

PLAN OF SURVEY OF

THE LOT LINE BETWEEN LOTS 34 AND 36
REGISTERED PLAN 114
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebekk Ltd.

Scale 1 : 100



Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT :

1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 8th day of March, 2024.

April 12, 2024
Date

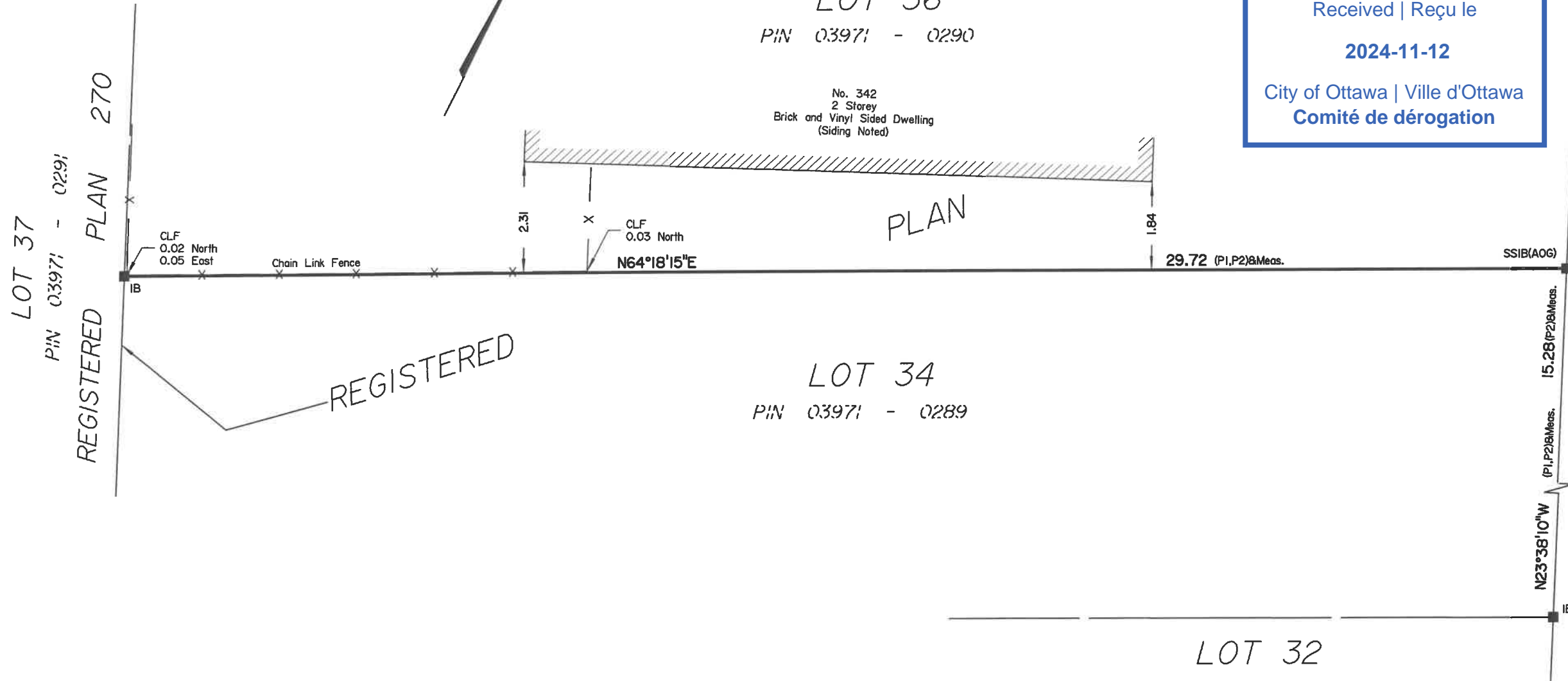
Jamie Leslie

Jamie Leslie
Ontario Land Surveyor

Notes & Legend

□	Denotes	Survey Monument Planted
■	"	Survey Monument Found
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
(P1)	"	(AOG) Plan Dated October 3, 2006
(P2)	"	(AOG) Plan Dated August 9, 2011
Meas.	"	Measured
CLF	"	Chain Link Fence

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).



Committee of Adjustment
Received | Reçu le

2024-11-12

City of Ottawa | Ville d'Ottawa
Comité de dérogation

114
ROOSEVELT AVENUE
(FORMERLY VICTORIA AVENUE)
PIN 04017 - 0131

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-75357

THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 29 (3).

© Annis, O'Sullivan, Vollebekk Ltd, 2024. "THIS PLAN IS PROTECTED BY COPYRIGHT"

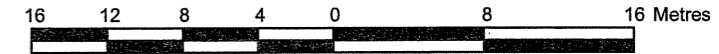
ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovltd.com

Ontario Land Surveyors

Job No. 24240-24 Kur1W, PIL136 P114 O F

Committee of Adjustment
Received | Reçu le
2024-11-12
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
LOT 34
REGISTERED PLAN 114
CITY OF OTTAWA
Scale 1 : 400



Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act, the
Surveyors Act, the Land Titles Act and the regulations made under them.
2. The survey was completed on the 28th day of September, 2006.

Oct. 3 2006
Date
E. H. Herweyer
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: OCTOBER 3, 2006.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to
G. Westwell/Crawford Door Sales of Canada Ltd. ("The Client"), their solicitors,
mortgagees, and other related parties, permission to use original, signed, sealed
copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

- Denotes Survey Monument Planted
- " Survey Monument Found
- SIB " Standard Iron Bar
- SIBØ " Round Standard Iron Bar
- SSIB " Short Standard Iron Bar
- IB " Iron Bar
- IBØ " Round Iron Bar
- IP " Iron Pipe
- (WIT) " Witness
- (AOG) " Annis, O'Sullivan, Vollebakk Ltd.
- Meas. " Measured
- Acc. " Accepted
- BF " Board Fence
- C/L " Centreline
- (P1) " Registered Plan 114
- (P2) " Plan 5R-3875
- (P3) " Plan by (1287), dated July 22, 1992 (Ref. No. 291-92)
- (P4) " Notes by (857), Ref. No. 7-114
- (P5) " Notes by (477), dated May 22, 1946
- (P6) " Plan 5R-12620
- (P7) " Plan 4R-2731
- (P8) " Plan 4R-14387

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1623188

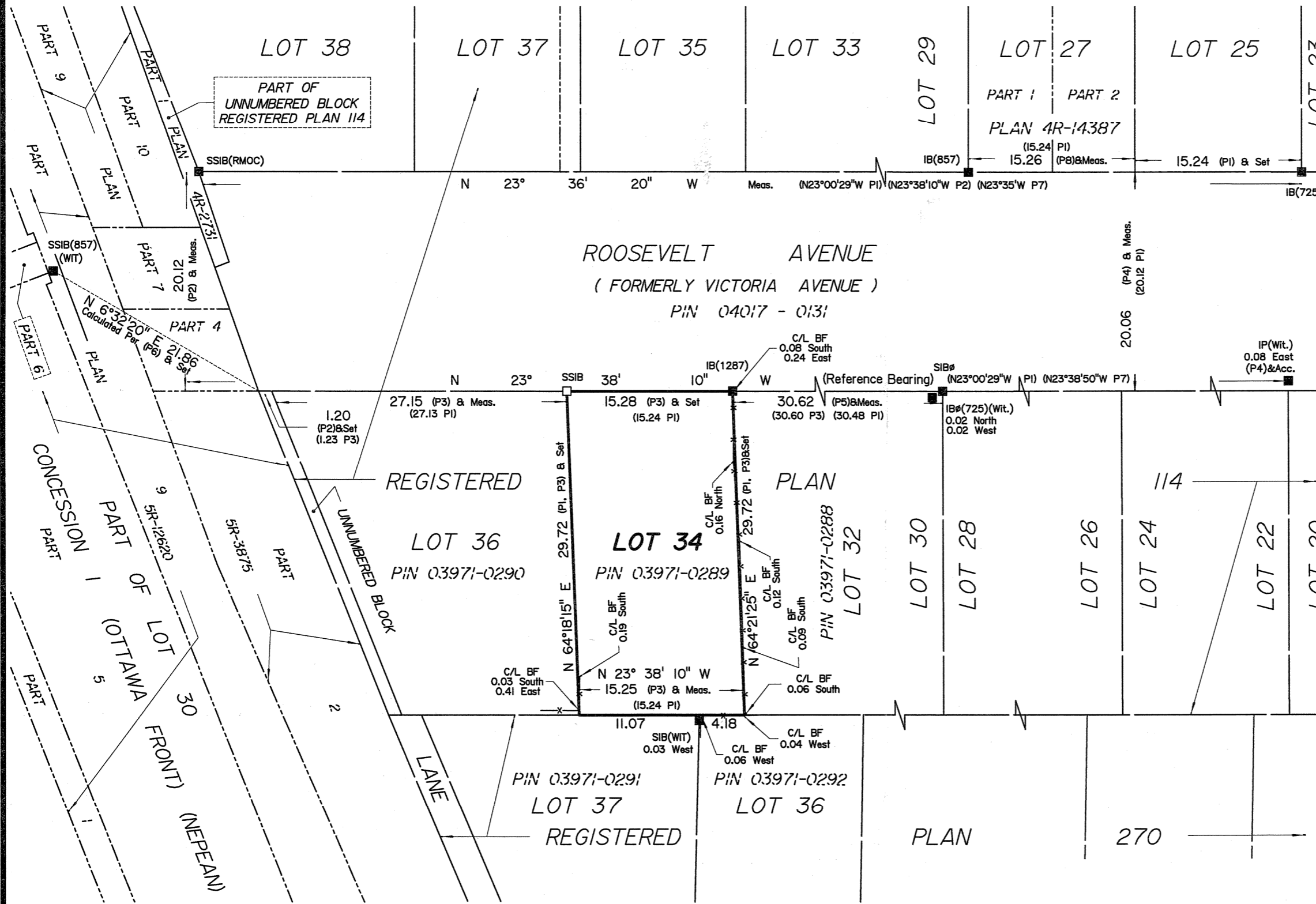
THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
IN ACCORDANCE WITH
Regulation 1026, Section 29 (3)

Bearings are grid bearings, derived from the westerly limit of
Roosevelt Avenue, shown to be N 23°38'10" W on Plan 5R-3875.

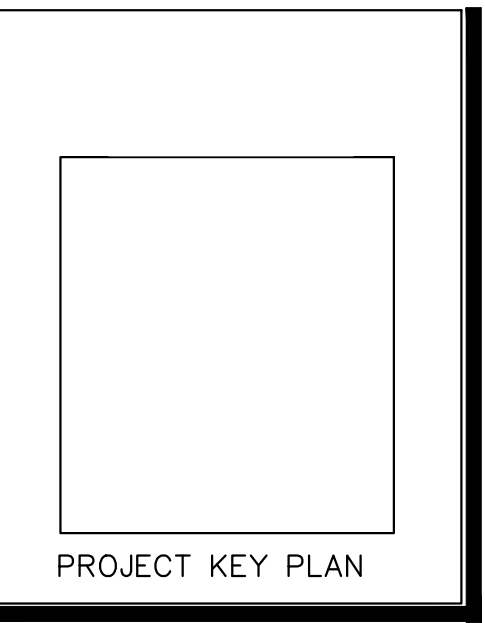
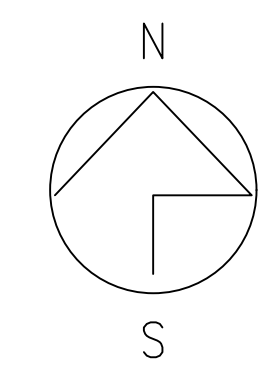
© Annis, O'Sullivan, Vollebakk Ltd, 2006. "THIS PLAN IS PROTECTED BY COPYRIGHT"

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovltd.com

Job No. 7211-06 Westwell L0t 34 RP 114 SRPR N D



Committee of Adjustment
Received | Reçu le
2024-11-12
City of Ottawa | Ville d'Ottawa
Comité de dérogation



REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE ARCHITECT'S PERMISSION

REVISIONS:	DATE:
Revised for permit	15/09/21
Issued for 90% review	12/11/21
Issued for permit	09/01/22
Issued for permit	27/04/22
Permit revision	16/12/24
Issued for Variance	12/11/24

DRAWN BY:
DEXTOR EDWARDS
DATE:
AUG 2021
SCALE:
AS SHOWN ON DETAIL

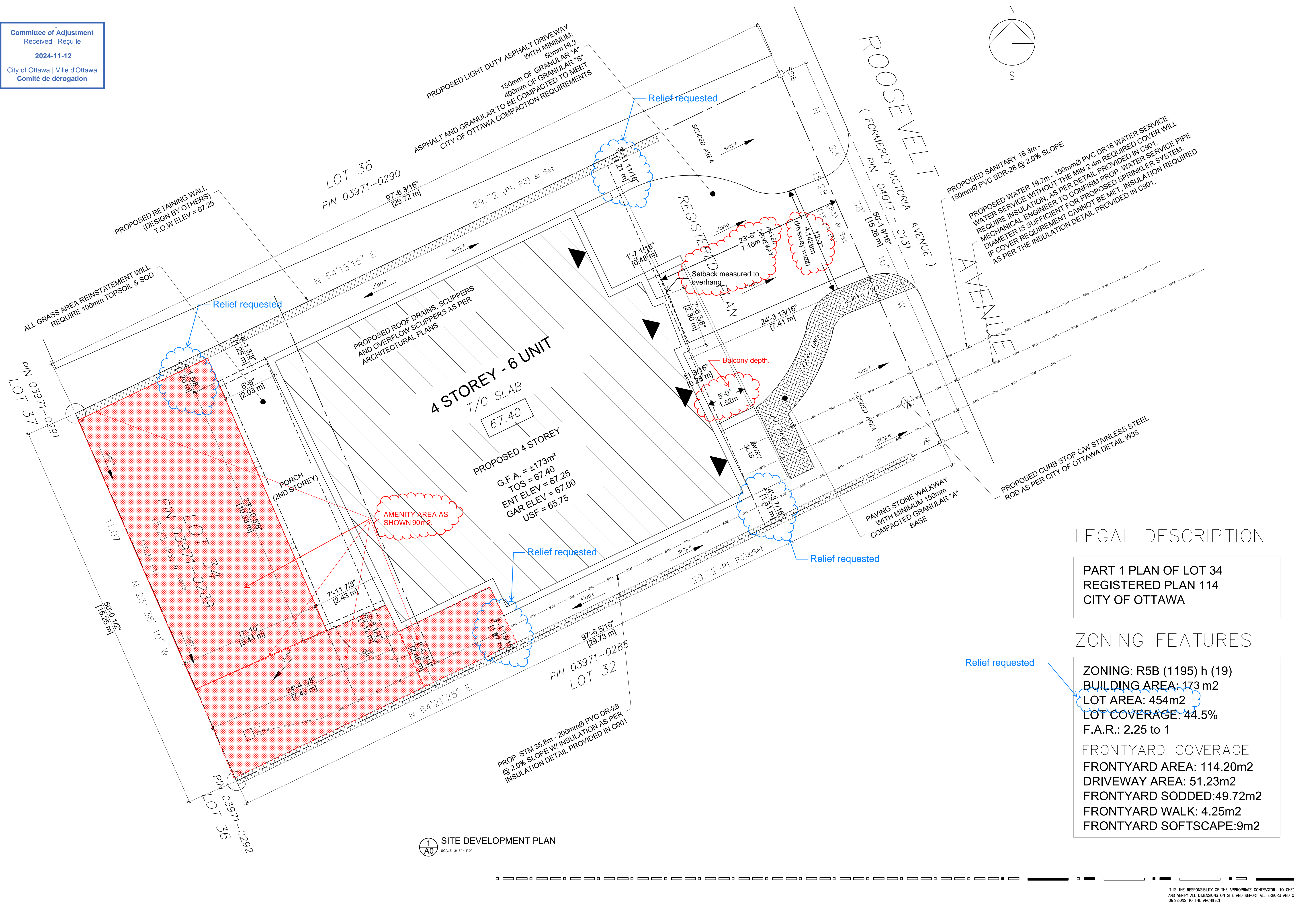
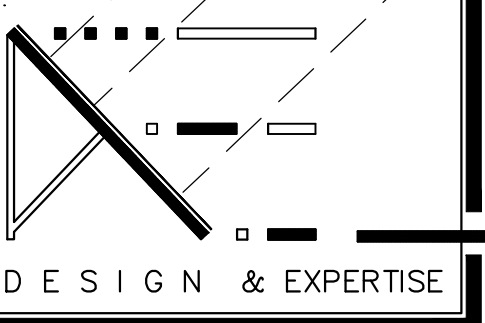
PROJECT:
346 ROOSEVELT APARTMENT BLOCK
OTTAWA, ONT.
CLIENT:
KURT, SHAWN AND GREG WESTWELL
OTTAWA, ONTARIO

A0

JOB NO: 1006 - 09



DEXTOR A. EDWARDS
88 CENTREPOINTE DRIVE, SUITE 100
OTTAWA, ONTARIO
CANADA
K2G 6B1
PHONE:
(613) 725 - 4150
FAX:
(613) 456 - 9983



LEGAL DESCRIPTION
PART 1 PLAN OF LOT 34
REGISTERED PLAN 114
CITY OF OTTAWA

ZONING FEATURES
ZONING: R5B (1195) h (19)
BUILDING AREA: 173 m2
LOT AREA: 454m2
LOT COVERAGE: 44.5%
F.A.R.: 2.25 to 1
FRONTYARD COVERAGE
FRONTYARD AREA: 114.20m2
DRIVEWAY AREA: 51.23m2
FRONTYARD SODDED: 49.72m2
FRONTYARD WALK: 4.25m2
FRONTYARD SOFTSCAPE: 9m2

1 SITE DEVELOPMENT PLAN
SCALE: 3/16" = 1'-0"

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

SOUTH - ELEVATION AT SIDYARD

PERCENTAGE OF EXPOSED BUILDING FACE AT SOUTH ELEVATION FOR SPATIAL SEPARATION AS PER O.B.C. SECTION 3.2.3.1

PROPOSED AREA OF BUILDING FACE AT 1.2m LIMIT = 167 m² (1,797.63 SQ.FT.)
 PROPOSED GLAZING PERCENTAGE AT THIS FACE = 5.0% (8.4 m²)

ALLOWABLE GLASS AREA AT BLDG FACE BASED ON 1.2m (11.7m²) AT ACTUAL LIMITING DISTANCE = MAX 14%

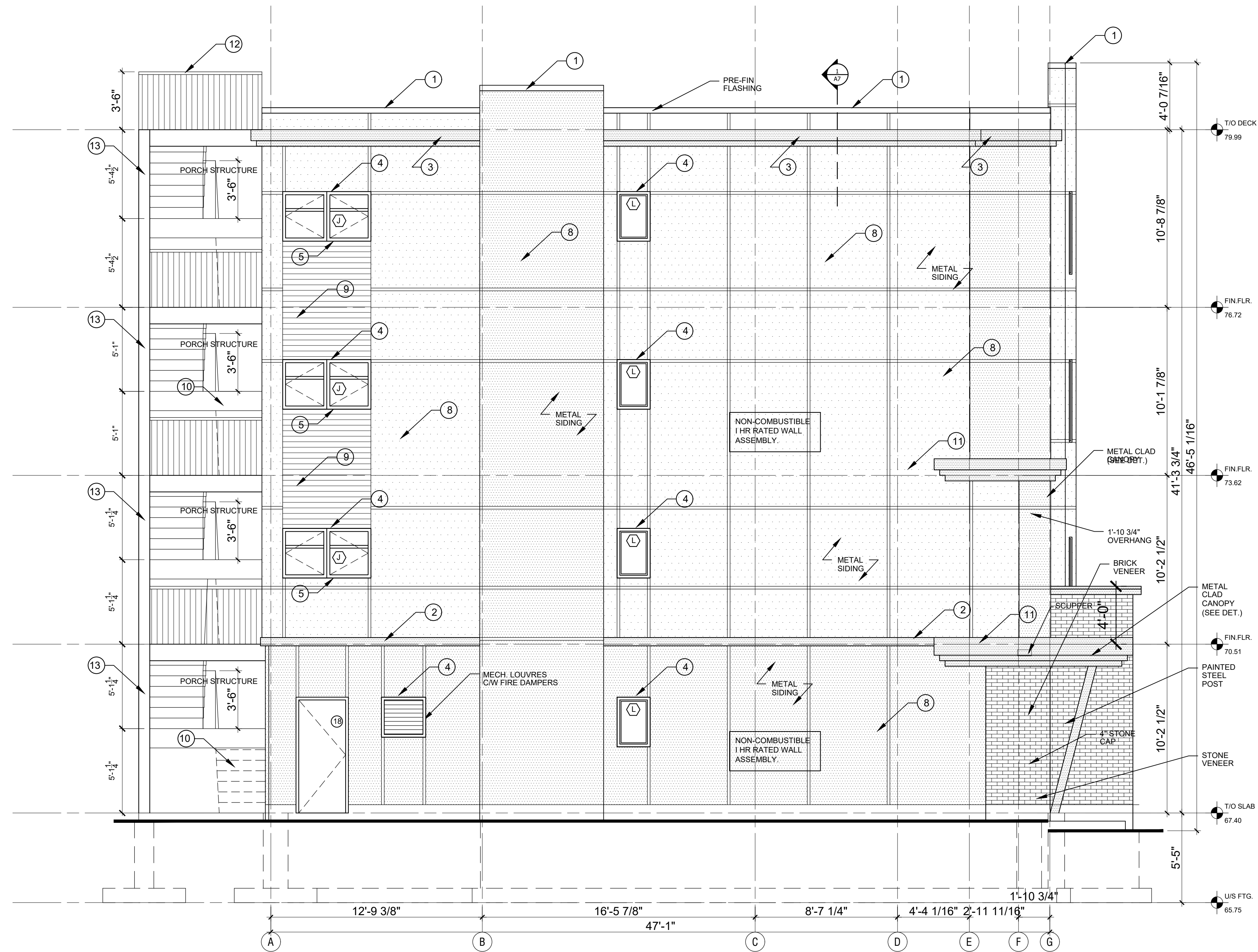
THEREFORE THE EXTERIOR WALLS AT THIS BUILDING FACE IS ALLOWED TO BE GLAZED UP TO 14% IN ACCORDANCE WITH O.B.C. 3.2.3.1.D 14% IS WELL WITHIN THE O.B.C. LIMITATION BUT THE WALL ASSEMBLY ADJACENT TO THE PROTECTED OPENINGS SHALL BE RATED 1HR. AS PER O.B.C. 3.2.3.7.(3) AS COMBUSTIBLE CONSTRUCTION WITH NON-COMBUSTIBLE CLADDING

TOTAL SURFACE AREA = 167 m²
 UNPROTECTED OPENINGS = 8.4 m²
 5.0 %

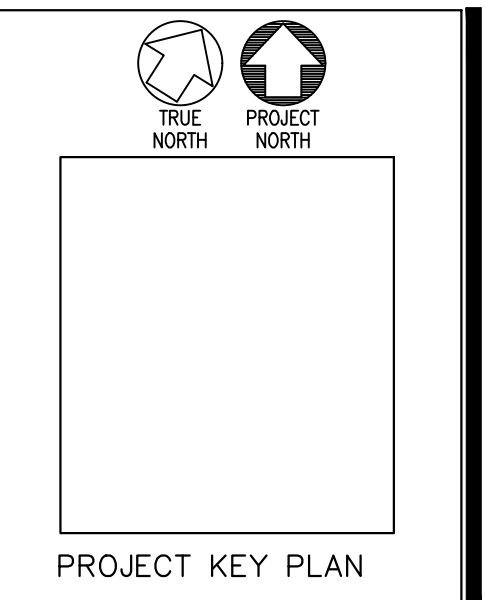
RATIO L/H
 2 : 1

LEGEND

- 1 PROVIDE 4" CAP FLASHING AS SHOWN.
- 2 PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
- 3 PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
- 4 PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
- 5 PRE-FIN METAL WRAP AROUND SPANDREL TO MATCH WINDOW FRAME COLOUR & FINISH.
- 6 SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.
 THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.
 STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
- 7 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.).
- 8 PRE-PAINTED GALV. STEEL SIDING BY IDEAL ROOFING INDUSTRIAL METRO 26 Ga (TYP.).
- 9 PRE-FORMED METAL PANELS C/W GALVALUME FINISH (TYP.).
- 10 SEE SHEET A22 FOR PORCH STAIR DETAILS
- 11 PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
- 12 PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
- 13 PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



Committee of Adjustment
 Received | Reçu le
 2024-11-12
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE ARCHITECT'S PERMISSION

REVISIONS:	DATE:
Revised for permit	15/09/21
issued for permit	09/01/22
issued for permit	15/08/22
Issued for Variance	12/11/24

DRAWN BY:
 DEXTOR EDWARDS
 DATE:
 AUG 2021
 SCALE:
 AS SHOWN ON DETAIL

PROJECT:
 346 ROOSEVELT
 APARTMENT BLOCK
 OTTAWA, ONT.
 CLIENT:
 KURT, SHAWN AND
 GREG WESTWELL
 OTTAWA, ONTARIO

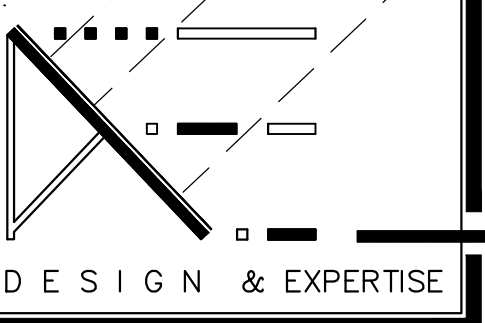
A14
 JOB NO: 1006 - 09



D E X T O R A. E D W A R D S
 88 CENTREPOINTE DRIVE, SUITE 100
 OTTAWA, ONTARIO
 CANADA
 K2G - 6B1
 PHONE:
 (613) 725 - 4150
 FAX:
 (613) 456 - 9983

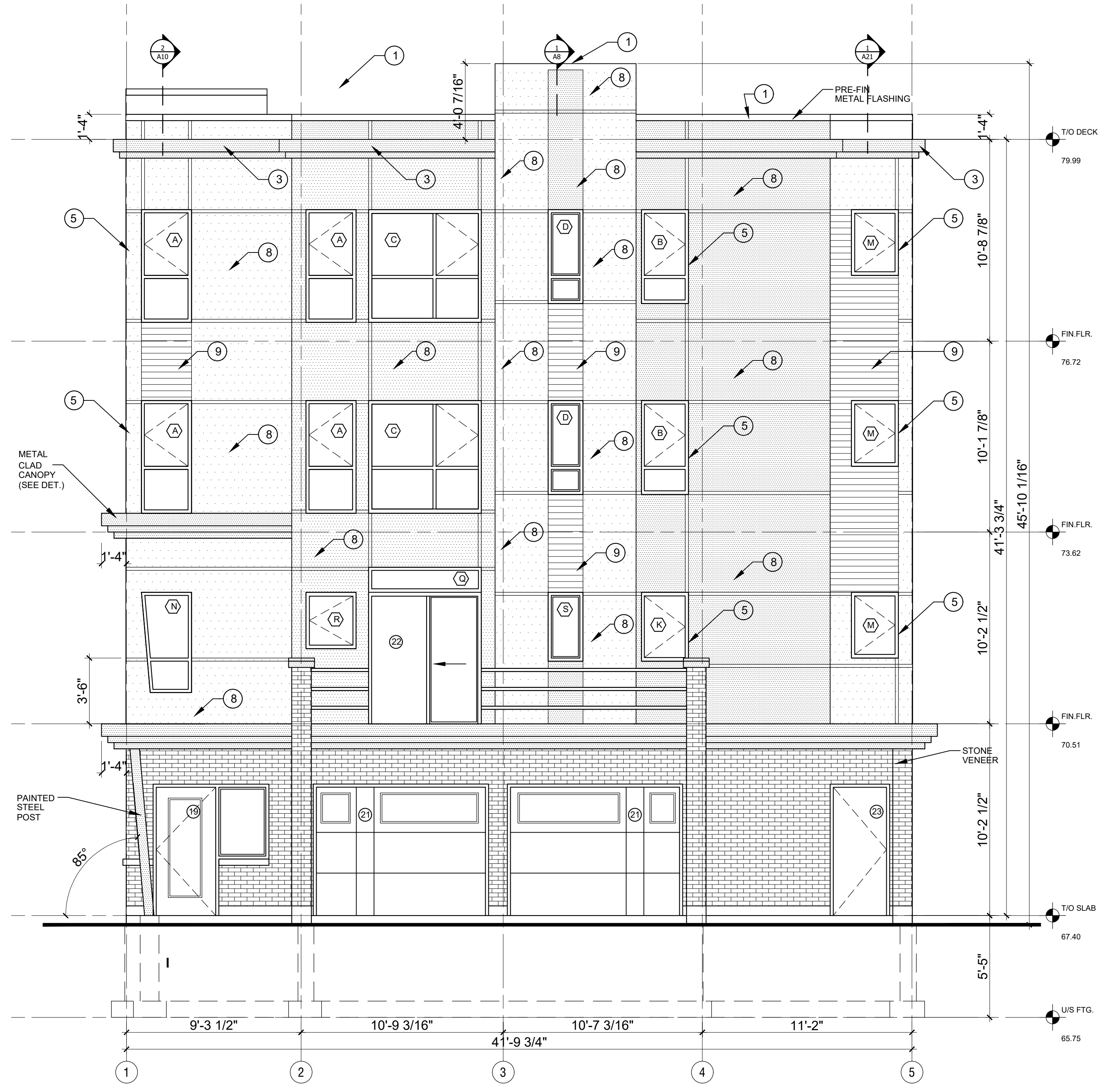
2 SOUTH/LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

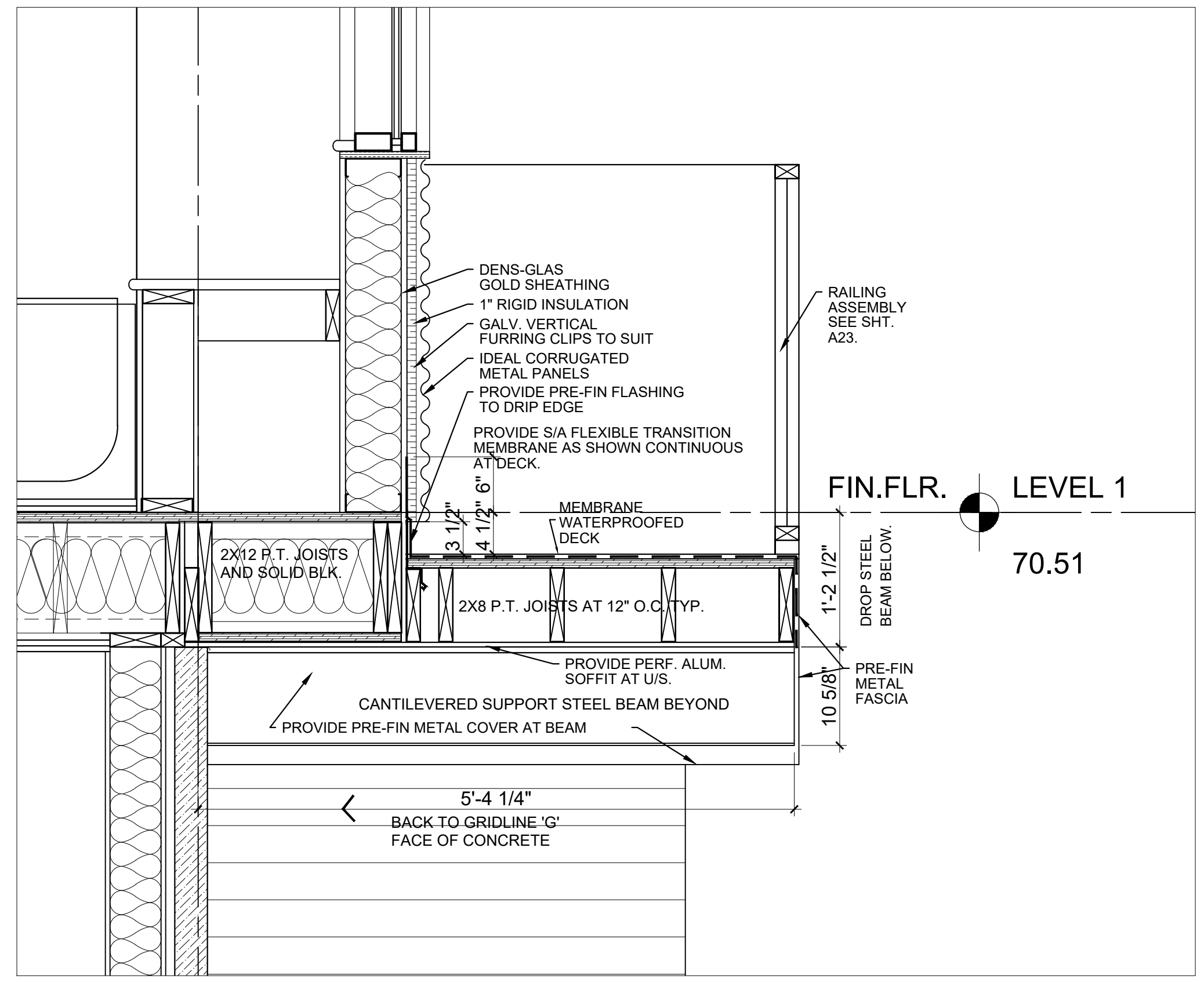


LEGEND

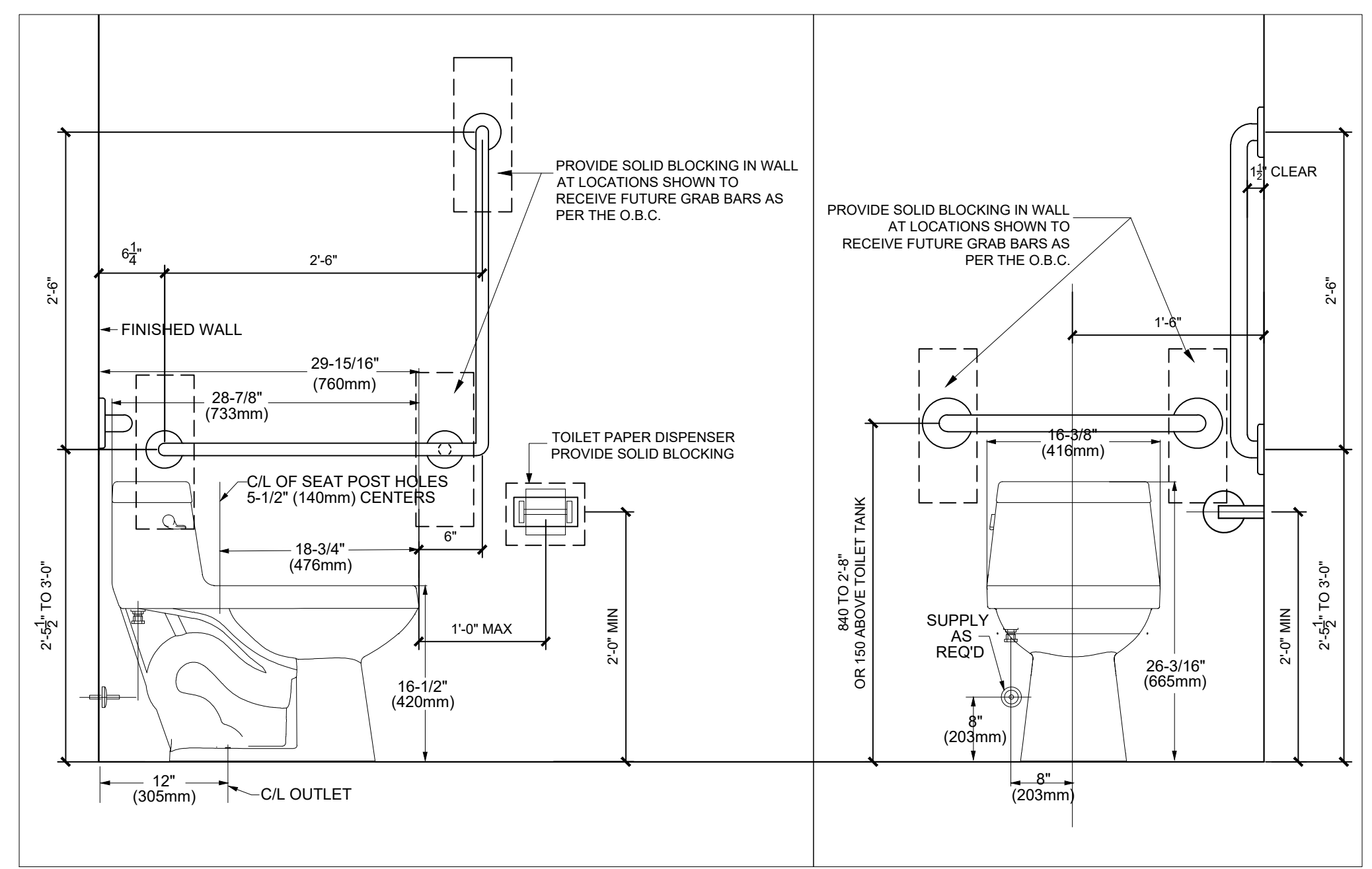
- 1 PROVIDE 4" CAP FLASHING AS SHOWN.
- 2 PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
- 3 PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
- 4 PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
- 5 PRE-FIN METAL WRAP AROUND SPANDREL TO MATCH WINDOW FRAME COLOUR & FINISH.
- 6 SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.
THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.
STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
- 7 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.)
- 8 PRE-PAINTED GALV. STEEL SIDING BY IDEAL ROOFING INDUSTRIAL METRO 26 Ga (TYP.)
- 9 PRE-FORMED METAL PANELS C/W GALVALUME FINISH (TYP.)
- 10 SEE SHEET A22 FOR PORCH STAIR DETAILS
- 11 PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
- 12 PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
- 13 PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



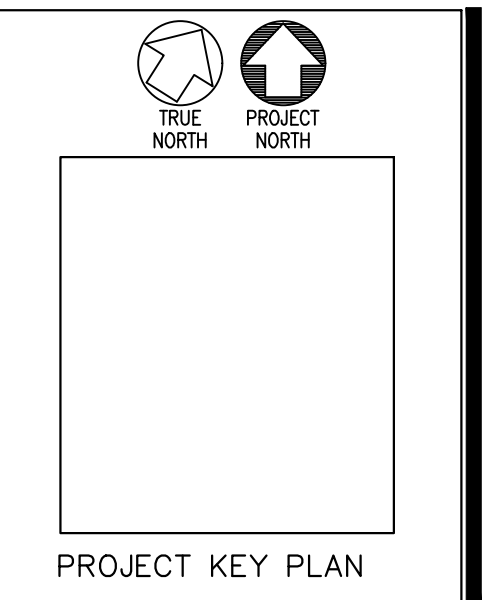
2 FRONT - STREET ELEVATION
SCALE: 1/4" = 1'-0"



3 SECTION DETAIL
SCALE: 1" = 1'-0"



4 ACCESSIBLE WASHROOM DETAILS AT GRAB BARS FOR TOILET BLOCKING FOR FUTURE INSTALLATION.



REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE ARCHITECT'S PERMISSION

REVISIONS:	DATE:
Revised for permit	15/09/21
Issued for permit	09/01/22
Issued for permit	15/08/22
Issued for Variance	12/11/24

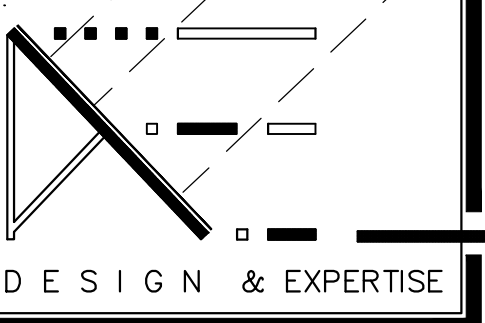
DRAWN BY:
DEXTOR EDWARDS
DATE:
AUG 2021
SCALE:
AS SHOWN ON DETAIL

PROJECT:
346 ROOSEVELT APARTMENT BLOCK
OTTAWA, ONT.
CLIENT:
KURT, SHAWN AND GREG WESTWELL
OTTAWA, ONTARIO

A15
JOB NO: 1006 - 09



DEXTOR A. EDWARDS
88 CENTREPOINTE DRIVE, SUITE 100
OTTAWA, ONTARIO
CANADA
K2G - 6B1
PHONE:
(613) 725 - 4150
FAX:
(613) 456 - 9983



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

NORTH - ELEVATION AT SIDEYARD

PERCENTAGE OF EXPOSED BUILDING FACE AT NORTH ELEVATION FOR SPATIAL SEPARATION AS PER O.B.C. SECTION 3.2.3.1

PROPOSED AREA OF BUILDING FACE AT 1.2m LIMIT = 142 m² (1,528.6 SQ.FT.)
 PROPOSED GLAZING PERCENTAGE AT THIS FACE = 2.7% (3.9 m²)

ALLOWABLE GLASS AREA AT BLDG FACE BASED ON 1.2m (3.9m²) AT ACTUAL LIMITING DISTANCE = MAX 14%

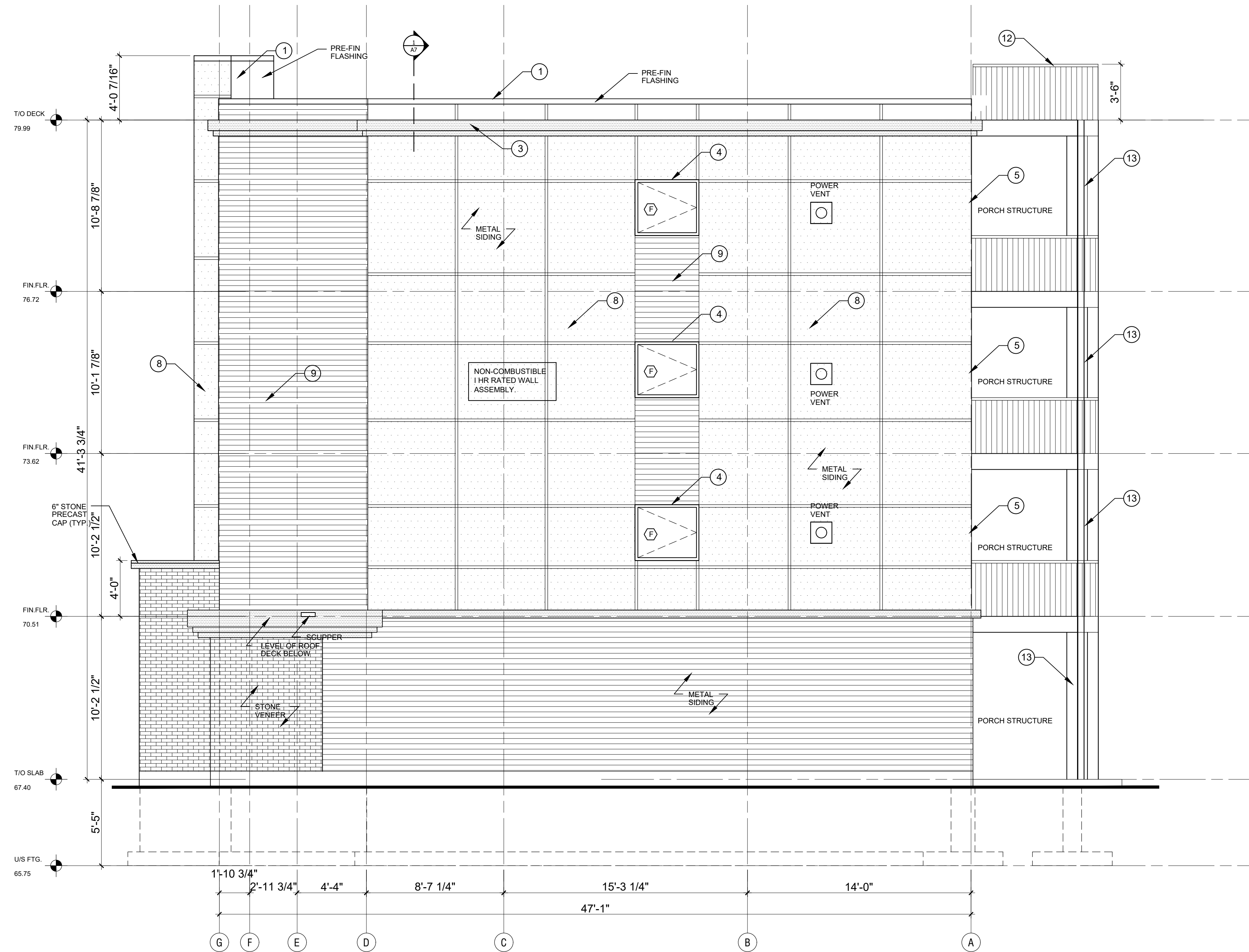
THEREFORE THE EXTERIOR WALLS AT THIS BUILDING FACE IS ALLOWED TO BE GLAZED UP TO 14% IN ACCORDANCE WITH O.B.C. 3.2.3.1.D 14% IS THE ACTUAL O.B.C. LIMITATION BUT THE WALL ASSEMBLY ADJACENT TO THE PROTECTED OPENINGS SHALL BE RATED 1HR. AS PER O.B.C. 3.2.3.7.(3) AS COMBUSTIBLE CONSTRUCTION WITH NON-COMBUSTIBLE CLADDING

TOTAL SURFACE AREA = 142 m²
 UNPROTECTED OPENINGS = 3.9 m²
 2.7 %

RATIO L/H
2 : 1

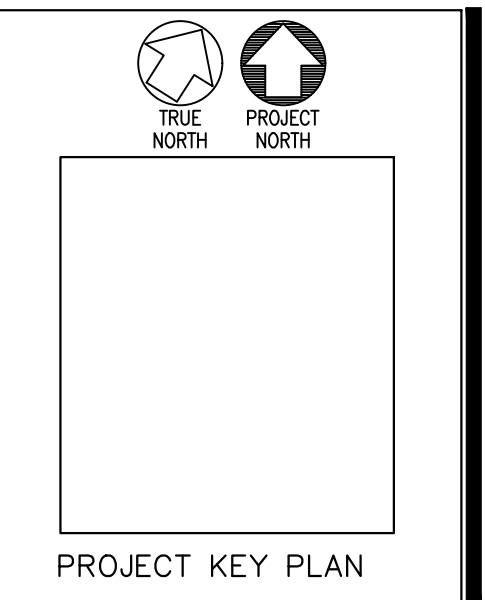
LEGEND

- 1 PROVIDE 4" CAP FLASHING AS SHOWN.
- 2 PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
- 3 PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
- 4 PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
- 5 PRE-FIN METAL WRAP AROUND SPANDREL TO MATCH WINDOW FRAME COLOUR & FINISH.
- 6 SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.
 THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.
 STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
- 7 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.).
- 8 PRE-PAINTED GALV. STEEL SIDING BY IDEAL ROOFING INDUSTRIAL METRO 26 Ga (TYP.).
- 9 PRE-FORMED METAL PANELS C/W GALVALUME FINISH (TYP.).
- 10 SEE SHEET A22 FOR PORCH STAIR DETAILS
- 11 PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
- 12 PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
- 13 PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



1 NORTH/RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

Committee of Adjustment
 Received | Reçu le
 2024-11-12
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE ARCHITECT'S PERMISSION

REVISIONS:	DATE:
Revised for permit	15/09/21
Issued for permit	09/01/22
Issued for permit	15/08/22
Issued for Variance	12/11/24

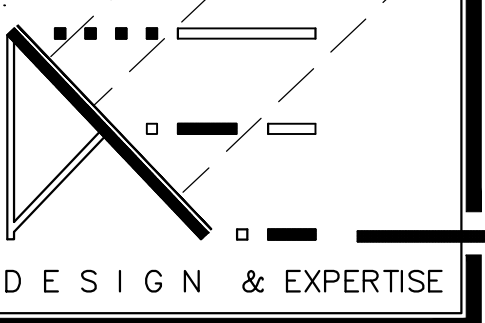
DRAWN BY:
 DEXTOR EDWARDS
 DATE:
 AUG 2021
 SCALE:
 AS SHOWN ON DETAIL

PROJECT:
 346 ROOSEVELT
 APARTMENT BLOCK
 OTTAWA, ONT.
 CLIENT:
 KURT, SHAWN AND
 GREG WESTWELL
 OTTAWA, ONTARIO

A16
 JOB NO: 1006 - 09



D E X T O R A . E D W A R D S
 88 CENTREPOINTE DRIVE, SUITE 100
 OTTAWA, ONTARIO
 CANADA
 K2G - 6B1
 PHONE:
 (613) 725 - 4150
 FAX:
 (613) 456 - 9983



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

REAR - ELEVATION

PERCENTAGE OF EXPOSED BUILDING FACE AT NORTH ELEVATION FOR SPATIAL SEPARATION AS PER O.B.C. SECTION 3.2.3.1

PROPOSED AREA OF BUILDING FACE AT 7.4m LIMIT = 109 m² (1,178.57 SQ.FT.)
 PROPOSED GLAZING PERCENTAGE AT THIS FACE = 21% (23.25 m²)

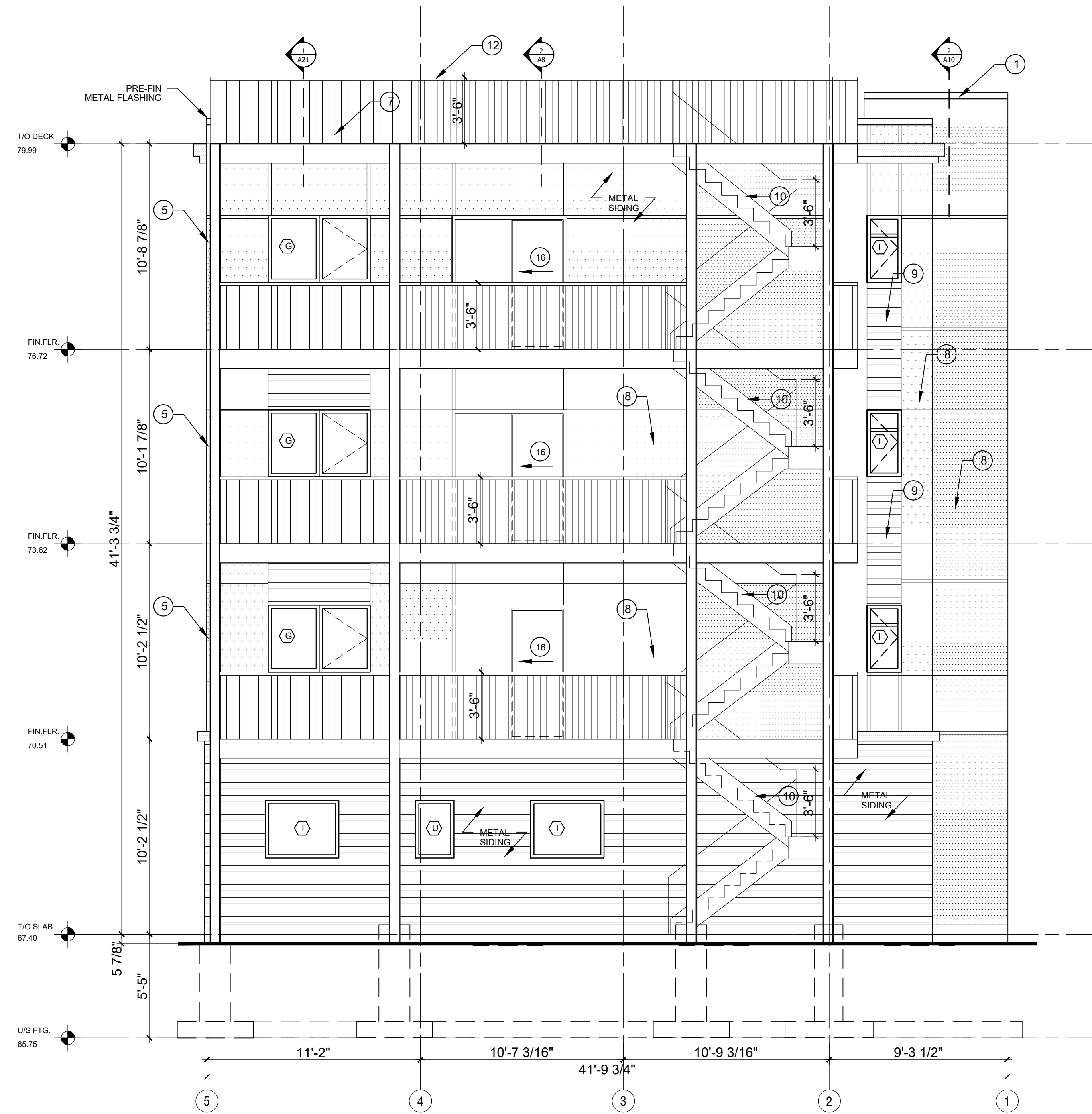
ALLOWABLE GLASS AREA AT BLDG FACE BASED ON 7.4m (23.25m²) AT ACTUAL LIMITING DISTANCE = MAX 88%

THEREFORE THE EXTERIOR WALLS AT THIS BUILDING FACE IS ALLOWED TO BE GLAZED UP TO 88% IN ACCORDANCE WITH O.B.C. 3.2.3.1.D 88% IS THE ACTUAL O.B.C. LIMITATION BUT THE WALL ASSEMBLY ADJACENT TO THE PROTECTED OPENINGS SHALL BE RATED 1HR. AS PER O.B.C. 3.2.3.7.(3) AS COMBUSTIBLE CONSTRUCTION ESPECIALLY SINCE THE DISTANCE IS GREATER THAN 5m AND THE BUILDING IS SPRINKLERED.

TOTAL SURFACE AREA = 109 m²
 UNPROTECTED OPENINGS = 23.25 m²
 22 %

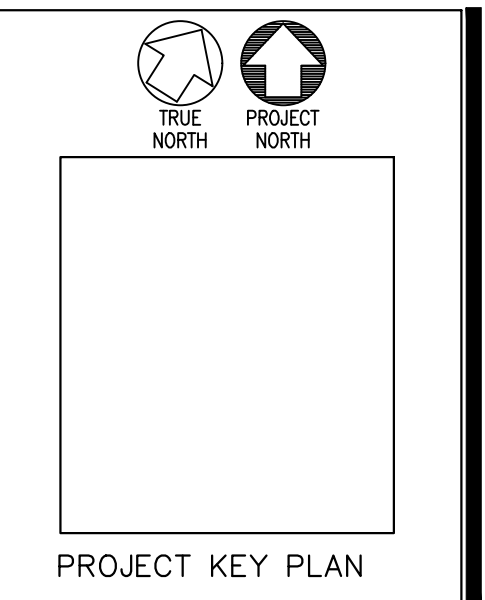
RATIO L/H
 2 : 1

- LEGEND**
- PROVIDE 4" CAP FLASHING AS SHOWN.
 - PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
 - PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
 - PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
 - PRE-FIN METAL WRAP AROUND SPANDREL TO MATCH WINDOW FRAME COLOUR & FINISH.
 - SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.
 THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.
 STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
 - 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.).
 - PRE-PAINTED GALV. STEEL SIDING BY IDEAL ROOFING INDUSTRIAL METRO 26 Ga (TYP.).
 - PRE-FORMED METAL PANELS C/W GALVALUME FINISH (TYP.).
 - SEE SHEET A22 FOR PORCH STAIR DETAILS
 - PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
 - PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
 - PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



1 REAR ELEVATION
 A18 SCALE: 1/4" = 1'-0"

Committee of Adjustment
 Received | Reçu le
 2024-11-12
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE ARCHITECT'S PERMISSION

REVISIONS:	DATE:
Revised for permit	15/09/21
Issued for permit	09/01/22
Issued for permit	15/08/22
Issued for Variance	12/11/24

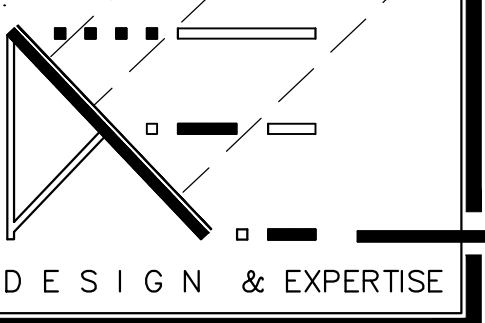
DRAWN BY:
 DEXTOR EDWARDS
 DATE:
 AUG 2021
 SCALE:
 AS SHOWN ON DETAIL

PROJECT:
 346 ROOSEVELT APARTMENT BLOCK
 OTTAWA, ONT.
 CLIENT:
 KURT, SHAWN AND GREG WESTWELL
 OTTAWA, ONTARIO

A18
 JOB NO: 1006 - 09

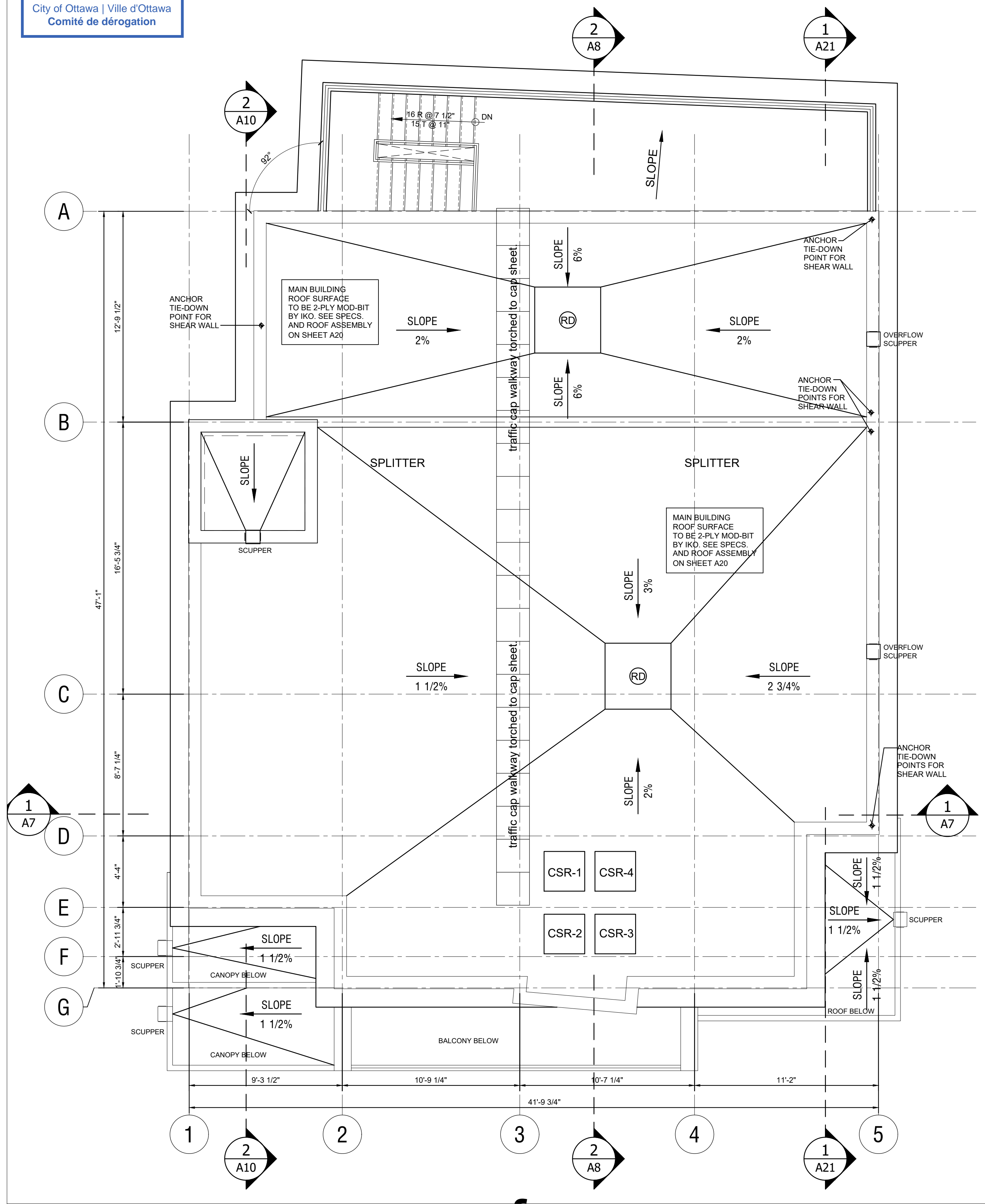


DEXTOR A. EDWARDS
 88 CENTREPOINTE DRIVE, SUITE 100
 OTTAWA, ONTARIO
 CANADA
 K2G - 6B1
 PHONE:
 (613) 725 - 4150
 FAX:
 (613) 456 - 9983

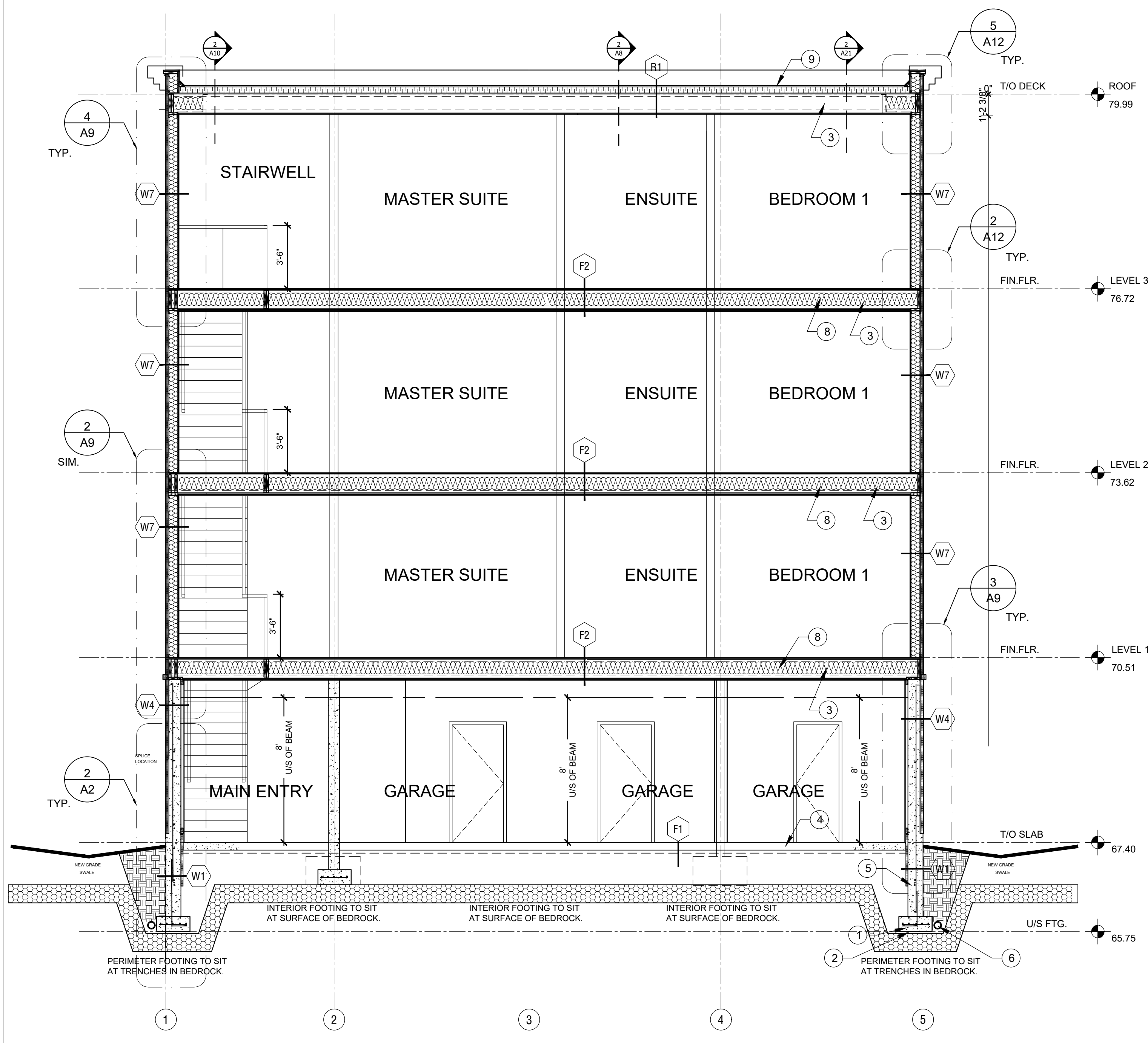


IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

Committee of Adjustment
Received | Reçu le
2024-11-12
City of Ottawa | Ville d'Ottawa
Comité de dérogation



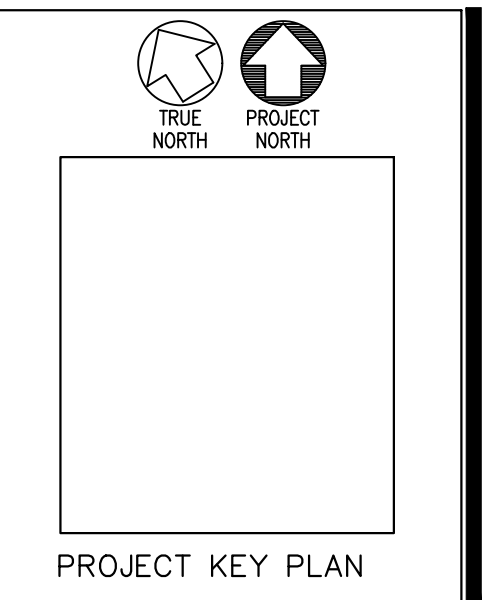
2 A7
ROOF PLAN
SCALE: 1/4" = 1'-0"



1 A7
BUILDING CROSS SECTION
SCALE: 1/4" = 1'-0"

LEGEND

- | | |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------|
| 1 STRIP FOOTINGS AS SHOWN TO BE 10" THK. BY 1'-0" WIDE. SEE SHEET A00 FOR CODE CONFORMANCE. | 6 PROVIDE 4" CONTINUOUS WEeping TILES CW 6" CLEAR GRANULAR COVER MIN. |
| 2 SOIL BEARING CAPACITY TO BE VERIFIED OR CONFIRMED AT A MINIMUM 150 kPa. | 7 PROVIDE FIRE RATED BEAM ENCLOSURE TO 1 HR. |
| 3 ALL JOISTS TO BE INSTALLED AS PER THE MANUFACTURER'S SPECS & SHOP DRAWINGS. | 8 PROVIDE FIRE RATED FLOOR ASSEMBLY TO 45 MINS. |
| 4 POURED CONC. SLAB TO BE REINFORCED WITH 6X6X6 WWM OR FIBREMESH (TYP.). | 9 TWO-PLY MOD BIT MEMBRANE & ASSEMBLY AS PER SPECS. |
| 5 FOUNDATION WALLS TO BE 10" THK. AS SHOWN FOR BELOW GRADE. | 10 SEE SHT. A22 FOR PORCH STAIR DETAILS. |



REPRODUCTION OF THIS DRAWING IS PROHIBITED WITHOUT THE ARCHITECT'S PERMISSION

REVISIONS:	DATE:
Revised for permit	15/09/21
Issued for 90% review	12/11/21
Issued for permit	09/01/22
Issued for permit	27/04/22
Issued for Variance	12/11/24

DRAWN BY:
DEXTOR EDWARDS
DATE:
AUG 2021
SCALE:
AS SHOWN ON DETAIL

PROJECT:
346 ROOSEVELT
APARTMENT BLOCK
OTTAWA, ONT.
CLIENT:
KURT, SHAWN AND
GREG WESTWELL
OTTAWA, ONTARIO

A7
JOB NO: 1006 - 09



DEXTOR A. EDWARDS
88 CENTREPOINTE DRIVE, SUITE 100
OTTAWA, ONTARIO
CANADA
K2G 6B1
PHONE:
(613) 725-4150
FAX:
(613) 456-9983

DESIGN & EXPERTISE

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR OMISSIONS TO THE ARCHITECT.