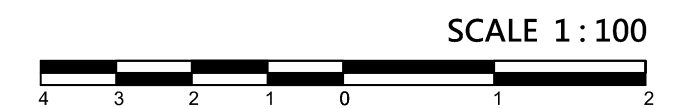


Committee of Adjustment
Received | Reçu le
2024-08-12
City of Ottawa | Ville d'Ottawa
Comité de dérogation

SCHEDULE			
PART	LOT	PLAN	PIN
1	ALL OF 123	283252	ALL OF 04129-0004
2			

DRAFT PLAN OF SURVEY OF
LOT 123
REGISTERED PLAN 283252
CITY OF OTTAWA
MONUMENT-URSO SURVEYING LTD.



The intended plot size of the plan is 610 mm in width by 457 mm in height when plotted at a scale of 1:100.

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE XXTH DAY OF JULY, 2024.

DATE: _____ J.E. ANDERSON
ONTARIO LAND SURVEYOR

This plan of survey relates to AOLS Plan Submission Form Number V-XXXX

LEGEND

SYMBOL	DENOTES	FOUND SURVEY MONUMENT
■	"	FOUND SURVEY MONUMENT
□	"	PLANTED SURVEY MONUMENT
IB	"	IRON BAR
SIB	"	STANDARD IRON BAR
SSIB	"	SHORT STANDARD IRON BAR
CC	"	CUT CROSS
(WIT)	"	WITNESS
ACC.	"	ACCEPTED
MEAS.	"	MEASURED
(1476)	"	MONUMENT-URSO SURVEYING LTD.
(P1)	"	(AOG) PLAN DATED DECEMBER 10, 2021

BEARING NOTES

BEARINGS ARE MTM GRID, DERIVED FROM CAN-NET REAL-TIME NETWORK GPS OBSERVATIONS AND ARE REFERRED TO THE CENTRAL MERIDIAN (76°30' WEST LONGITUDE) OF MTM ZONE 9 NAD83 (CSRS) (2010.0).

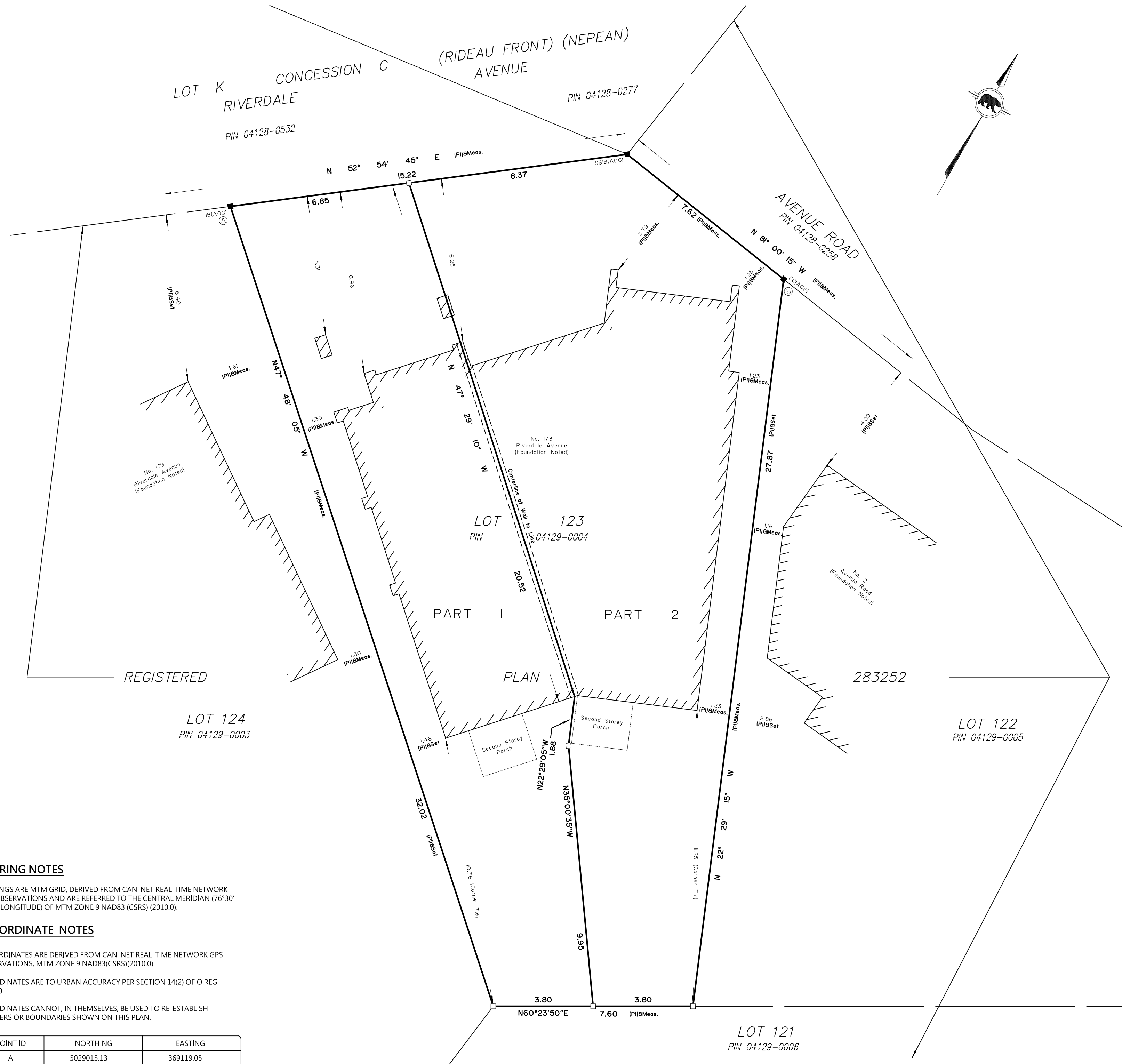
CO-ORDINATE NOTES

CO-ORDINATES ARE DERIVED FROM CAN-NET REAL-TIME NETWORK GPS OBSERVATIONS, MTM ZONE 9 NAD83(CSRS)(2010.0).

COORDINATES ARE TO URBAN ACCURACY PER SECTION 14(2) OF O.REG 216/10.

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT ID	NORTHING	EASTING
A	5029015.13	369119.05
B	5029023.12	369138.72

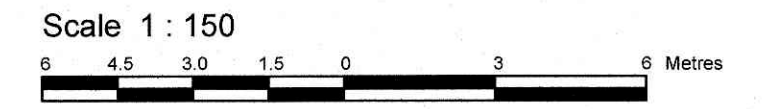


Monument-Urso Surveying Ltd.
Ontario Land Surveyors | Canada Land Surveyors
1755 WOODWARD DRIVE TEL: (613) 800-1583
OTTAWA ON, K2C 0P9
536 C FOURTH LINE EAST TEL: (705) 254-7851
SAULT STE. MARIE ON, P6A 6J8 FAX: (705) 254-5571

DRAWN: JA	FIELD: XX/XX	FILE No: 24-0086 C1
PROCESSED: XX	CHECKED: XX	

**SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of**

**LOT 123
REGISTERED PLAN 283252
CITY OF OTTAWA**
Surveyed by Annis, O'Sullivan, Vollebek Ltd.



Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 25th day of November, 2021.

December 10, 2021
Date
Andrew J. Broxham
Ontario Land Surveyor

PART 2
1. REGISTERED RIGHTS-OF-WAY/EASEMENTS
No rights-of-way or easements were found to be registered against the subject property.
2. PROPERTY IMPROVEMENTS
Not applicable. This is a foundation survey only; future structures above foundation level and future site improvements cannot be commented on.
3. COMPLIANCE WITH MUNICIPAL ZONING BYLAWS
Compliance is not certified by this report.
4. ADDITIONAL REMARKS
The building ties are to the untargeted concrete foundation walls.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to MICHAEL ROBINSON & LINDA UNIAC, ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

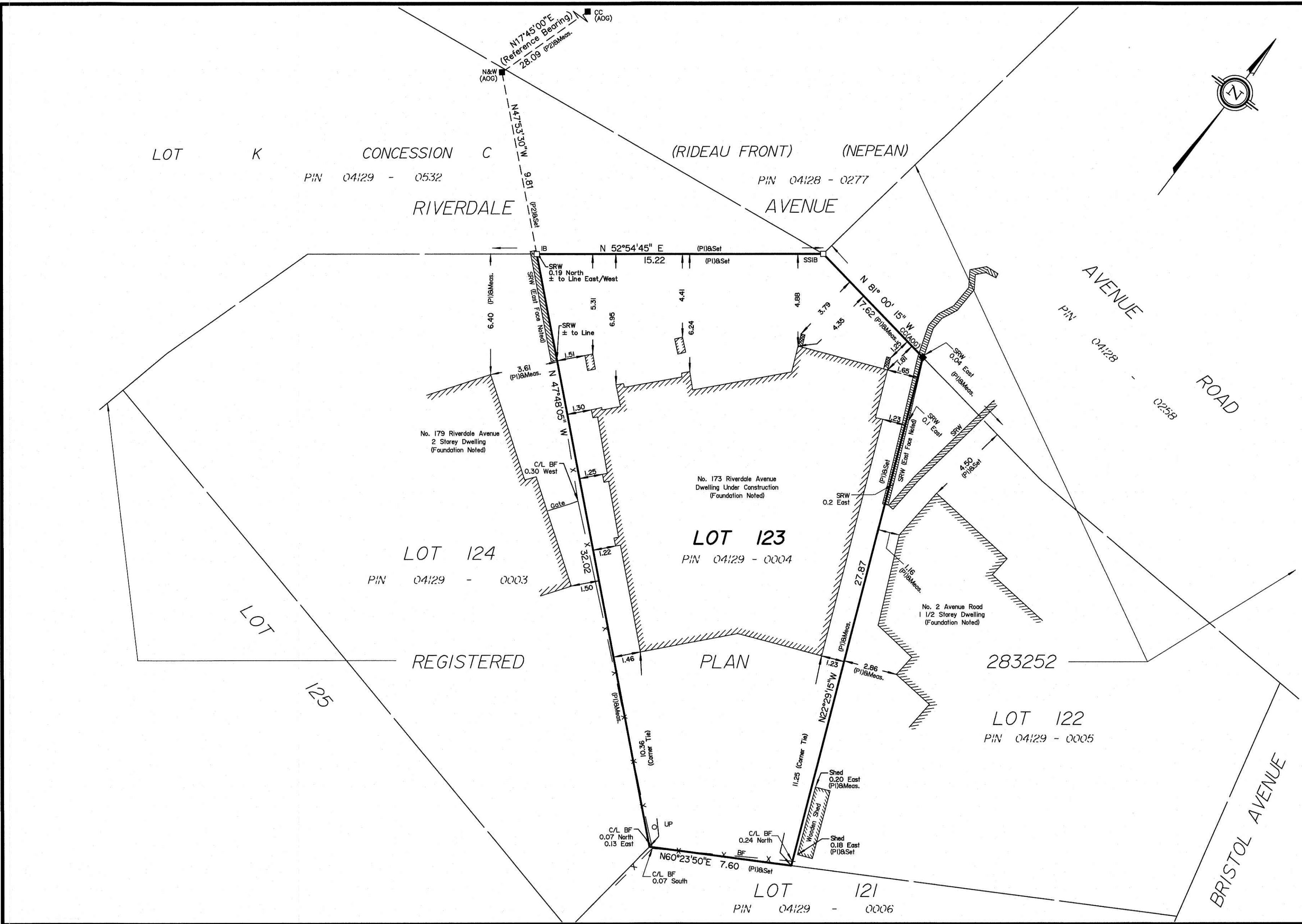
□	Denotes	Survey Monument Planted
■	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
CC	"	Cut Cross
N&W	"	Nail & Washer
(WIT)	"	Witness
(AOG)	"	Annis, O'Sullivan, Vollebek Ltd.
Meas.	"	Measured
C/L	"	Centreline
BF	"	Board Fence
SRW	"	Stone Retaining Wall
UP	"	Utility Pole
(P1)	"	(AOG) Plan dated May 23, 2018
(P2)	"	Records by (AOG), Ref. No. 17940-18

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-19579

THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3).

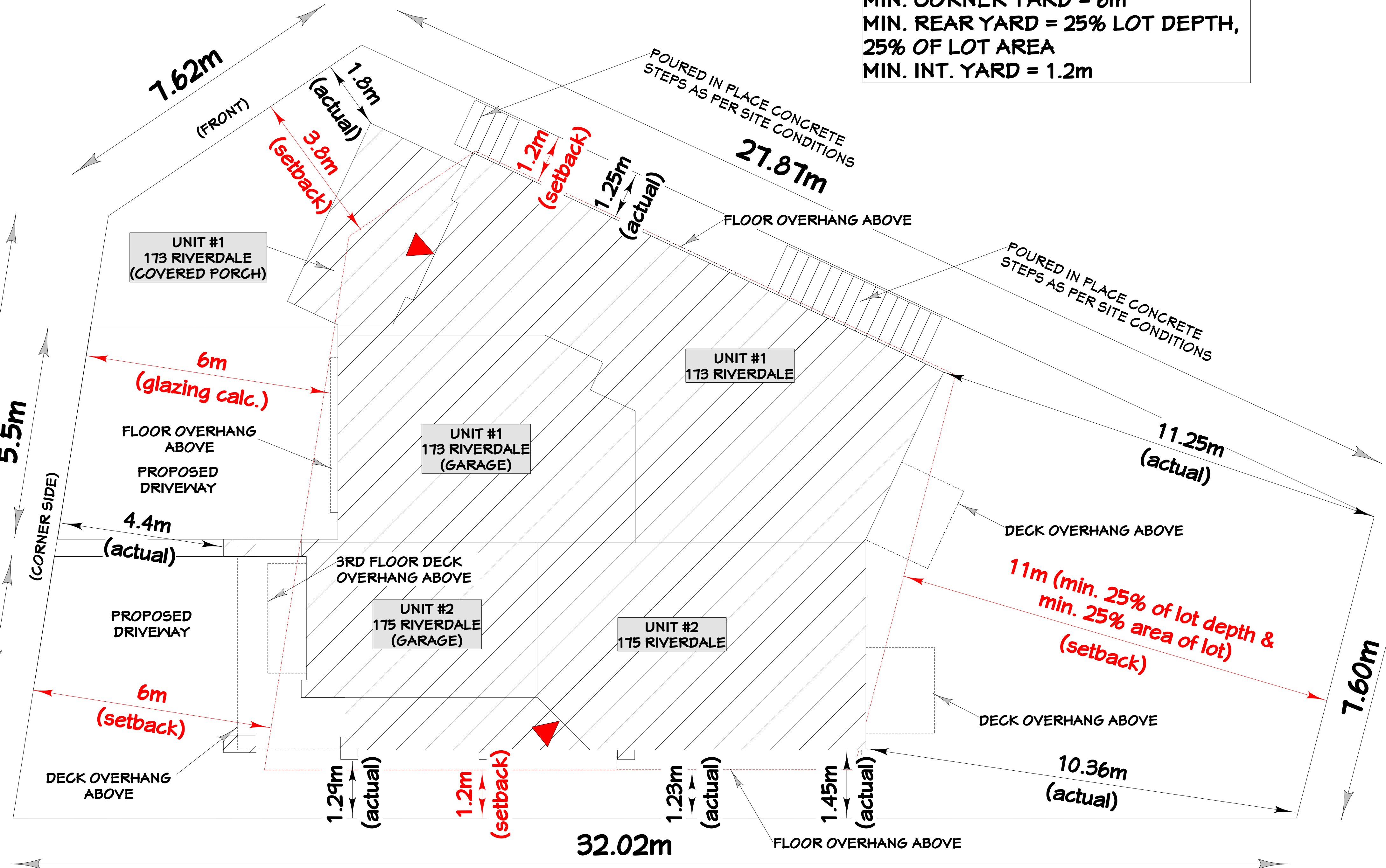
Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

© Annis, O'Sullivan, Vollebek Ltd. 2021. "THIS PLAN IS PROTECTED BY COPYRIGHT"
ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@aovltd.com
Ontario Land Surveyors Job No. 17940-18 Robinson Lt 123 PL 283252 DUC F MF

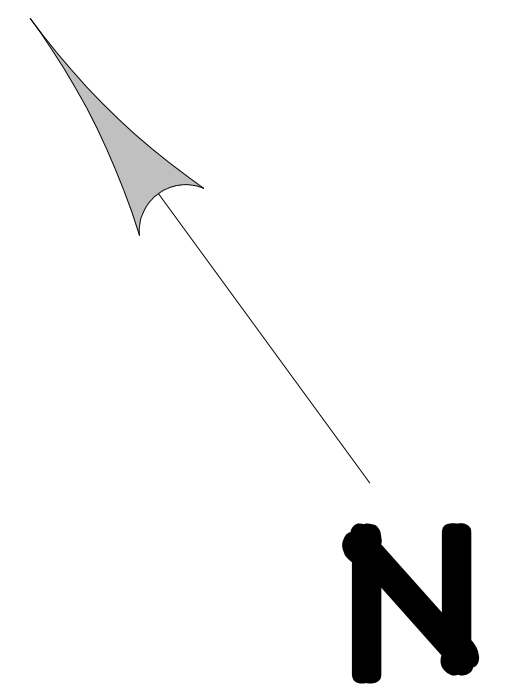


173 & 175 RIVERDALE AVE.

15.22m
5.5m
3m
3.5m
(CORNER SIDE)



R3P ZONE
 MIN LOT WIDTH = 12m
 MIN LOT AREA = 360 sq.m.
 MAX. BLDG. HEIGHT = 11m
 MIN. FRONT YARD = 3.8m
 MIN. CORNER YARD = 6m
 MIN. REAR YARD = 25% LOT DEPTH,
 25% OF LOT AREA
 MIN. INT. YARD = 1.2m



PROPOSED BUILDING:
 -3 STOREYS ABOVE GRADE w/ REAR WALKOUT + 4TH FLOOR ROOF DECK
 -SINGLE GARAGE FOR EACH OF 2 MAIN FLOOR UNITS

LOT AREA = 458 SQ.M.
 25% OF AREA = 114.5 SQ.M.
 ACTUAL REAR YARD AREA = 114.8 SQ.M.



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code. Qualification Information:

Jeremy McMullen *Signature* 22021
 Precision Home Design 113690

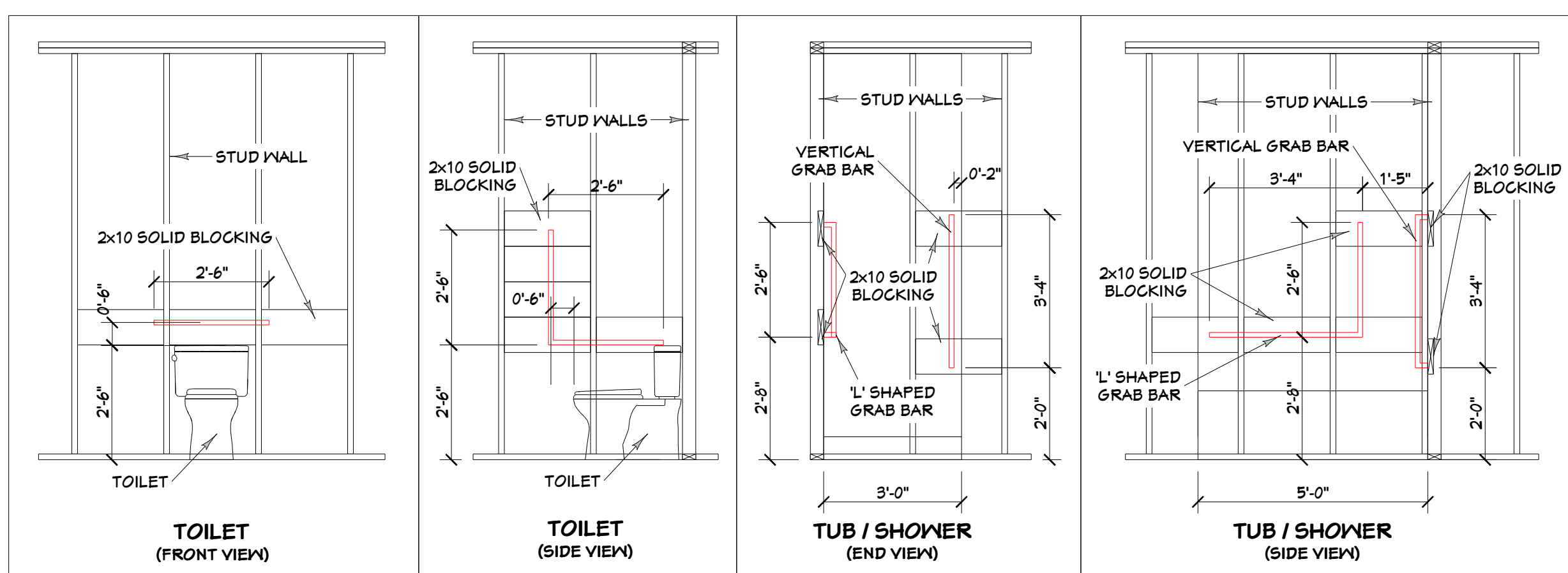
CUSTOMER:
ROBINSON RESIDENCE
 173 & 175 RIVERDALE AVE
 OTTAWA, ON

SHEET TITLE:
SITE PLAN

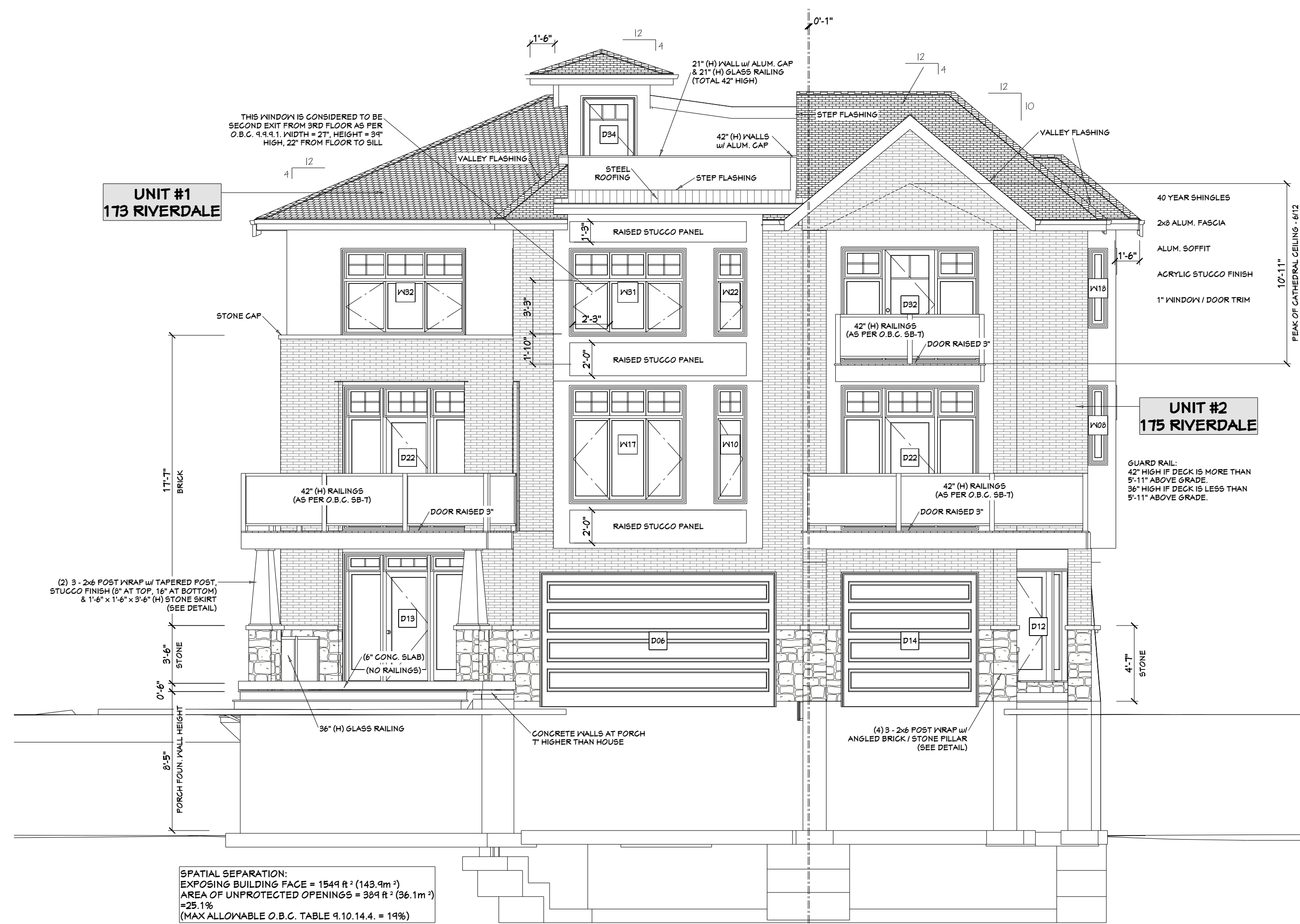
DATE:
 (REV. 12)
JUNE 13, 2020

SCALE:

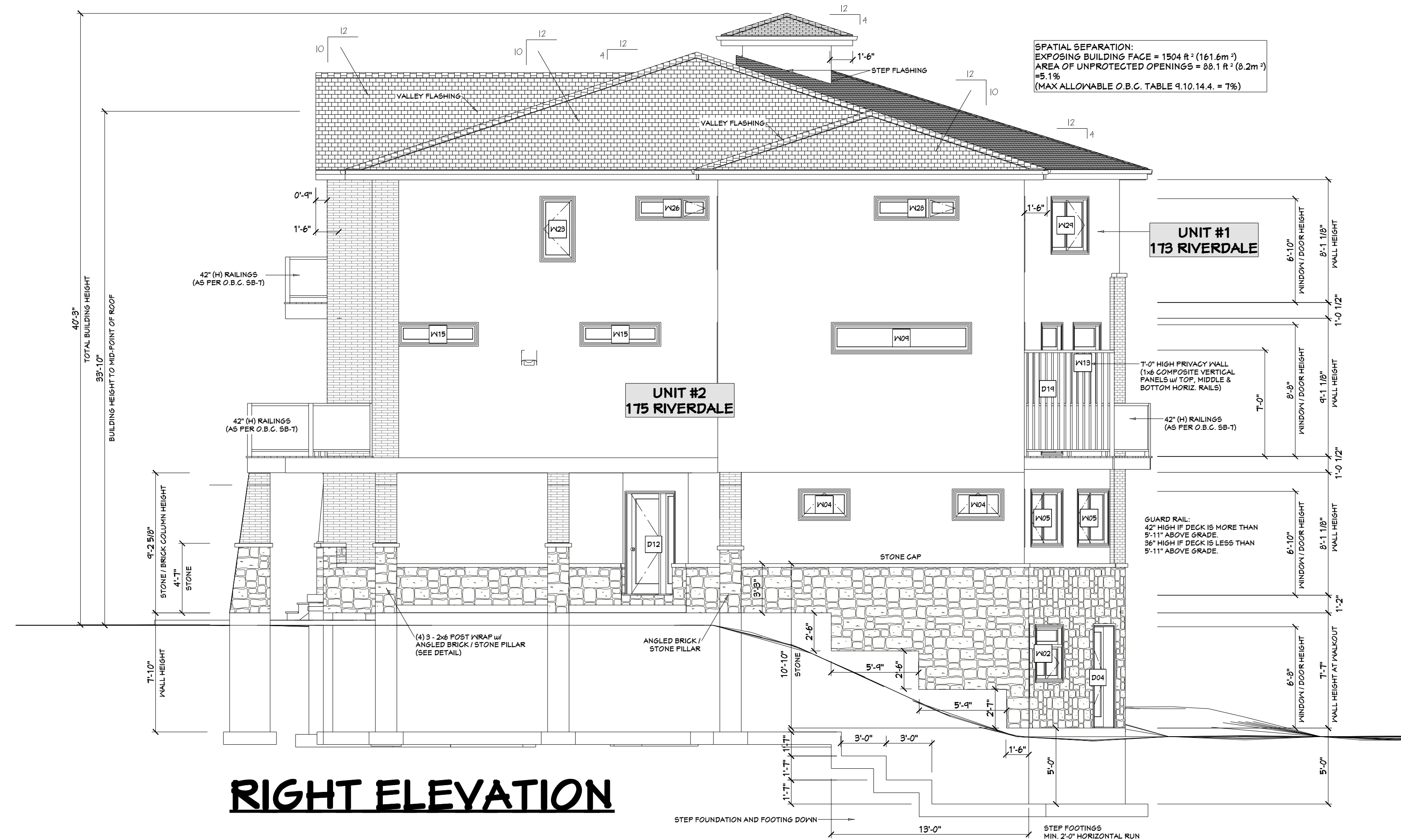
SHEET:
A-10



TYPICAL GRAB BAR BLOCKING (MIN DIA. OF GRAB BARS = 1 1/8")



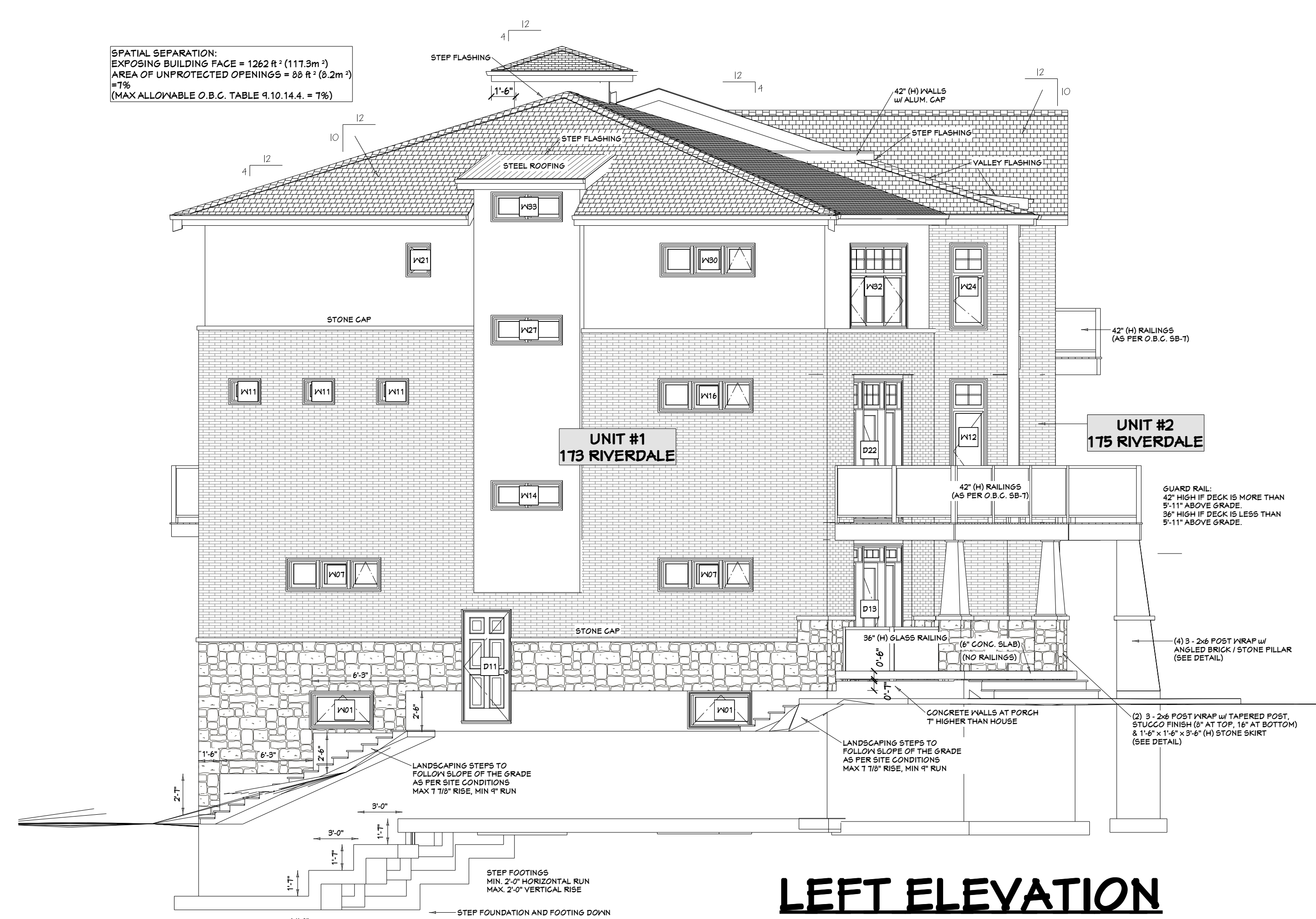
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



Please note that renderings are for illustration purposes only and may not reflect exact choices & inclusions in project.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code. Qualification Information:

Jeremy McMullen *Signature* 22021
NAME SIGNATURE BCRC

Precision Home Design 113690
FIRM BCRC

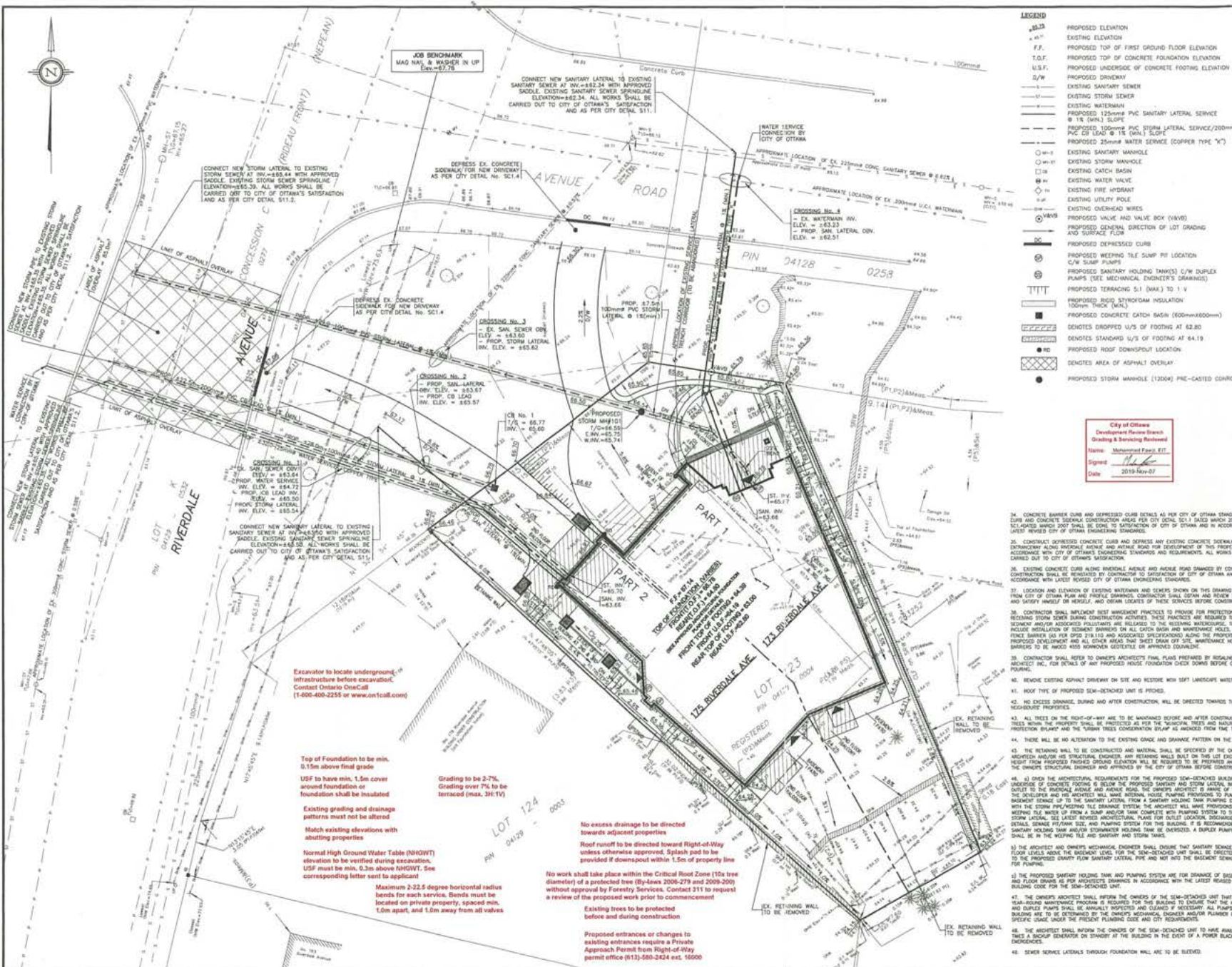
CUSTOMER:
ROBINSON RESIDENCE
173 & 175 RIVERDALE AVE
OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DATE:
**(REV. 12)
JUNE 13, 2020**

SCALE:
3/16" = 1'-0"

SHEET:
A-7



- NOTES**
- EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS. THE MECHANICAL CONTRACTOR IS REQUESTED TO CHECK THE FIELD FOR EXISTING AND ELEVATION OF PIPES, AND CHECK WITH APPROVED AND UTILITIES TO BE ON THE DRAWING BEFORE DIGGING.
 - CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY BEFORE POILING OR CONCRETE FOOTING AND FOUNDATION. THE OWNER SHALL BE RESPONSIBLE FOR ENSURING THAT THE SUBGRADE ON THIS LOT IS SUFFICIENT TO SUPPORT PROPOSED RESIDENTIAL BUILDING.
 - RETO details for PROPOSED DWELINGS WERE PROVIDED BY REGINA J. HILL ARCHITECT INC. AS DETAILED ON THESE PLANS. SEE PAGE 25 FOR RETO. #1077 DWELLING AND SEE PAGE 26 FOR RETO. #1078 DWELLING. ELEVATIONS FRONT AND REAR THAT ARE SHOWN (TOP OF FINISHED FLOOR, TOP OF FOUNDATION, AND TOP OF FOOTING) ARE REFERENCED FROM HIGHEST SIDE ELEVATION (FINISH FLOOR FIN. 2ND FL. = 42.10).
 - EXISTING HORIZONTAL AND VERTICAL SIGHT DATA SHOWN ON THIS PLAN INCLUDING SITE BENCHMARK, ROAD ELEVATIONS, SEWER LOCATIONS, AND TOPOGRAPHICAL INFORMATION OF THE LOT WERE PROVIDED BY ANNS DILLON SURVEYORS LTD. FOR INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL INFORMATION AND CHECKING ALL INFORMATION AGAINST HIS OWN SURVEYING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SURVEY INFORMATION SHOWN ON THESE PLANS. CONTRACTOR SHALL ALSO REFER TO CITY OF OTTAWA PLAN AND PROFILE DRAWINGS LISTED IN THESE PLANS TO BE SURE TO HAVE THE MOST RECENT SHEET # OF CONTRACT #8-23. ALSO SEE PLAN AND PROFILE OF AVENUE ROAD (PLAN #140 SHEETS 3 OF 10) CONTRACT #8-23.
 - ALL GRADING SHALL BE DONE TO THE SATISFACTION OF CITY OF OTTAWA.
 - ALL GRADES SHOWN ARE GEODETIC AND METRIC.
 - ALL WATERWAYS SHALL BE CONSTRUCTED TO CITY OF OTTAWA LATEST REVISED STANDARD AND AN APPROVED COPY OF OTTAWA CITY OF OTTAWA RESOURCES B.M. MINIMUM CLEARANCE BETWEEN EXISTING WATERWAY AND PROPOSED SANITARY LATERAL.
 - CONTRACT ALL SANITARY AND STORM PIPES IN ACCORDANCE WITH CITY OF OTTAWA LATEST REVISED STANDARDS AND AS PER CITY OF OTTAWA REQUIREMENTS.
 - ALL WORKS CONSTRUCTED BY CONTRACTOR SHALL MEET CITY OF OTTAWA CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA REQUIREMENTS.
 - CONTRACTOR SHALL VERIFY AND CONFIRM THAT THE 25mm WATER SERVICE ON THIS LOT SHALL HAVE A MINIMUM 1.4m OF COVERED COVER. EXISTING SERVICE WITH 500mm 3/4" SCHEDULE 40S SHALL BE REMOVED AND REPLACED WITH 25mm WATER SERVICE WITH 1.4m COVER. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING SERVICES IN ACCORDANCE WITH THESE PLANS.
 - THIS LOT GRADING DESIGN PLAN WAS PREPARED FOR THE OWNERS FOR BUILDING PERMIT PURPOSES. ALL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION SHOWN ON THESE PLANS AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 - WHERE ROOF OVERLAYS ARE INSTALLED, ROOF DOWNSLOPES SHALL BE DIRECTED TO OUTLET DRAINAGE TO FRONT AND REAR YARDS ONLY, WHERE POSSIBLE, AND NOT TO SIDE YARD.
 - ALL WATERWAY SERVICE AND FITTINGS SHALL CONFORM TO APPROVED ANSA AND/OR CSA STANDARDS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORKS.
 - EXISTING LOCATION OF FUTURE BENCH AND METRIC WATER MAIN, SANITARY SEWER AND STORM SEWER SHOWN ON THESE PLANS. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING SERVICES BEFORE DIGGING. LOCATION SHEET #24.
 - PROPOSED SIDEWALK SHALL BE 2% MAXIMUM. WHERE THE GROUND DROPS OFF STEEPLY, REMOVE THE GROUND TO 2% MAXIMUM TO 1% IF NECESSARY TO MEET CITY OF OTTAWA ENGINEERING REQUIREMENTS.
 - WATER SERVICE CONNECTION ON RIVERDALE AVENUE AND AVENUE ROAD SHALL BE DONE BY CITY OF OTTAWA. ALL CONNECTIONS AND OTHER RELATED WORKS TO WATERMAIN SHALL BE DONE BY CITY OF OTTAWA. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING SERVICES BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 - IF WATER SERVICE IS LESS THAN 2.4m FROM EXISTING MANHOLE, ON GATCH ROAD, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEIR 25MM RIGID INSULATION (AS PER CITY OF OTTAWA DETAIL #8-23 AND #8-24).
 - PIPE SIZES SHOWN ON THIS PLAN ARE METRIC.
 - WATER SERVICE AND WATERMAIN TRENCH SIZES AS PER CITY WIT DETAIL.
 - PROPOSED SANITARY AND STORM SERVICE LATERALS SHALL BE PVC DR-25 OR EQUIVALENT.
 - SANITARY AND STORM SERVICE TRENCHES AND RISERS USED MUST BE CONFORMANT TO CITY OF OTTAWA STANDARDS.
 - BEARING FOR SEWER AND WATERMAIN INSTALLATION SHALL BE TYPE B COMPACTED TO 95% DRY PROCTOR DENSITY FOR SEWER LATERALS. USE 200mm THICK APPROVED GRANULAR COVER MATERIAL COMPACT TO 95% DRY PROCTOR DENSITY. TRENCH BACKFILL WITH 200mm SAND OR EQUIVALENT TO 95% DRY PROCTOR DENSITY. NO FROST WEATHERING ARE TO BE USED AS INFILL IN TRENCHING OPERATIONS.
 - DETAILS OF EXISTING SERVICE AND WATERMAIN SHOWN ON INDIVIDUAL AVENUE AND AVENUE ROAD FROM THE CITY OF OTTAWA SHALL BE THE CURRENT CONTRACTOR SHALL REFER TO CITY OF OTTAWA SEWER AND WATERMAIN DRAWINGS FOR DETAILS BEFORE DIGGING. CONTRACTOR IS ADVISED TO EXAMINE AND MEASURE SEWER ELEVATIONS IN FRONT OF THIS PROPERTY FIRST TO ENSURE THAT THE EXISTING LEVELS OF EXISTING SANITARY AND STORM LATERALS CAN BE CONNECTED TO THE SEWER. THE CONTRACTOR SHOULD BEHIND OWNER'S SUBJECT MATTER AND CITY OF OTTAWA AUTHORITY FOR FURTHER INFORMATION.
 - FOR DEVELOPMENT OF THIS LOT, CONTRACTOR MUST FIRST CONSTRUCT UNDERGROUND SANITARY, STORM, AND WATER SERVICES FROM SEWER AND WATERMAIN TO THE PROPERTY. BEFORE HOUSE CONSTRUCTION. CONTRACTOR SHALL VERIFY SEWER DEPTH TO PROPERTY THAT UNDERSTANDS HOW TO MAINTAIN A SLOPE OF 1% INWARD AND SHALL BE BELOW PROPOSED UNDERLIE OF CONCRETE FOOTING ELEVATION. IF THIS IS FOUND TO BE THE PROPOSED UNDERLIE OF CONCRETE FOOTING ELEVATION, CONTRACTOR SHALL CONTACT CITY OF OTTAWA IN ORDER TO ADJUST HOUSE FOOTING GRADERS BEFORE CONCRETE POURING.
 - INSTALL HOUSE SERVICE LATERALS WITH PRIVATE PROPERTY AND ROAD RIGHT OF WAY ABOVE GROUND COVER FOR FRONT PROPERTY. IF LESS THAN 2.4m FROM WATER SERVICE WITH 2.4m COVER. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 - WHERE FROST COVER FROM UNDERLIE OF CONCRETE FOOTING TO PROPOSED FINISHED FLOORING IS LESS THAN 1.0m, IT IS RECOMMENDED THAT INSULATION BE INSTALLED AT BUILDING FOUNDATION AND FLOORING SHALL BE SUFFICIENT FOR THE PROPERTY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
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 - AT THE TIME OF CONSTRUCTION OF DRIVEWAY FOR NEW HOUSE, REDUCE DRIVEWAY TO 100mm ABOVE TO OUTLET AND EXISTING STORM DRAINAGE TO CITY OF OTTAWA SATISFACTION AND REQUIREMENTS.
 - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES REGARDING LOCATION OF EXISTING OVERHEAD UTILITY WIRES FOR REDUCTION AND POSSIBLE CONFLICT CLEARANCE BEFORE CONSTRUCTION.
 - SEWER SERVICE LATERALS THROUGH FOUNDATION WILL NOT BE BLENDED.

- LEGEND**
- PROPOSED ELEVATION
 - EXISTING ELEVATION
 - PROPOSED TOP OF FIRST GROUND FLOOR ELEVATION
 - PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
 - PROPOSED UNDERLIE OF CONCRETE FOOTING ELEVATION
 - PROPOSED DRIVEWAY
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING WATERMAIN
 - PROPOSED 125mm PVC SANITARY LATERAL SERVICE @ 1% (MIN.) SLOPE
 - PROPOSED 150mm PVC STORM LATERAL SERVICE/200mm PVC CH LEAD @ 1% (MIN.) SLOPE
 - PROPOSED 25mm WATER SERVICE (COPPER TYPE "C")
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING CATCH BASIN
 - EXISTING WATER VAULT
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING OVERHEAD WIRES
 - PROPOSED VALVE AND VALVE BOX (VAVB)
 - PROPOSED GENERAL DIRECTION OF LOT GRADING AND SURFACE FLOW
 - PROPOSED DEPRESSED CURB
 - PROPOSED WEEDING TILE SUMP PIT LOCATION
 - C/W SUMP PUMPS
 - PROPOSED SANITARY HOLDING TANKS/C/W DUPLEX PUMPS (SEE MECHANICAL ENGINEER'S DRAWINGS)
 - PROPOSED TERRACING 5:1 (MAX.) TO 1:1
 - PROPOSED RIGID STYROFOAM INSULATION
 - PROPOSED CONCRETE CATCH BASIN (600x600x600mm)
 - DENOTES DROPPED 1/3 OF FOOTING AT 42.80
 - DENOTES STANDARDS 1/3 OF FOOTING AT 44.19
 - DENOTES ROOF DOWNSLOUT LOCATION
 - DENOTES AREA OF ASPHALT OVERLAY
 - PROPOSED STORM MANHOLE (1200x60 PRE-CAST CONCRETE)

City of Ottawa
Development Services Branch
Grading & Retaining Reviewed
Signed: Mohammed Elzein, ETI
Date: 2019-04-07

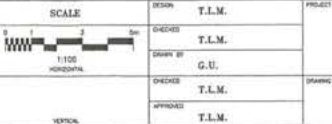
- Excavator to locate underground infrastructure before excavation. Contact Ontario OneCall (1-800-468-2255 or www.on1call.com)
- Top of Foundation to be min. 8.1m above final grade
USF to have min. 1.5m cover
foundations shall be insulated
- Existing grading and drainage patterns must not be altered
- Match existing elevations with adjoining properties
- Normal High Ground Water Table (NHGW) elevation to be verified during excavation. USF must be min. 0.3m above NHGW. See corresponding letter sent to applicant
- Maximum 2-22.5 degree horizontal radius bends for each service. Bends must be located on private property, spaced min. 1.0m apart, and 1.0m away from all valves
- No excess drainage to be directed towards adjacent properties
- Roof runoff to be directed toward Right-of-Way unless otherwise approved. Splash pad to be provided if downslope within 1.5m of property line
- No work shall take place within the Critical Root Zone (10x tree diameter) of a protected tree (10+ trees 200x275 and 200x300 without approval by Forestry Services. Contact 311 to request a review of the proposed work prior to commencement
- Existing trees to be protected before and during construction
- Proposed entrances or changes to existing entrances require a Private Approach Permit from Right-of-Way permit office (613-580-2424 ext. 16500)

During major storm events, depressed driveways & below-grade parking areas may be subject to flooding due to drainage from the road allowance. The City of Ottawa will not take responsibility for flooding claims in the future. Depressed driveways & below-grade parking areas are to be designed and constructed as per latest City of Ottawa Standards and Guidelines

Road Cut and/or Water Permits required. Development Review will submit permit applications to:
• Right-of-Way Dept. (613-580-2424 x 16500)
• Water Dept. (613-580-2424 x 22220)
Tree protection and Forestry permitting requirements must be resolved prior to the issuance of permits

Steeved services required under retaining walls / footings / decks, and similar structures

NO.	REVISION	DATE	BY
1	REVISIONS AS PER CITY'S REVIEW COMMENTS OF OCTOBER 11, 2019	11/06/19	T.M.
2	REVISIONS AS PER CITY'S REVIEW COMMENTS OF OCTOBER 11, 2019	11/24/19	T.M.
3	REVISIONS AS PER ANNOTATED COMMENTS OF JULY 26, 2019	07/21/19	T.M.
4	ISSUE FOR REVIEW BY THE OWNER AND OWNER'S REPRESENTATIVES	07/23/19	T.M.
5	REVISION	DATE	BY



PROPOSED LOT GRADING PLAN

173 RIVERDALE AVENUE
LOT 123
REGISTERED PLAN 283652
CITY OF OTTAWA

T.M. MAX-ENGINEERING CONSULTANTS LTD.
CONSULTING ENGINEERS
City of Ottawa

PROJECT NO. 819-2 DATE FEBRUARY 2019 DRAWING NO. G-1