139 DUFORD NORTH AND SOUTH ELEVATIONS</p>		<p>DRAWING TITLE:</p> <p>SECOND FLOOR PLAN AND ROOF PLAN</p>																																																																																																																																																																																																																																																																																																																																																																																																																					
<p>PROJECT START DATE:</p> <p>MARCH, 2020</p>	<p>DRAWN BY:</p> <p>T.D.S.C. H.S.</p>	<p>DATE:</p> <p>20</p>	<p>DRAWN BY:</p> <p>T.D.S.C. H.S.</p>																																																																																																																																																																																																																																																																																																																																																																																																																				
<p>SCALE:</p> <p>AS INDICATED</p>	<p>JOB NO.:</p> <p>2015</p>	<p>REV.:</p> <p>ED</p>	<p>JOB NO.:</p> <p>2015</p>																																																																																																																																																																																																																																																																																																																																																																																																																				
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Committee of Adjustment
Received | Reçu le
2024-10-24
City of Ottawa | Ville d'Ottawa
Comité de dérogation

NEW SEMI-DETACHED DWELLING
AT
137-139 DUFORD STREET
OTTAWA, ONTARIO

MAX BUILDING HEIGHT- ZONING BYLAW(78.27)
PROPOSED BUILDING HEIGHT (78.09)
U/S OF FINISHED CEILING (77.13)
9'-0 1/4"
T/O FINISHED SECOND FLOOR (74.38)
U/S OF FINISHED CEILING (74.04)
10'
T/O FINISHED GROUND FLOOR (70.99)
U/S OF FINISHED CEILING (70.65)
AVERAGE GRADE (69.77)
T/O GARAGE SLAB (69.14)
5'-1"
T/O BASEMENT SLAB (67.88)
U/S OF FOOTING (67.60)



1 NORTH ELEVATION - 137 DUFORD STREET
A3 SCALE: 1/4" = 1'-0"

TAVENTI MOHSEN EBRAHIMPOUR
Project Manager
T 613-746-1000
E mohsen@tamenti.com

SUSAN D. SMITH ARCHITECT
941 Merivale Road
Ottawa, Ontario K1Z 6A1
T:613-722-5327
s.smith@sdsarch.ca

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04	ISSUED FOR CONSTRUCTION (FOUNDATION PLAN)	12/01/2021
03	RESPONSE TO CITY ZONING COMMENTS	05/18/2021
02	RESPONSE TO CITY COMMENTS	04/09/2021
01	ISSUED TO THE COMMITTEE OF ADJUSTMENTS	12/03/2020
NO	REVISION	DATE

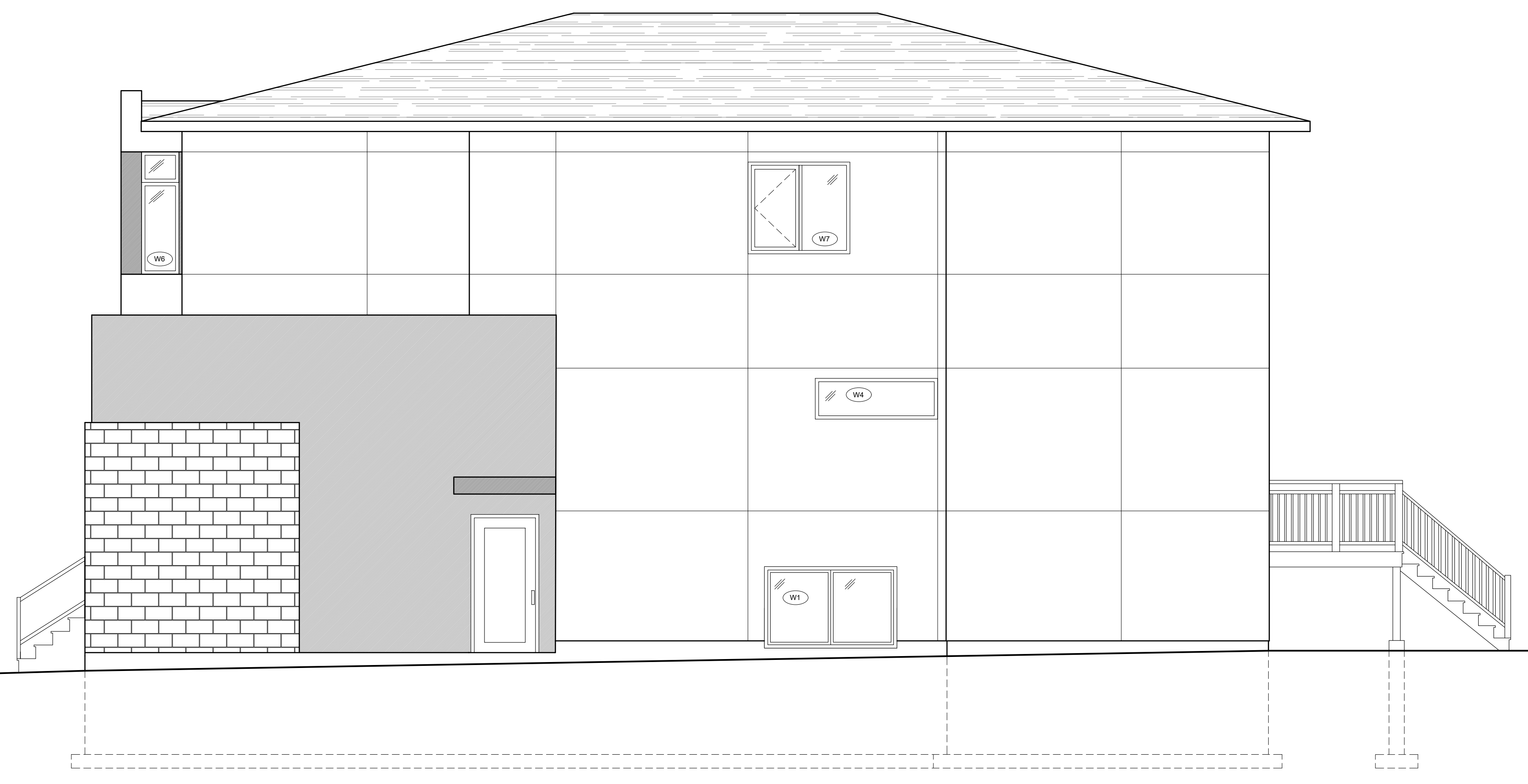
NOTE:
1. All dimensions are to be checked onsite. Discrepancies or ambiguities should be reported prior to work on site or ordering materials.
2. All work to comply with Ontario building code.
3. All dimensions include thickness of gypsum board on stud walls.

PROJECT TITLE:
NEW SEMI-DETACHED DWELLING
AT
137-139 DUFORD STREET
OTTAWA, ONTARIO

DRAWING TITLE:
137/139 DUFORD
NORTH AND SOUTH
ELEVATIONS

PROJECT START DATE:
MARCH, 2020
DRAWN BY:
T.D, S.C, H.S.
SCALE:
AS INDICATED
JOB No.:
2015
REVIEWED BY:
SHEET No.:

MAX BUILDING HEIGHT- ZONING BYLAW(78.27)
PROPOSED BUILDING HEIGHT (78.09)
U/S OF FINISHED CEILING (77.13)
9'-0 1/4"
T/O FINISHED SECOND FLOOR (74.38)
U/S OF FINISHED CEILING (74.04)
10'
T/O FINISHED GROUND FLOOR (70.99)
U/S OF FINISHED CEILING (70.65)
AVERAGE GRADE (69.77)
T/O GARAGE SLAB (69.14)
5'-1"
T/O BASEMENT SLAB (67.88)
U/S OF FOOTING (67.60)



2 SOUTH ELEVATION - 139 DUFORD STREET
A3 SCALE: 1/4" = 1'-0"

A3



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

Committee of Adjustment
Received | Reçu le
2024-10-24
City of Ottawa | Ville d'Ottawa
Comité de dérogation

NEW SEMI-DETACHED DWELLING
AT
137-139 DUFORD STREET
OTTAWA, ONTARIO

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04	ISSUED FOR CONSTRUCTION (FOUNDATION PLAN)	12/01/2021
03	RESPONSE TO CITY ZONING COMMENTS	05/19/2021
02	RESPONSE TO CITY COMMENTS	04/09/2021
01	ISSUED TO THE COMMITTEE OF ADJUSTMENTS	12/03/2020
NO	REVISION	DATE

NOTE:
1. All dimensions are to be checked onsite. Discrepancies or ambiguities should be reported prior to work on site or ordering materials.
2. All work to comply with Ontario building code.
3. All dimensions include thickness of gypsum board on stud walls.

PROJECT TITLE:
NEW SEMI-DETACHED DWELLING
AT
137-139 DUFORD STREET
OTTAWA, ONTARIO

DRAWING TITLE:
EAST AND WEST ELEVATIONS

PROJECT START DATE:
MARCH, 2020
DRAWN BY:
T.D, S.C, H.S.

SCALE:
AS INDICATED
JOB No.:
2015

REVIEWED BY:
SHEET No.:



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

A4