

SCHEDULE				
PART	LOT	PLAN	PIN	AREA sq. m.
1				242.5
2	63	15558	ALL OF 04117-0371 (LT)	50.4
3				50.4
4				250.3

Committee of Adjustment  
Received | Reçu le  
**Revised | Modifié le : 2024-08-15**  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

Committee of Adjustment  
Received | Reçu le  
**Revised | Modifié le : 2024-07-04**  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

Committee of Adjustment  
Received | Reçu le  
**2023-12-15**  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

SOMERSET STREET

STREET

PLAN OF SURVEY OF  
**LOT 63**  
(NORTH SIDE MACLAREN STREET)  
**REGISTERED PLAN 15558**  
CITY OF OTTAWA

SCALE 1 : 200  
5 0 5 10 metres

THE INTENDED PLOT SIZE OF THIS PLAN IS 609mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200

J.D. BARNES LIMITED

**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**

BEARINGS ARE MTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS 2016-0350 AND 2016-0360, BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999944.

FOR BEARING COMPARISONS, A ROTATION OF 10°59'40" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON REGISTERED PLAN 15558.

ALL MONUMENTS SET BY J.D. BARNES LIMITED ARE PB'S UNLESS SHOWN OTHERWISE.

**INTEGRATION DATA**

SPECIFIED CONTROL POINTS (SCPs): MTM ZONE 9, NAD83 (CSRS) (2010.0).  
COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF O.REG 216/10.

POINT ID	EASTING	NORTHING
SCP 2016-0350	366 660.02	5 028 800.81
SCP 2016-0360	365 956.09	5 029 979.71

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

THE RESULTANT TIE BETWEEN SCP'S 2016-0350 AND 2016-0360 IS 1373.15m. (GROUND), N 30°50'30" W

**LEGEND**

- ▲ DENOTES CONTROL MONUMENT FOUND
- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- CP DENOTES CONCRETE PIN
- CC DENOTES CUT CROSS
- OU DENOTES ORIGIN UNKNOWN
- Acc DENOTES ACCEPTED
- MEAS DENOTES MEASURED
- RP DENOTES REGISTERED PLAN 15558
- RP DENOTES SURVEYOR'S REAL PROPERTY REPORT BY FARLEY, SMITH & DENIS SURVEYING LTD., DATED NOVEMBER 23, 2012
- RP DENOTES CHAIN LINK FENCE
- P1 DENOTES BUILDING LOCATION SURVEY BY FARLEY, SMITH & MURRAY SURVEYING LTD., DATED JULY 31, 1986
- 647 DENOTES H.R. FARLEY, O.L.S.
- 857 DENOTES C.W. FAIRHALL, O.L.S.
- 1287 DENOTES FARLEY, SMITH & MURRAY SURVEYING LTD.
- FSD DENOTES FARLEY, SMITH & DENIS SURVEYING LTD.
- CLF DENOTES CHAIN LINK FENCE
- MF DENOTES METAL FENCE
- BF DENOTES BOARD FENCE
- RET DENOTES RETAINING
- CONC DENOTES CONCRETE
- E/F DENOTES EAST FACE OF
- sq. m. DENOTES SQUARE METRES
- No. DENOTES NUMBER
- DENOTES PROPERTY LINE

N=NORTH / S=SOUTH / E=EAST / W=WEST

ALL SET PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - THE SURVEY WAS COMPLETED ON X X, 2023.

X X, 2023 DATE PRELIMINARY GEORGE ZERVOS ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-41999

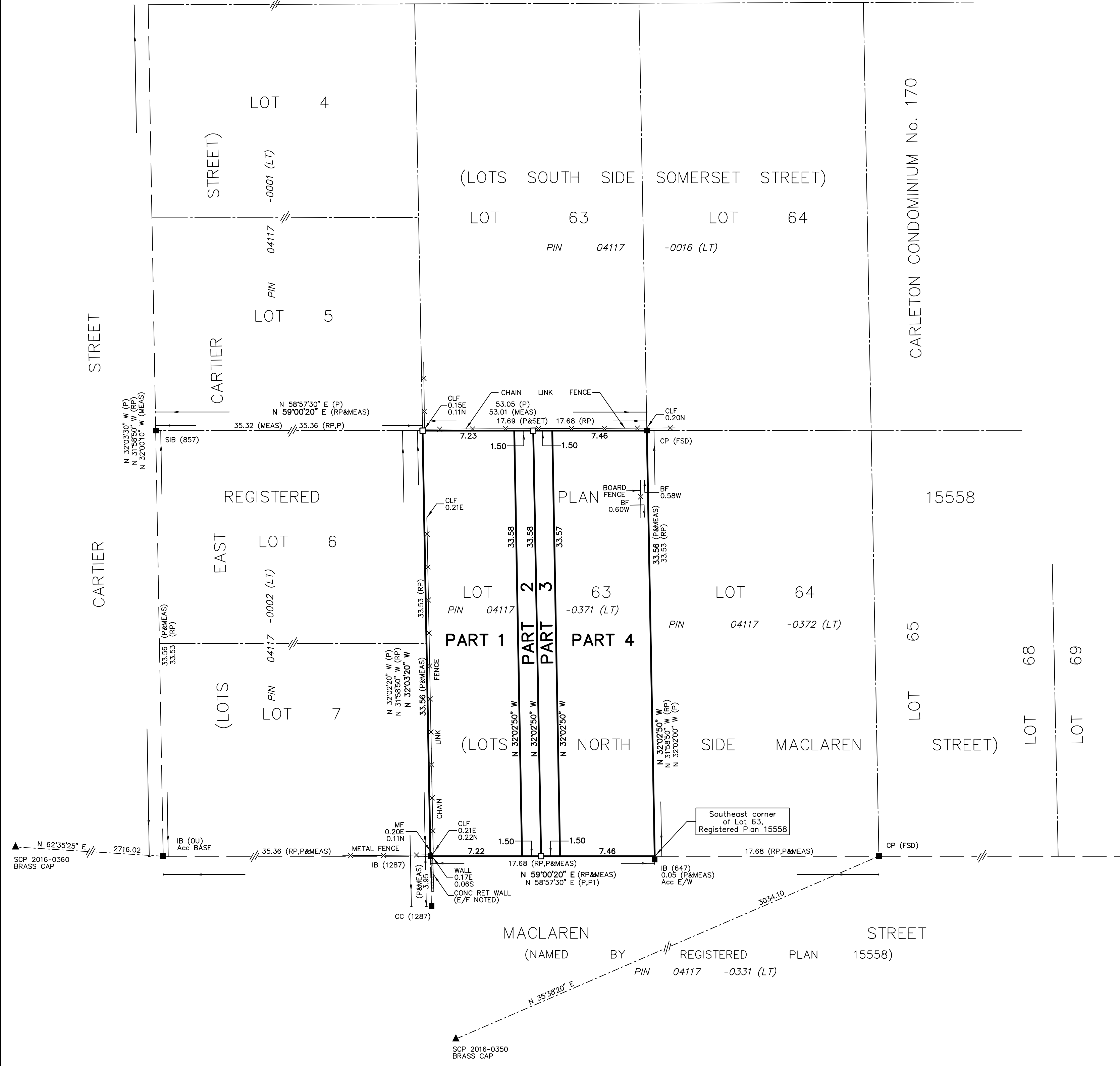


**J.D. BARNES** SURVEYING  
LIMITED MAPPING  
GIS

LAND INFORMATION SPECIALISTS  
62 STEACIE DRIVE, SUITE 103, OTTAWA, ON K2K 2A9  
T: (613) 731-7244 F: (613) 731-8955 www.jdbarnes.com

DRAWN BY: RP	CHECKED BY: GZ	REFERENCE NO.: 22-10-140-00
FILE: G:\22-10-140\00\Drawing\RPLAN\221014000-RPLAN.dgn		DATED: X/X/2023

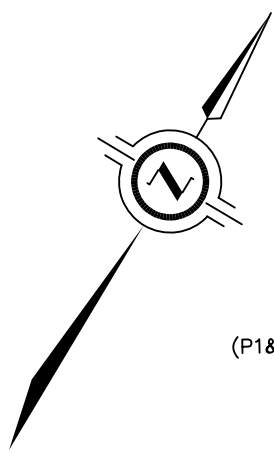
PLOTTED: 6/15/2023



SCP 2016-0360  
BRASS CAP

Southeast corner  
of Lot 63,  
Registered Plan 15558

SCP 2016-0350  
BRASS CAP



Committee of Adjustment  
Received | Reçu le  
2023-12-15  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT  
PART 1 - PLAN SHOWING  
**LOT 63**  
(NORTH MacLAREN STREET)  
**REGISTERED PLAN 15558**  
CITY OF OTTAWA  
J.D. BARNES LIMITED  
© COPYRIGHT 2023  
SCALE 1 : 200



**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**

BEARINGS ARE MTM GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD 83, (CSRS) (2010.0).  
DISTANCES ARE GROUND.  
COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

**PART 2 - SURVEY REPORT**

- DESCRIPTION  
LOT 63 (NORTH MacLAREN STREET) ON REGISTERED PLAN 15558, BEING ALL OF PIN 04117-0371 (LT), IN THE CITY OF OTTAWA
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY  
NONE
- BOUNDARY FEATURES  
NOTE LOCATION OF THE CHAIN LINK FENCE, THE METAL FENCE, THE FRAME DECK AND THE CONCRETE RETAINING WALL ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY.  
NOTE LOCATION OF THE CHAIN LINK FENCE AND THE OVERHEAD TELEPHONE CABLE ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY.  
NOTE LOCATION OF THE BOARD FENCE, THE OVERHEAD TELEPHONE CABLE AND THE EAVE ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY.

**LEGEND**

■	DENOTES	SURVEY MONUMENT FOUND
SIB	DENOTES	STANDARD IRON BAR
IB	DENOTES	IRON BAR
CP	DENOTES	CONCRETE PIN
CC	DENOTES	CUT CROSS
OU	DENOTES	ORIGIN UNKNOWN
Acc	DENOTES	ACCEPTED
MEAS	DENOTES	MEASURED
RP	DENOTES	REGISTERED PLAN 15558
P	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY FARLEY, SMITH & DENIS SURVEYING LTD., DATED NOVEMBER 23, 2012
P1	DENOTES	BUILDING LOCATION SURVEY BY FARLEY, SMITH & MURRAY SURVEYING LTD., DATED JULY 31, 1986
FDN	DENOTES	FOUNDATION
647	DENOTES	H.R. FARLEY, O.L.S.
857	DENOTES	C.W. FAIRHALL, O.L.S.
1287	DENOTES	FARLEY, SMITH & MURRAY SURVEYING LTD.
FSD	DENOTES	FARLEY, SMITH & DENIS SURVEYING LTD.
CLF	DENOTES	CHAIN LINK FENCE
MF	DENOTES	METAL FENCE
BF	DENOTES	BOARD FENCE
TP	DENOTES	TELEPHONE POLE
T	DENOTES	OVERHEAD TELEPHONE CABLE
E	DENOTES	OVERHEAD HYDRO CABLE
---	DENOTES	PROPERTY LINE

N=NORTH / S=SOUTH / E=EAST / W=WEST

**SURVEYOR'S CERTIFICATE**

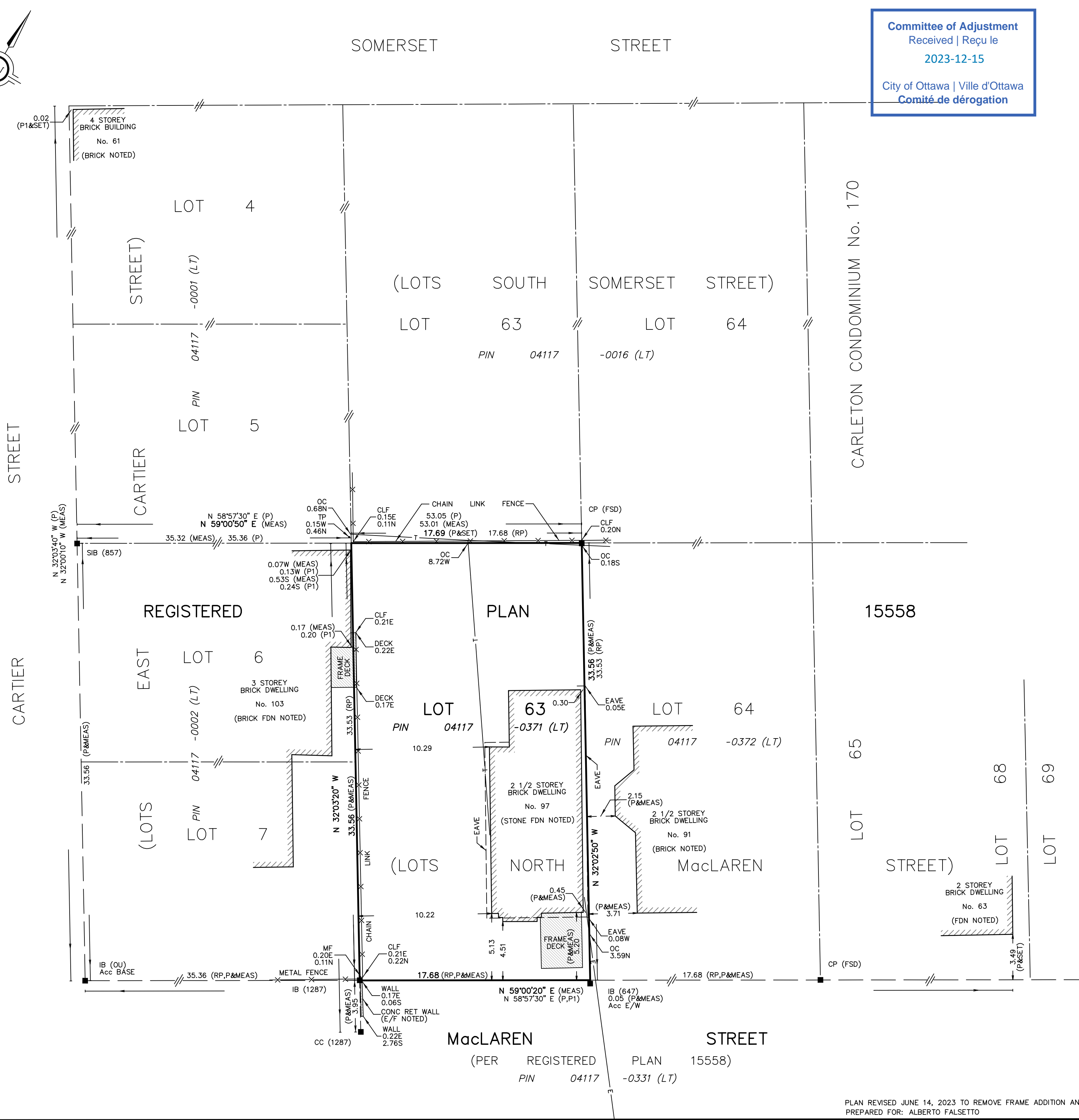
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON JANUARY 9, 2023.  
JANUARY 12, 2023  
DATE

*George Zervos*  
GEORGE ZERVOS  
ONTARIO LAND SURVEYOR

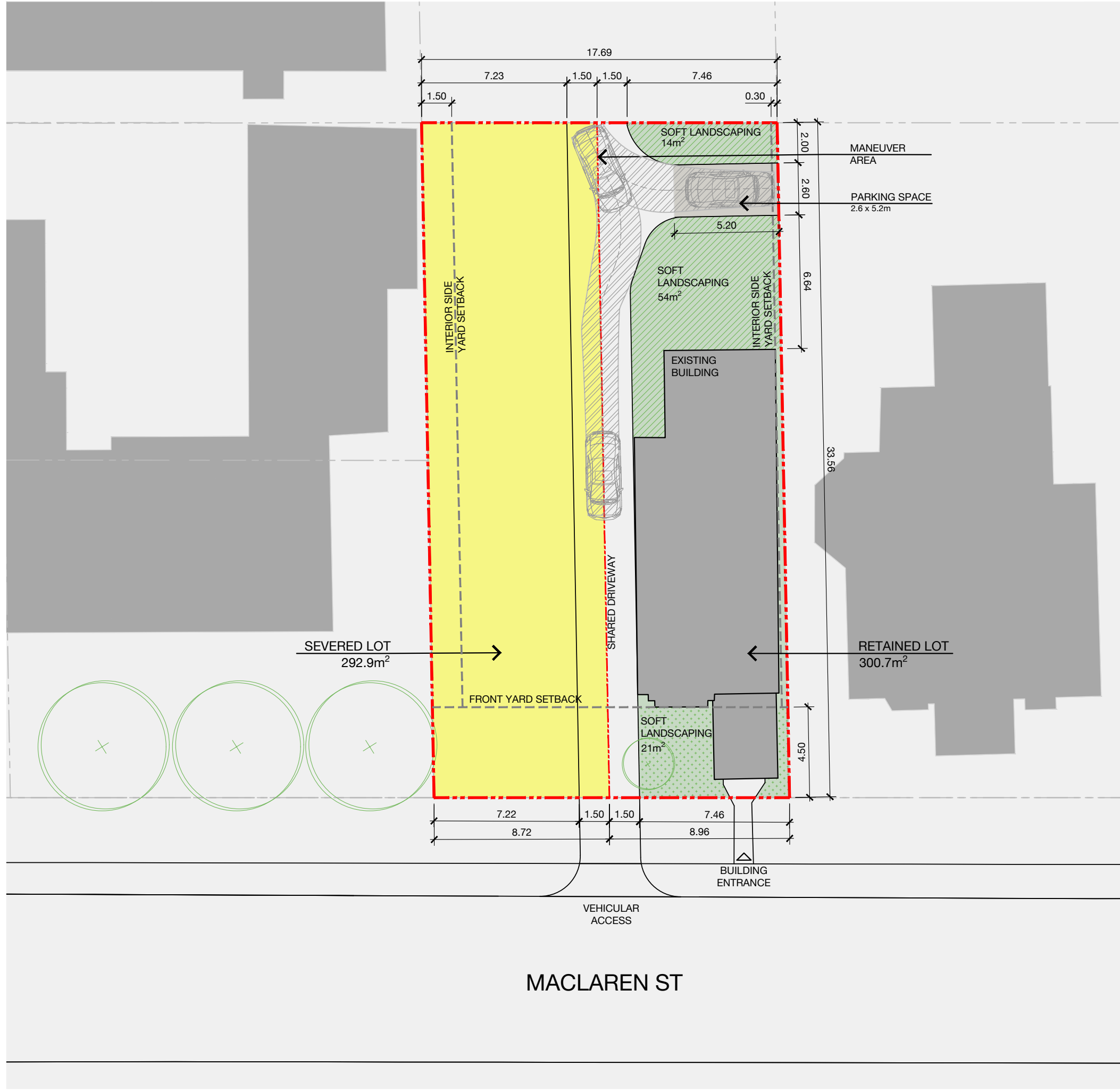
THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V41887

**J.D. BARNES LIMITED**  
SURVEYING MAPPING GIS  
LAND INFORMATION SPECIALISTS  
62 STEACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9  
T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: RP	CHECKED BY: GZ	REFERENCE NO.: 22-10-140-00
PLOTTED: 6/15/2023		DATED: 01/12/23



PLAN REVISED JUNE 14, 2023 TO REMOVE FRAME ADDITION AND SHED.  
PREPARED FOR: ALBERTO FALSETTO



**SITE INFORMATION**

**SITE AREA**  
 Total Site Area: 593.6m<sup>2</sup>

**DEVELOPMENT STATISTICS**

**PARKING** Provided: 1  
 Residential: 1

**SOFT LANDSCAPING REAR YARD**  
 Required: 35m<sup>2</sup>  
 Provided: 68m<sup>2</sup>

**SOFT LANDSCAPING FRONT YARD**  
 Required: 35% (14.1m<sup>2</sup>)  
 Provided: 52% (21m<sup>2</sup>)

**NOTES**

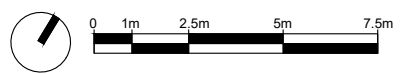
1. The lote lines is based on the Survey provided by the client. The existing roads and surrounding areas is based on the City's Open Data and aerial images.
2. This concept is part of a development concept report and should be interpreted as per findings and descriptions of such report. This concept may require minor variances for setback reduction, parking, heights, etc.

**97  
 MACLAREN  
 STREET  
 OTTAWA  
 Concept Plan**



**LEGEND**

- EXISTING BUILDINGS
- SOFT LANDSCAPING
- SOFT LANDSCAPING - REAR YARD
- SOFT LANDSCAPING - FRONT YARD
- PARKING SPACE
- SEVERED LOT
- SUBJECT PROPERTY BOUNDARY
- PROPERTY BOUNDARY



No.	REVISION	DATE	BY
3	ADDED I.S.Y. SETBACK	2024.08.14	RG
2	SOFT LANDSCAPING	2024.05.06	RG
1	CONCEPT PLAN	2024.04.09	RG

**CLIENT**  
**ALBERT FALSETTO**

**FOTENN**  
 Planning + Design

OTTAWA: 396 Cooper Street, Suite 300, Ottawa ON K2P 2H7 613.730.5709  
 KINGSTON: 4 Cataraqui St., Suite 315, Kingston ON K7K 1Z7 613.542.5454  
 TORONTO: 174 Spadina Ave., Suite 304, Toronto ON M5T 2C2 416.789.4530

DESIGNED	RG
REVIEWED	TS
DATE	2024.04.01

**P1**