SURVEYOR'S REAL PROPERTY REPORT

PART 1 Plan of
LOT 61
REGISTERED PLAN 378959
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebekk Ltd.

Scale 1 : 200

8.0 6.0 4.0 2.0 0 4 8 Metres

Metric

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate

I CERTIFY THAT :

1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the regulations made under them.
2. The survey was completed on the 10th day of July, 2024.

July 18, 2024
Date

E. H. Herweyer
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED: July 18, 2024

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to P. Sewell ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

Denotes

—□—	=	Survey Monument Planted
—■—	=	Survey Monument Found
SIB	=	Standard Iron Bar
SSIB	=	Short Standard Iron Bar
IB	=	Iron Bar
CC	=	Cut Cross
CP	=	Concrete Pin
(WIT)	=	Witness
Meas.	=	Measured
(AOG)	=	Annis, O'Sullivan, Vollebekk Ltd.
Acc.	=	Accepted
(P)	=	Registered Plan 378959
(P1)	=	Plan 5R-8667
(P2)	=	(857) Plan dated April 20, 1964
(P3)	=	(647) PLan dated July 24, 1961
(P4)	=	(1175) Plan dated March 31, 2011
(P5)	=	(647) Plan dated May 1964
(P6)	=	(1442) Plan dated March 23, 1994
U/S	=	Underside
—— OHW ——	=	Overhead Wires
○ UP	=	Utility Pole
⊙ AN	=	Anchor
⊙ W	=	Well Cap
▭ GM	=	Gas Meter
▭ HM	=	Hydro Meter
BF	=	Board Fence
⟷	=	Gate
□ CBI	=	Catch Basin Inlet

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
V-84213

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29 (3).

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01919680005 and 01919750705, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°41'00" counter-clockwise was applied to bearings on plans (P), (P1) (P2) (P3) (P4) and (P5).

ELEVATION NOTES

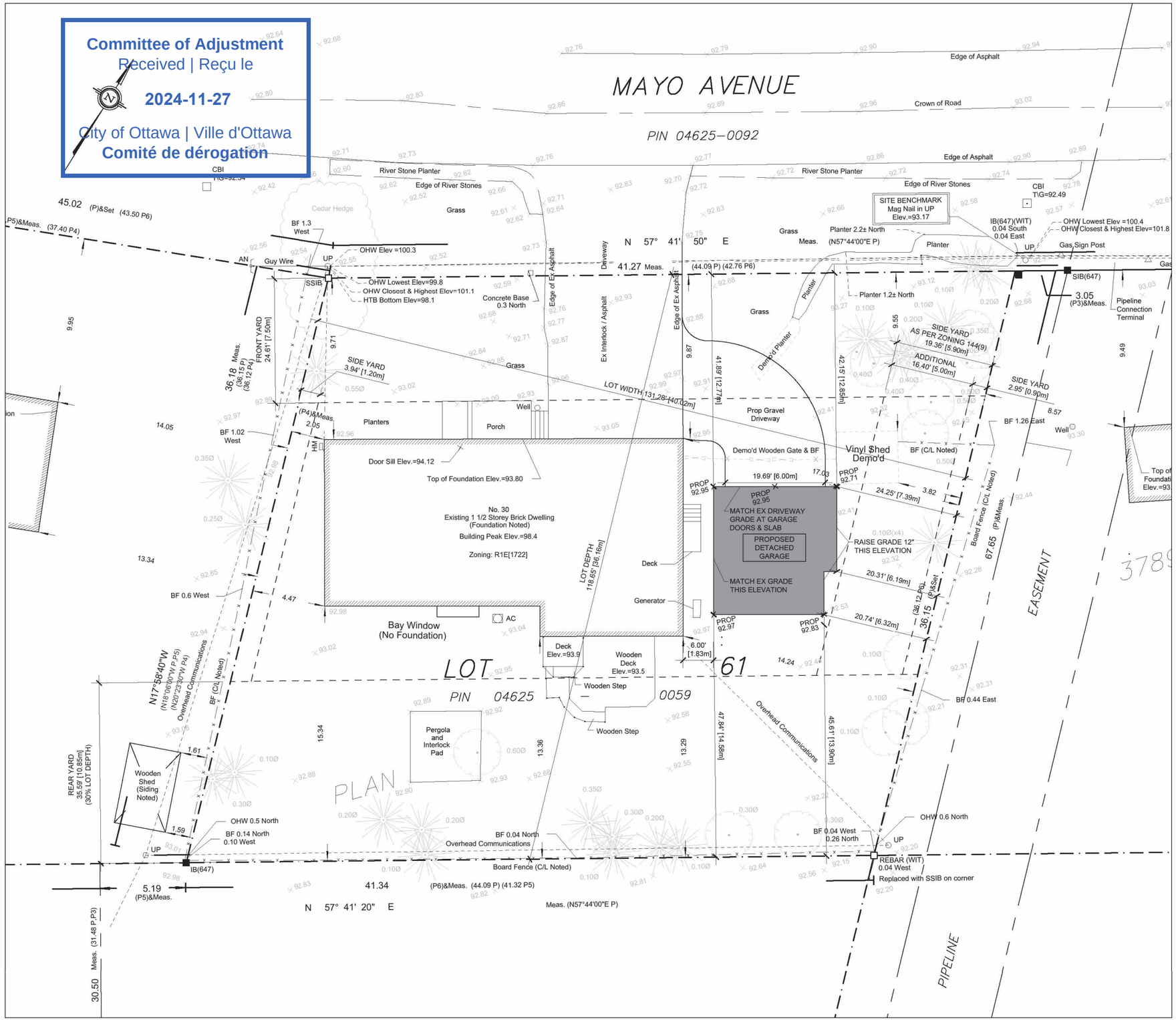
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum and are referred to NCC Monument 019680092 having an elevation of 84.092.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@ovcltd.com
Ontario Land Surveyors

Job No. 24693-24 S:\Subs\ L16\PL378959 0 F rs



MAX CUMULATIVE ACCESSORY

BUILDING AREA: 591.06 SQFT / 54.91m2 (55m2 MAX)
SIDE YARD AREA: 2063.94 SQFT
SIDE YARD COVERAGE: 28.6% (50% MAX)
MAX No OF ACCESSORY BUILDINGS: 2

NOTE: EXISTING ACCESSORY BUILDING DEMO'D

LOT COVERAGE

LOT AREA:	15584.94 SQFT
EXISTING	
BUILDING AREA:	
DWELLING:	2497.48 SQFT
SHED (TO BE DEMO'D):	125.63 SQFT
TOTAL:	2623.11 SQFT
LOT COVERAGE:	16.83%
PROPOSED	
BUILDING AREA:	
DWELLING:	2497.48 SQFT
GARAGE:	591.06 SQFT
TOTAL:	3088.54 SQFT
LOT COVERAGE:	19.82%

SITE PLAN

30 MAYO AVE

NOV 6 2024

SCALE:

A0.1

GRANT HENLEY design group

PROPOSED DETATCHED GARAGE
FOR MINOR VARIANCE

30 MAYO AVE

PROPOSED DETATCHED GARAGE

Committee of Adjustment
Received | Reçu le

2024-11-27

City of Ottawa | Ville d'Ottawa
Comité de dérogation

GENERAL NOTES
APPLICABLE TO ALL DRAWINGS INCLUSIVE

·GC/PROJECT MANAGER TO PROVIDE SAMPLES FOR ANY PRODUCTS THAT ARE SUBSTITUTED FOR THOSE SPECIFIED IN THE FOLLOWING CONSTRUCTION DOCUMENTS OR ANY OTHER GENERAL SCOPE OF WORK ISSUED DOCUMENTS. ALTERNATE SAMPLES TO BE APPROVED BY DESIGNER AND CLIENT. ALL MATERIALS TO BE STORED AS PER MANUFACTURE'S SPECIFICATIONS.

·GC AND ALL SUBCONTRACTORS (SUBC) ASSOCIATED WITH THE CONSTRICTION OF THIS PROJECT MUST COMPLY WITH ALL MUNICIPAL BYLAWS ANN ALL APPLICABLE BUILDING CODES, SPECIFICALLY THE ONTARIO BUILDING CODE, 2012 AND ALL UPDATED AMENDMENTS.

·THE GC/PM IS RESPONSIBLE FOR MAINTAINING A CLEAN AND SAFE SITE AT ALL TIMES AND FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS FROM THE SITE ON A REGULAR BASIS. THE WORK SITE IS TO BE BROOM SWEPT AT THE END OF EACH DAY WHEN APPLICABLE.

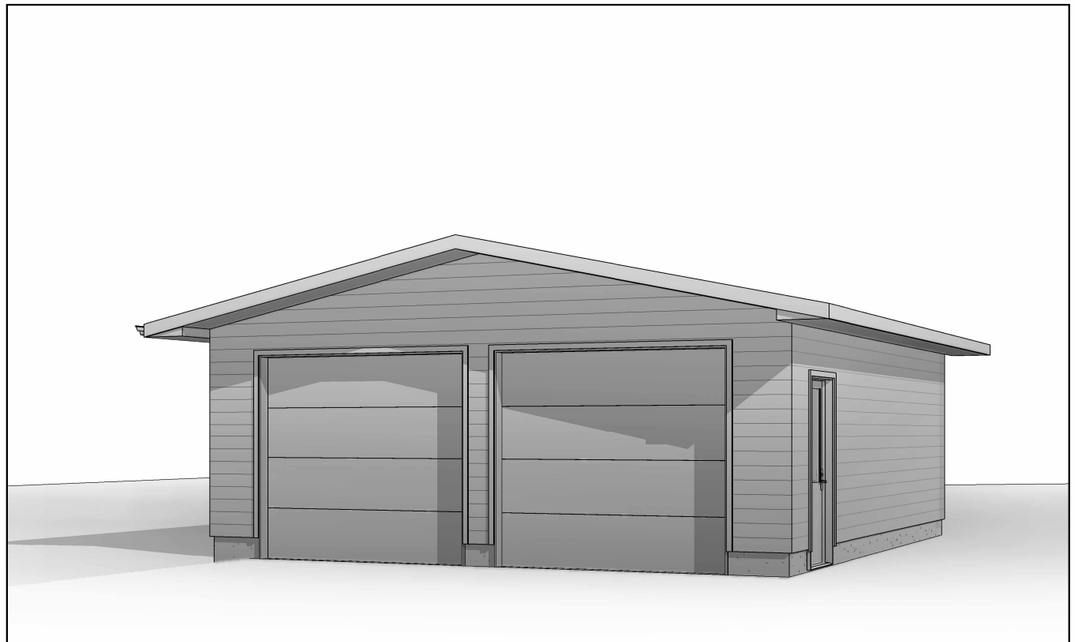
·THE GC/PM AND ANY OF HIS/HER SUBCONTRACTORS ARE REQUESTED TO REPORT ANY DISCREPANCIES IN THE FOLLOWING CONSTRUCTION DOCUMENTS TO GRANT & HENLEY DESIGN GROUP (2465359 ONTARIO INC.) PRIOR TO COMMENCEMENT OF WORK.

·ALL WORK TO BE PERFORMED TO THE HIGHEST STANDARDS. ALL TRADES TO PROTECT ALL WORK AND MATERIALS OF OTHER TRADES WHILE PERFORMING WORK.

·DAMAGE TO THE BUILDING OR PREMISES CAUSED BY THE GC/PM OR HIS EMPLYEE(S) OR SUBCONTRACTORS SHALL BE REPAIRED AT HIS/HERS EXPENSE. ALL SURFACES DAMAGED BY CONSTRUCTION TO BE MADE GOOD.

·THE GC/PM IS REQUESTED TO PROVIDE THE CLIENT WITH ALL LEFT OVER FINISHING PRODUCTS FOR FLOORING, PAINT, WALLS ETC.) AT THE COMPLETION OF THE PROJECT.

·DO NOT SCALE DRAWINGS



DRAWING LIST

A0.0	TITLE PAGE
A0.1	SITE PLAN
A0.3	NOTES & SCHEDULES
A1.0	FOUNDATION PLAN
A1.1	GROUND FLOOR
A1.2	ROOF PLAN
A2.1	NORTH ELEVATION
A2.2	EAST ELEVATION
A2.3	SOUTH ELEVATION
A2.4	WEST ELEVATION
A3.1	SECTION
A4.1	DETAILS TYP

DECLARATION OF DESIGNER:

I, Jason Grant, declare that I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/catagories.

Individual BCIN: 41118

Firm BCIN: 100426

I certify that:
1.The information contained in this schedule is true to the best of my knowledge.
2.I have submitted this application with the knowledge and consent of the firm.

Signature of Designer: _____

Date: _____

TITLE PAGE

30 MAYO AVE

NOV 6 2024

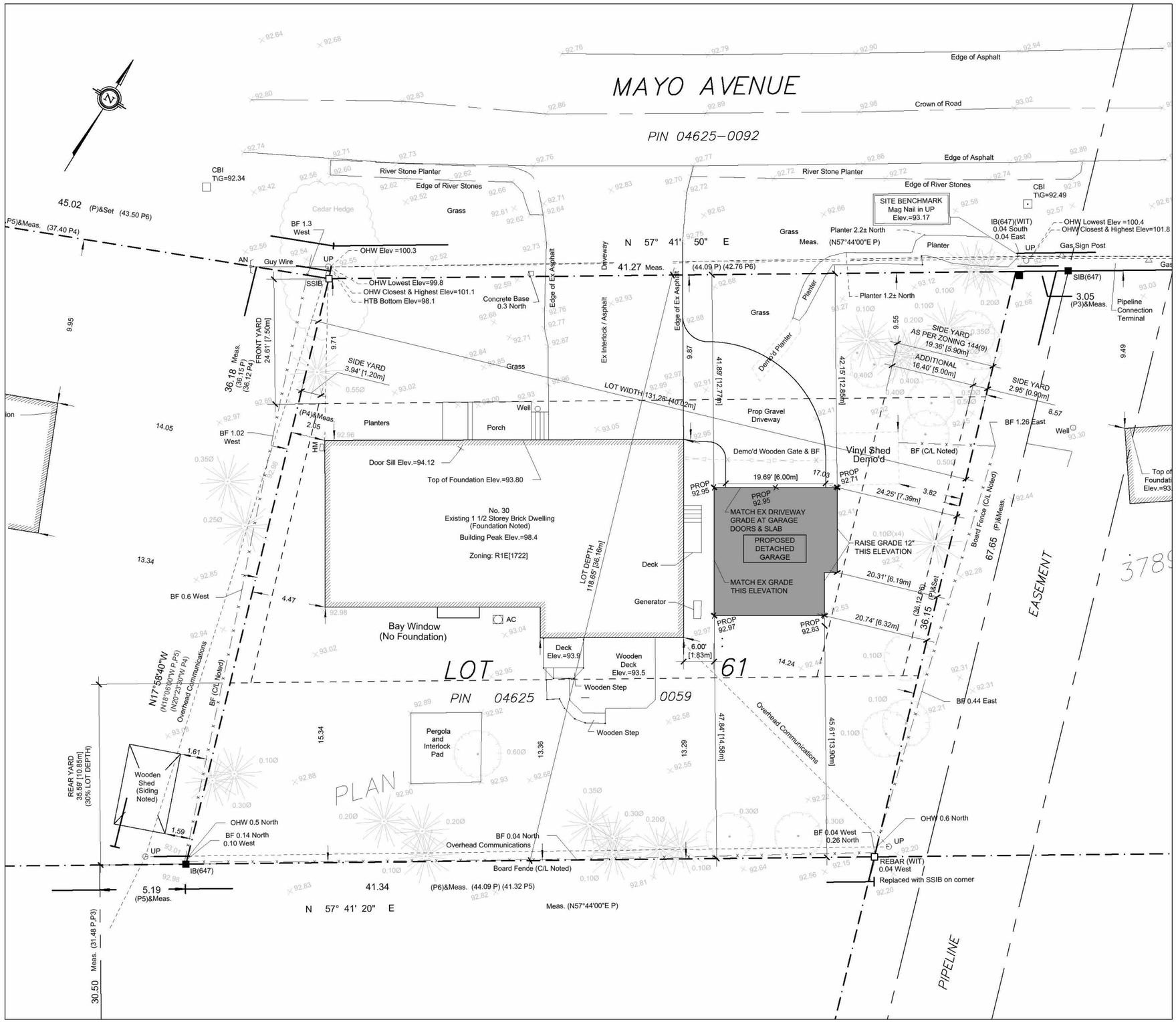
SCALE:

A0.0

GRANT HENLEY design group

PROPOSED DETATCHED GARAGE

FOR MINOR VARIANCE



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SITE PLAN

30 MAYO AVE

NOV 6 2024

SCALE:

A0.1

GRANT HENLEY design group

PROPOSED DETATCHED GARAGE
FOR MINOR VARIANCE

CONSTRUCTION NOTES

GENERAL CONSTRUCTION NOTES

1. ALL EXPOSED DRYWALL JOINTS TO BE TAPED, FILLED & MADE READY FOR PAINT.
2. ALL GYPSUM BD. CEILINGS WALLS TO RECEIVE PLASTER SKIM COAT
3. PROVIDE & INSTALL 6mil POLYETHYLENE VAPOUR BARRIER UNDER ALL WOOD FRAMING IN CONTACT WITH SLAB.
4. GYPSUM BOARD IN GARAGE TO BE IMPACT RESISTANT TO 48" ABOVE FINISHED FLOOR. USE 1/2" PLYWOOD AS ALTERNATIVE
5. AIR/WEATHER BARRIER TO BE CONTINUOUS FROM ONE WALL TYPE TO ANOTHER.
6. PROVIDE 'BLUESKIN' SELF-ADHESIVE FLASHING FOR FULL PERIMETER OF ALL EXTERIOR WINDOW & DOOR ROUGH OPENINGS. OVERLAP JOINTS IN A MANNOR TO ANY WATER/MOISTER PENETRATION INTO WOOD FRAMING
7. PROVIDE PRE-FIN METAL THROUGH WALL FLASHING c/w DRIP EDGE, AT THE HEADS OF ALL EXTERIOR WINDOWS & DOORS. TIE IN WITH PERIMETER BLUESKIN FLASHING.
8. ALL DOORS & WINDOWS TO CONFORM TO RESISTANCE TO FORCE ENTRY SECTIONS - O.B.C.-9.6.8 & 9.7.6
9. USE FREE DRAINING GRANULAR BACKFILL AROUND FOUNDATION & RETAINING WALLS (MIN 4") AS PER OBC 9.14.2.
10. PROVIDED CCMC APPROVAL BUILDING INSPECTION FOR CLADDING PRODUCTS OUTSIDE OF O.B.C. 9.27 (COMPOSITE SIDING)
11. ATTACH WALL SHEATHING DIRECTLY TO STUD WALLS @ 12" O/C AT INTERIOR + 6" O/C AT PERIMETER & BLOCKING (SW1, ALL W3 TYPES)
12. OVERLAP AIR AND VAPOUR BARRIERS 6" MIN

ROOF CONSTURCTION NOTES

1. PROVIDE AND INSTALL ICE & WATERSHIELD 'BY GRACE' AT ALL VALLEYS, ROOF EAVES, JUNCTIONS (INCLUDING VERTICAL WALLS), PENETRATIONS & MATERIAL CHANGES.
2. EXTEND ICE & WATERSHIELD FOR MIN. 3'-0" ON EACH SIDE OF ROOF VALLEYS AND AT ALL SADDLES BEHIND CHIMNEYS & ROOF PENETRATIONS.
3. ICE & WATER SHIELD BY 'GRACE' AT ALL ROOF EAVES IS TO EXTEND A MINIMUM OF 3'-0" IN FROM THE EXTERIOR FACE OF INSULATED WALL BELOW.
4. PROVIDE ICE & WATERSHIELD AT ALL ROOF VALLEYS - 3'-0" ON BOTH SIDES CONTINUOUS
5. ROOF OVERHANG DIMENSIONS ARE FROM FACE OF WOOD STUD WALL TO EXTERIOR FACE OF MAIN FASCIA BOARD. SUBTRACT 1 1/2" TO DETERMINE LENGTH OF RAFTER TAIL.
6. ROOFING ASSEMBLIES NOTED ON THE DRAWINGS AND SPECIFICATIONS ARE LIMITED TO PROVIDING A GENERAL DESCRIPTION OF THE PROPOSED ROOFING SYSTEM. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPLY AND INSTALL A COMPLETE WATERPROOF ROOFING SYSTEM WITH ALL PRODUCTS COMPATIBLE AND APPROVED FOR USE BY THE ROOF MEMBRANE MANUFACTURER. THIS SHALL BE A COMPLETE SYSTEM WITH A MANUFACTURERS WARRANTY. THE CONTRACTOR SHALL PROVIDE, FROM THE ROOF MEMBRANE MANUFACTURER, A WRITTEN DECLARATION TO THE OWNER STATING MATERIALS AND COMPONENTS OF THE ROOFING SYSTEM ARE COMPATIBLE AND INSTALLED AS PER THE RECOMMENDATIONS OF THE MEMBRANE MANUFACTURER. THE OWNER WILL BE RESPONSIBLE FOR ENGAGING AN INDEPENDENT ROOFING INSPECTOR TO CONDUCT INSPECTIONS AND TEST TO ENSURE COMPLIANCE WITH THE APPROVED ROOFING MEMBRANE MANUFACTURER'S ROOF SYSTEM REQUIREMENTS.
7. PROVIDE BAFFLES AT ROOF EDGE TO AIR FLOW. FASTEN BAFFLES TO TRUSSES TO AVOID MOVEMENT FROM WIND
8. INSTALL SNOW GUARDS AT METAL ROOF EAVES TO PROTECT FROM FALLING SNOW
9. AT 2 1/2:12 METAL ROOFS, SELECT PROFILE SUITABLE FOR LOW SLOPE. REFER TO MANUFACTOR'S INSTRUCTIONS AND CONFORM TO INSTALLATION DETAILS INCLUDING ANY ADDITIONAL SYNTHETIC UNDERLAYMENT, FLASHING, ICE & WATERSHIELD REQUIREMENTS

CONSTRUCTION SCHEDULES

WALL SCHEDULE

W1A/B EXTERIOR SIDING
- SIDING FINISH:
  - W1A: VINYL SIDING (MATCH DWELLING)
  - W1B: STAINED CEDAR WOOD SIDING (T&G)
- 1"x3" WOOD STRAPPING
- 'TYVEK' AIR BARRIER, TAPE ALL JOINTS
- 1/2" PLYWOOD SHEATHING
- 2"x4" WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM BD., TAPE & FILL

FOUNDATION WALL SCHEDULE

W2 CURB WALL
- PARGING TO 8" BELOW GRADE
- FND1: 8" POURED CONCRETE WALL. VIEW IN CONJUCTION WITH STRUCTURAL SCHEDULE FOR REINFORCMENT

FLOOR SCHEDULE

F1 SLAB ON GRADE (GARAGE)
- SLAB1- 2% SLOPE TO DRAIN/GARAGE DOOR
- 2" RIGID INSULATION (HI-40)
- 6mil POLY VAPOUR BARRIER
- 8" GRANULAR 'A' ON ENGINEERED SUB-BASE AS PER SOILS CONSULTANT

ROOF SCHEDULE

R1 2 1/2:12 SLOPED METAL ROOF
- "POCKET RIB" METAL PROFILE ROOF BY IDEAL ROOFING OR EQ. INSTALL AS PER MANF INSTRUCTIONS
- 1/2" EXT. GRADE PLYWOOD (SPRUCE) C/W H-CLIPS
- WOOD ROOF RAFTER OR ENGINEERED WOOD TRUSS SYSTEM (SEE PLANS). REFER TO TRUSS LAYOUT BY MANUF
- 1"x3" STRAPPING @ 16" O/C
- U/S FINISH:
  - INTERIOR: 1/2" GYPSUM BD, GLUED & SCREWED
  - EXTERIOR: METAL SOFFIT (MATCH DWELLING)

WINDOW AND DOOR SCHEDULE

REFER TO ELEVATION (A2.1-A2.4)

STRUCTURAL SCHEDULES

STRUCTURAL FOUNDATION SCHEDULE

FND1 8" CONCRETE CURB (25 MPA, CLASS F-2)
- 2-15m BARS CONT'S (TOP & BTM)
- 16" LAPS & 16"x16" CORNER BARS
- 10M DOWELS @ 16" O/C
- 1 1/2"x3 1/2" SHEAR KEYS

SLAB1 4" CONCRETE SLAB (32MPA, CLASS C-2)
- 10M @ 16" O/C B/W @ MID-HEIGHT WIRED TO 6"x6" W.W.M ON TOP OF REBAR
- 1" SAWCUTS @ 15'-0" MAX E.W.
- 2% SLOPE TO DRAIN/GARAGE DOOR
- 12"x24" SLAB THICKENING @ PERIMETER C/W 3-15M BOTTOM, CONTINUOUS

NOTE: REVIEW IN CONJUNCTION WITH FLOOR TYPE F1 AND DETAILS FOR INSUL'N, V/B, & ENGINEERED COMPACT FILL. TO BE DESIGNED FOR qALL GREATER THAN OR EQUAL TO 75KPA (TO BE CONFIRMED IN REPORT BY GEOTECHNICAL ENGINEER)

STRUCTURAL POST & COLUMN SCHEDULE

WOOD POST

P3	3- 2"x4"
P4	4- 2"x4"

STRUCTURAL FRAMING SCHEDULE

LVL 1.9E BEAM (BLUESKIN WRAP & BUILD OUT AT EXTERIOR)

LVL8-2	2- 1 3/4"x7 1/4"

PRE-ENGINEERED ROOF TRUSS

T1	8" RAISED HEEL @ 24" O/C

WOOD BEAM (P.T. AT EXTERIOR)

RB30	ROOF BRACKET (30"x30")
WB10-2	2- 2"x10"
WB12-2	2- 2"x12"

NOTES & SCHEDULES

30 MAYO AVE

NOV 6 2024

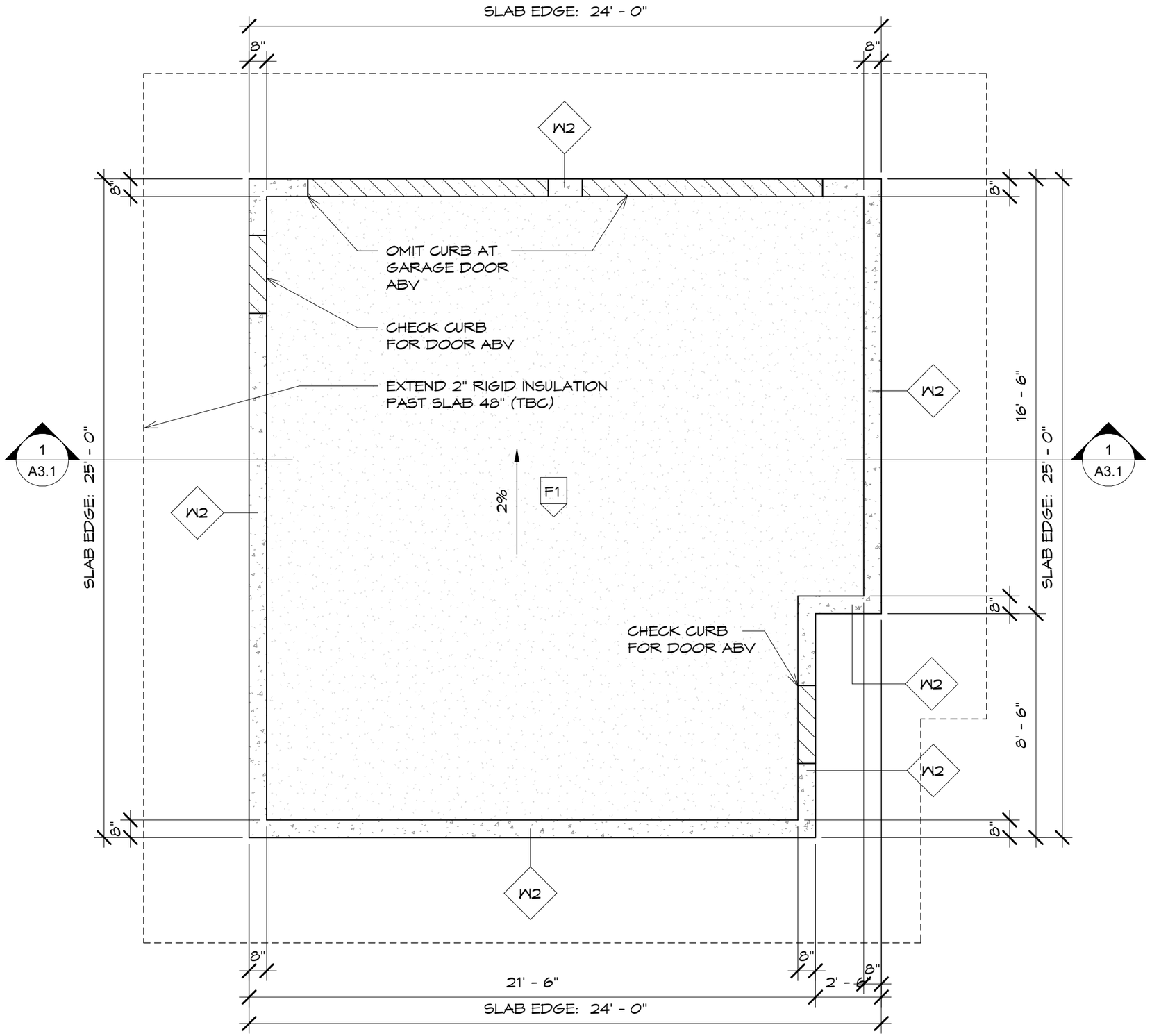
SCALE: 1/4" = 1'-0"

A0.3

GRANT HENLEY design group

PROPOSED DETATCHED GARAGE

FOR MINOR VARIANCE



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FOUNDATION WALL SCHEDULE

W2 CURB WALL
- PARGING TO 8" BELOW GRADE
- FND1: 8" POURED CONCRETE WALL. VIEW IN CONJUCTION WITH STRUCTURAL SCHEDULE FOR REINFORCMENT

FOUNDATION PLAN

30 MAYO AVE

NOV 6 2024

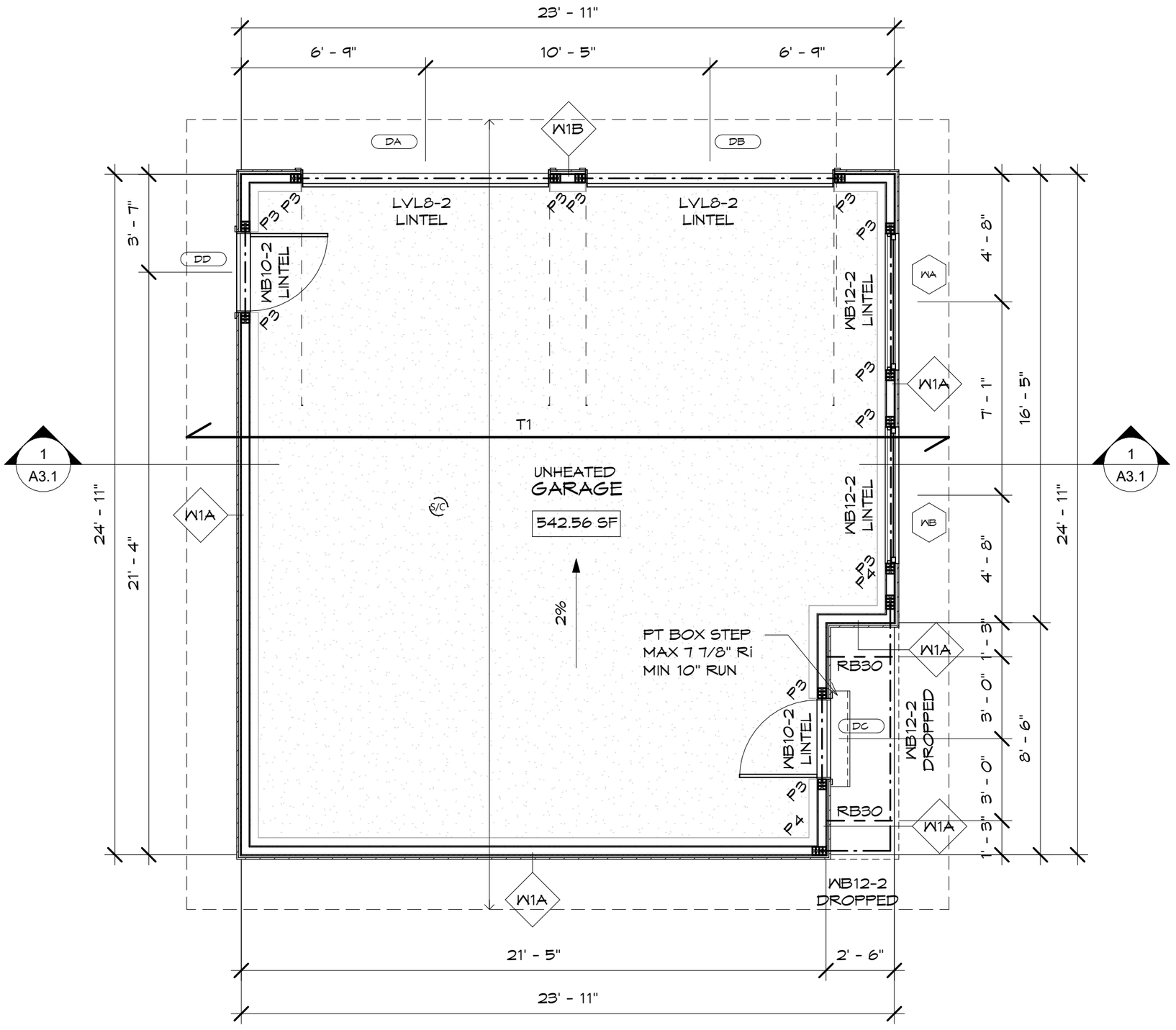
SCALE: 1/4" = 1'-0"

A1.0

GRANT HENLEY design group

PROPOSED DETATCHED GARAGE

FOR MINOR VARIANCE



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STRUCTURAL POST & COLUMN SCHEDULE

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WALL SCHEDULE

W1A/B EXTERIOR SIDING
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  - W1A: VINYL SIDING (MATCH DWELLING)
  - W1B: STAINED CEDAR WOOD SIDING (T&G)
- 1"x3" WOOD STRAPPING
- 'TYVEK' AIR BARRIER, TAPE ALL JOINTS
- 1/2" PLYWOOD SHEATHING
- 2"x4" WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM BD., TAPE & FILL

GROUND FLOOR

30 MAYO AVE

NOV 6 2024

SCALE: 1/4" = 1'-0"

A1.1

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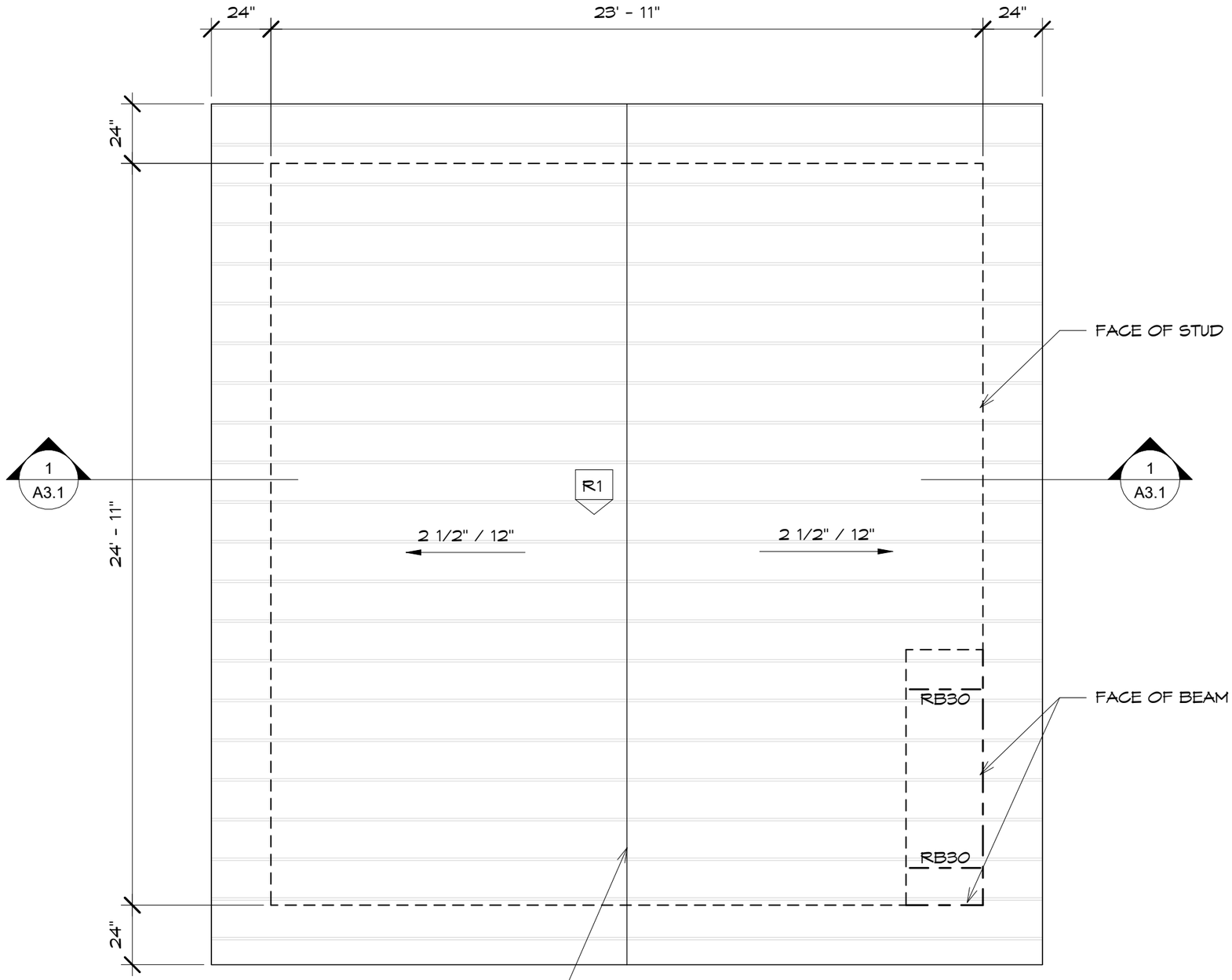
FOR MINOR VARIANCE



ROOF SCHEDULE

R1 2 1/2:12 SLOPED METAL ROOF

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ROOF PLAN

30 MAYO AVE

NOV 6 2024

SCALE: 1/4" = 1'-0"

A1.2

GRANT HENLEY design group

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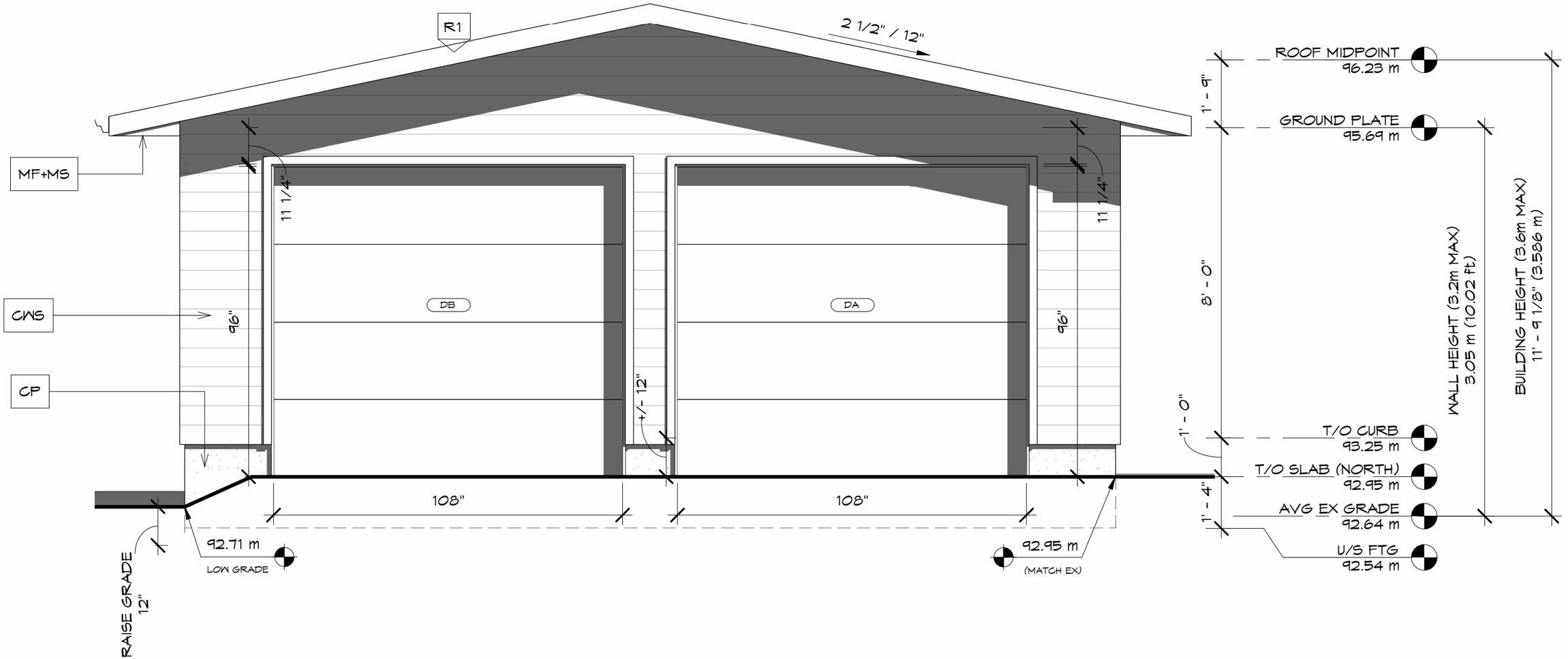

MATERIALS	
CP	CONCRETE PARDGING
CWS	STAINED CEDAR WOOD SIDING (T&G)
MF+MS	METAL FLASHING/EAVESTROUGH, & METAL SOFFIT
MTL	METAL PROFILE ROOF
VYL	VINYL SIDING

MATCH EXISTING DWELLING MATERIALS AND STYLE TYP

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	TYPE	SILL
WA	60"	18"	AWNING	60"
WB	60"	18"	AWNING	60"

EXTERIOR DOOR SCHEDULE

MARK	OPEN WIDTH	OPEN HEIGHT	TYPE
DA	108"	96"	GARAGE
DB	108"	96"	GARAGE
DC	34"	82"	HALF GLASS
DD	34"	82"	HALF GLASS

WINDOWS + DOORS AS SHOWN ARE FOR GENERAL DESIGN REFERENCE ONLY. THE OWNER IS RESPONSIBLE FOR THE SELECTION & APPROVAL FOR THE FINAL SIZE, OPERATOR, STYLE, & FINISH OF WINDOWS + DOORS. OWNER IS RESPONSIBLE FOR THE DISTRIBUTION OF THE APPROVED ORDER TO THE INSTALLING CONTRACTOR. GRANT + HENLEY DESIGN GROUP (2465359 ONTARIO INC) IS NOT RESPONSIBLE FOR THE FINAL WINDOWS + DOORS SELECTED & INSTALLED FOR THIS PROJECT

WALL/WINDOW RATIO

ELEVATION	GLAZING AREA	WALL AREA	RATIO
NORTH	0.00 SF	216.66 SF	0.00%
EAST	22.58 SF	237.60 SF	9.50%
SOUTH	0.00 SF	220.30 SF	0.00%
WEST	7.58 SF	224.18 SF	3.38%
TOTAL	30.17 SF	898.74 SF	3.36%

NORTH ELEVATION

30 MAYO AVE

NOV 6 2024

SCALE: 3/8" = 1'-0"

A2.1

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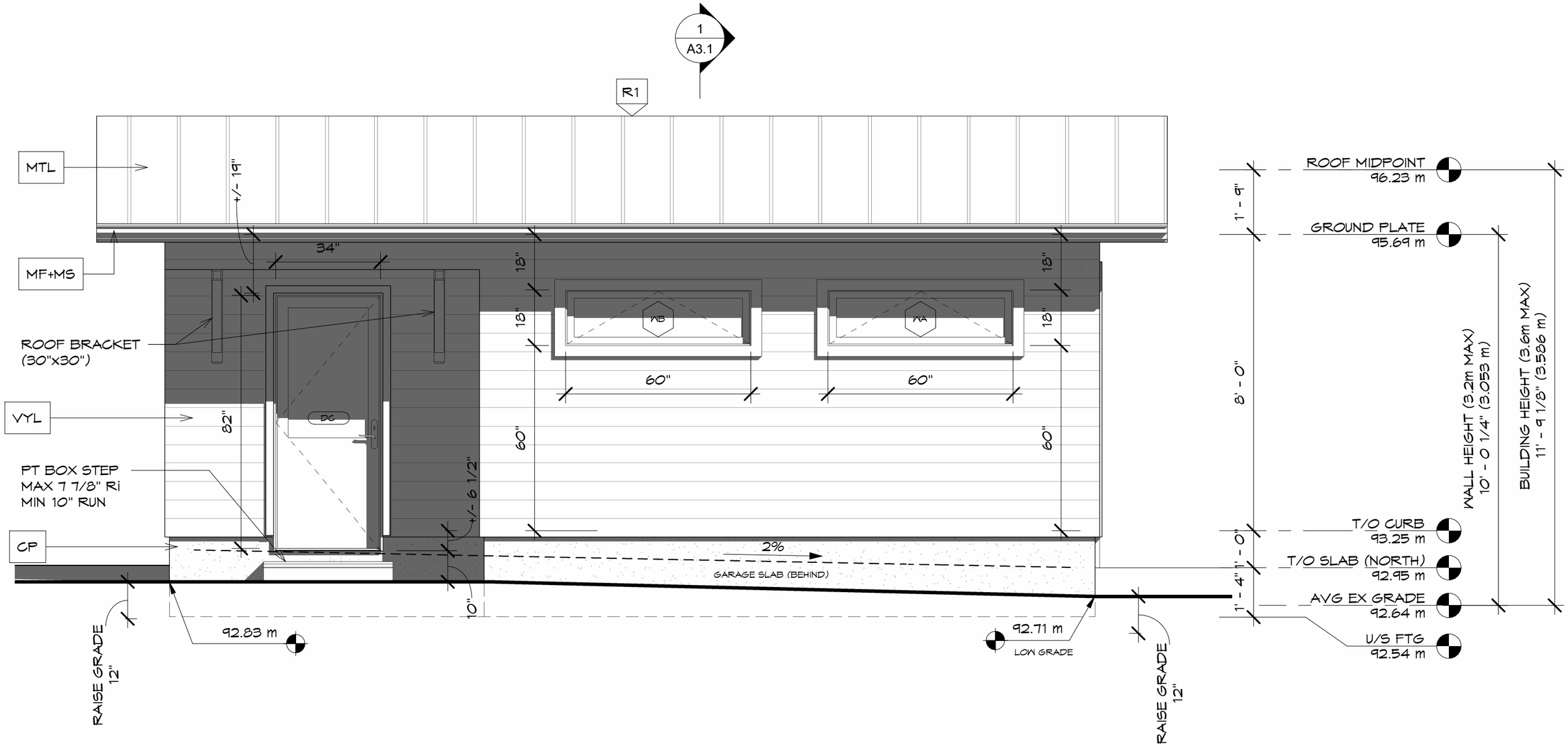

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WINDOWS + DOORS AS SHOWN ARE FOR GENERAL DESIGN REFERENCE ONLY. THE OWNER IS RESPONSIBLE FOR THE SELECTION & APPROVAL FOR THE FINAL SIZE, OPERATOR, STYLE, & FINISH OF WINDOWS + DOORS. OWNER IS RESPONSIBLE FOR THE DISTRIBUTION OF THE APPROVED ORDER TO THE INSTALLING CONTRACTOR. GRANT + HENLEY DESIGN GROUP (2465359 ONTARIO INC) IS NOT RESPONSIBLE FOR THE FINAL WINDOWS + DOORS SELECTED & INSTALLED FOR THIS PROJECT

WALL/WINDOW RATIO			
ELEVATION	GLAZING AREA	WALL AREA	RATIO
NORTH	0.00 SF	216.66 SF	0.00%
EAST	22.58 SF	237.60 SF	9.50%
SOUTH	0.00 SF	220.30 SF	0.00%
WEST	7.58 SF	224.18 SF	3.38%
TOTAL	30.17 SF	898.74 SF	3.36%

EAST ELEVATION

30 MAYO AVE

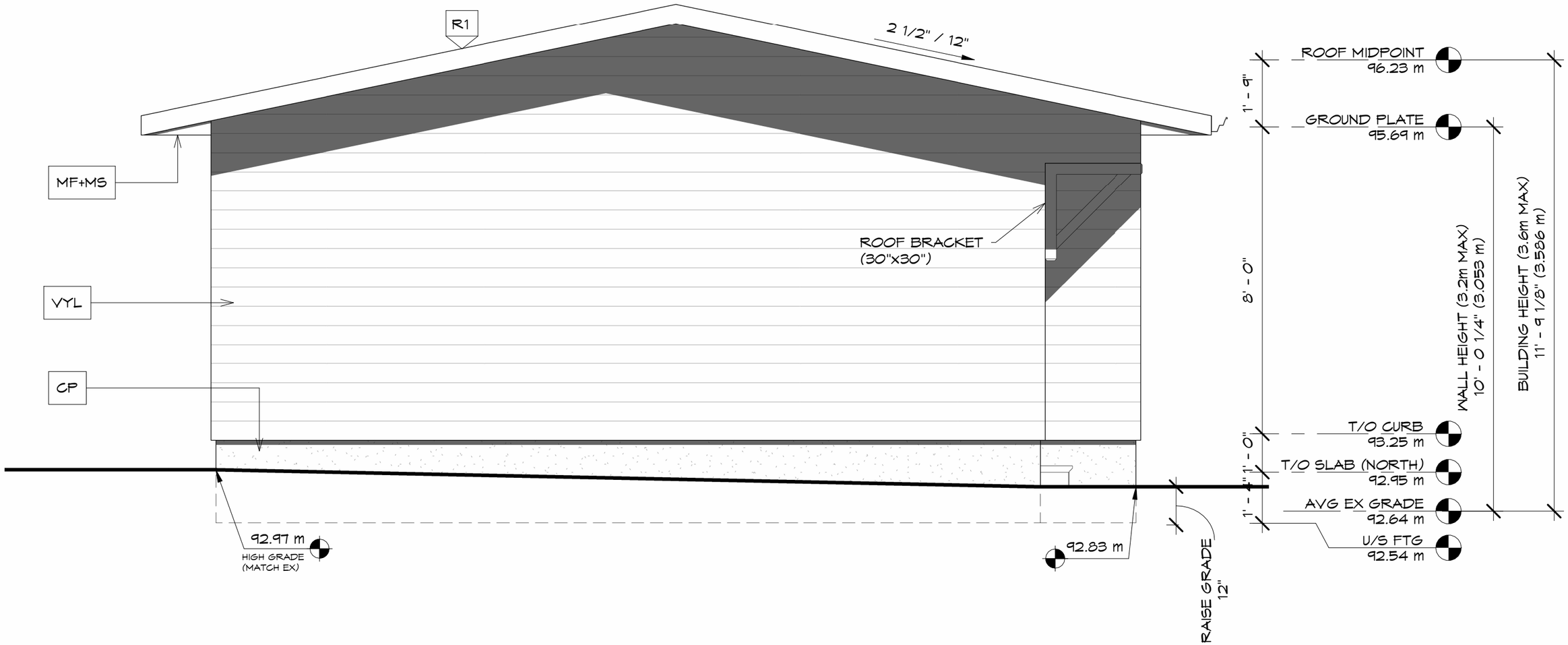
NOV 6 2024

SCALE: 3/8" = 1'-0"

A2.2

GRANT HENLEY design group

PROPOSED DETATCHED GARAGE
FOR MINOR VARIANCE



MATERIALS	
CP	CONCRETE PARDGING
CWS	STAINED CEDAR WOOD SIDING (T&G)
MF+MS	METAL FLASHING/EAVESTROUGH, & METAL SOFFIT
MTL	METAL PROFILE ROOF
VYL	VINYL SIDING

MATCH EXISTING DWELLING MATERIALS AND STYLE TYP

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	TYPE	SILL
WA	60"	18"	AWNING	60"
WB	60"	18"	AWNING	60"

EXTERIOR DOOR SCHEDULE

MARK	OPEN WIDTH	OPEN HEIGHT	TYPE
DA	108"	96"	GARAGE
DB	108"	96"	GARAGE
DC	34"	82"	HALF GLASS
DD	34"	82"	HALF GLASS

WINDOWS + DOORS AS SHOWN ARE FOR GENERAL DESIGN REFERENCE ONLY. THE OWNER IS RESPONSIBLE FOR THE SELECTION & APPROVAL FOR THE FINAL SIZE, OPERATOR, STYLE, & FINISH OF WINDOWS + DOORS. OWNER IS RESPONSIBLE FOR THE DISTRIBUTION OF THE APPROVED ORDER TO THE INSTALLING CONTRACTOR. GRANT + HENLEY DESIGN GROUP (2465359 ONTARIO INC) IS NOT RESPONSIBLE FOR THE FINAL WINDOWS + DOORS SELECTED & INSTALLED FOR THIS PROJECT

WALL/WINDOW RATIO

ELEVATION	GLAZING AREA	WALL AREA	RATIO
NORTH	0.00 SF	216.66 SF	0.00%
EAST	22.58 SF	237.60 SF	9.50%
SOUTH	0.00 SF	220.30 SF	0.00%
WEST	7.58 SF	224.18 SF	3.38%
TOTAL	30.17 SF	898.74 SF	3.36%

SOUTH ELEVATION

30 MAYO AVE

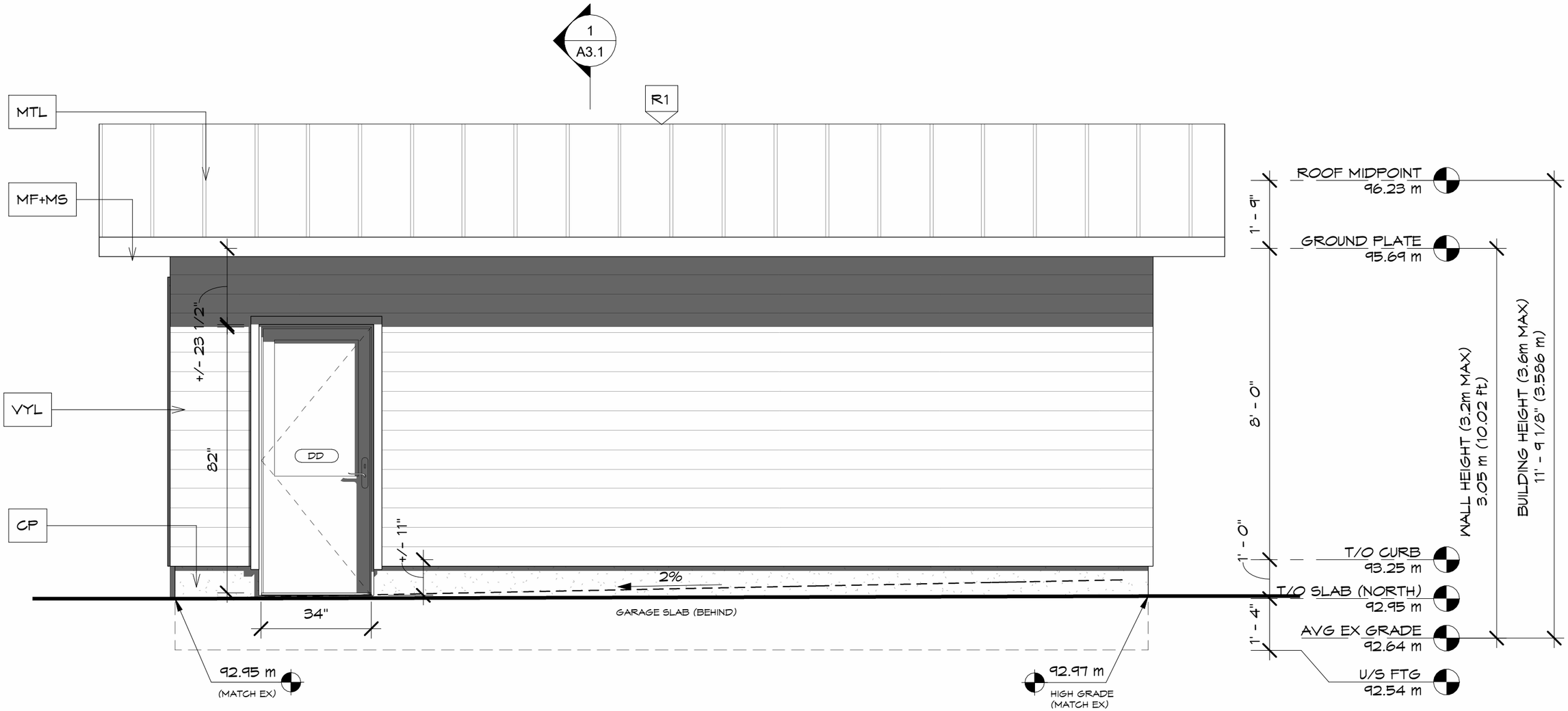
NOV 6 2024

SCALE: 3/8" = 1'-0"

A2.3

GRANT HENLEY design group

PROPOSED DETATCHED GARAGE
FOR MINOR VARIANCE



MATERIALS	
CP	CONCRETE PARDGING
CWS	STAINED CEDAR WOOD SIDING (T&G)
MF+MS	METAL FLASHING/EAVESTROUGH, & METAL SOFFIT
MTL	METAL PROFILE ROOF
VYL	VINYL SIDING

MATCH EXISTING DWELLING MATERIALS AND STYLE TYP

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	SILL
WA	60"	18"	AWNING	60"
WB	60"	18"	AWNING	60"

EXTERIOR DOOR SCHEDULE			
MARK	OPEN WIDTH	OPEN HEIGHT	TYPE
DA	108"	96"	GARAGE
DB	108"	96"	GARAGE
DC	34"	82"	HALF GLASS
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WALL/WINDOW RATIO			
ELEVATION	GLAZING AREA	WALL AREA	RATIO
NORTH	0.00 SF	216.66 SF	0.00%
EAST	22.58 SF	237.60 SF	9.50%
SOUTH	0.00 SF	220.30 SF	0.00%
WEST	7.58 SF	224.18 SF	3.38%
TOTAL	30.17 SF	898.74 SF	3.36%

WEST ELEVATION

30 MAYO AVE

NOV 6 2024

SCALE: 3/8" = 1'-0"

A2.4

GRANT HENLEY design group

PROPOSED DETATCHED GARAGE
FOR MINOR VARIANCE

STRUCTURAL FOUNDATION SCHEDULE

FND1 8" CONCRETE CURB (25 MPA, CLASS F-2)
- 2-15m BARS CONT'S (TOP & BTM)
- 16" LAPS & 16"x16" CORNER BARS
- 10M DOWELS @ 16" O/C
- 1 1/2"x3 1/2" SHEAR KEYS

SLAB1 4" CONCRETE SLAB (32MPA, CLASS C-2)
- 10M @ 16" O/C B/W @ MID-HEIGHT WIRED TO 6"x6" W.W.M ON TOP OF REBAR
- 1" SAWCUTS @ 15'-0" MAX E.W.
- 2% SLOPE TO DRAIN/GARAGE DOOR
- 12"x24" SLAB THICKENING @ PERIMETER C/W 3-15M BOTTOM, CONTINUOUS

NOTE: REVIEW IN CONJUNCTION WITH FLOOR TYPE F1 AND DETAILS FOR INSUL'N, V/B, & ENGINEERED COMPACT FILL. TO BE DESIGNED FOR qALL GREATER THAN OR EQUAL TO 75KPA (TO BE CONFIRMED IN REPORT BY GEOTECHNICAL ENGINEER)

STRUCTURAL FRAMING SCHEDULE

LVL 1.9E BEAM (BLUESKIN WRAP & BUILD OUT AT EXTERIOR)

LVL8-2	2- 1 3/4"x7 1/4"

PRE-ENGINEERED ROOF TRUSS

T1	8" RAISED HEEL @ 24" O/C

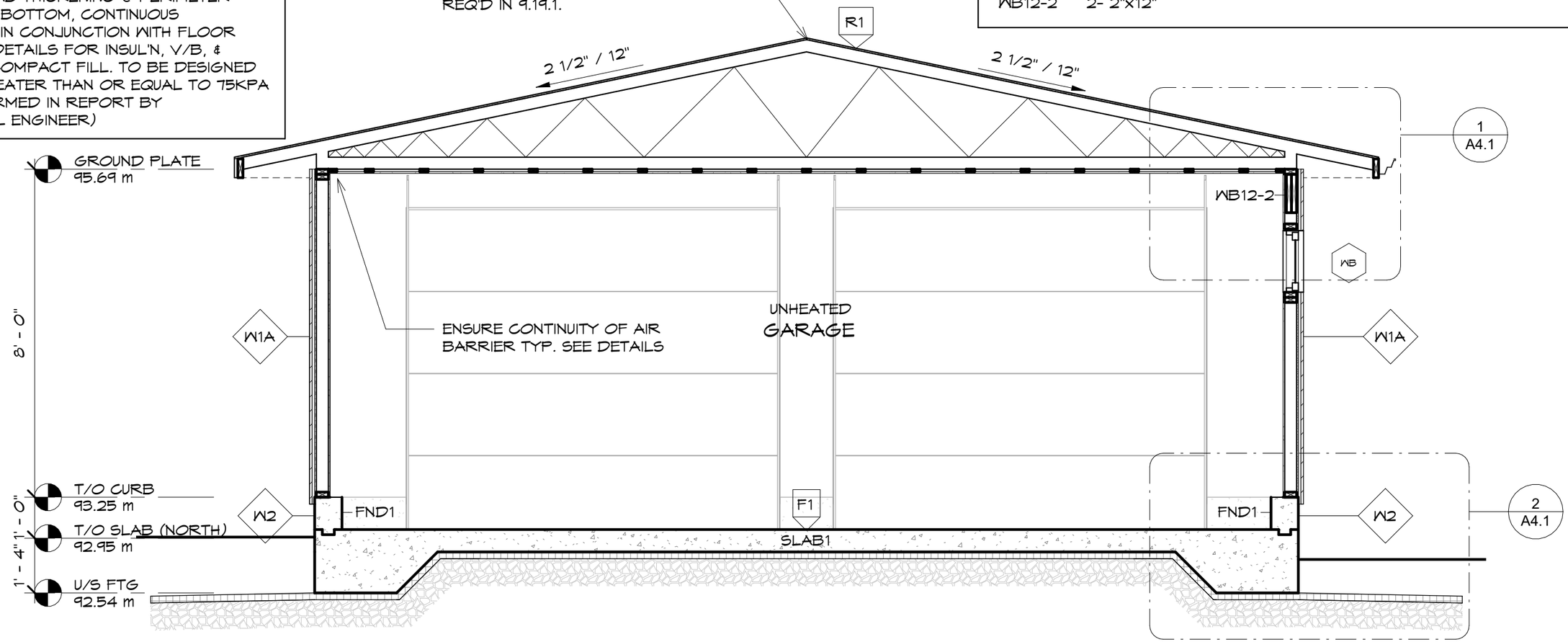
WOOD BEAM (P.T. AT EXTERIOR)

RB30	ROOF BRACKET (30"x30")
WB10-2	2- 2"x10"
WB12-2	2- 2"x12"

STRUCTURAL POST & COLUMN SCHEDULE

WOOD POST

P3	3- 2"x4"
P4	4- 2"x4"



WALL SCHEDULE

W1A/B EXTERIOR SIDING
- SIDING FINISH:
  - W1A: VINYL SIDING (MATCH DWELLING)
  - W1B: STAINED CEDAR WOOD SIDING (T&G)
- 1"x3" WOOD STRAPPING
- 'TYVEK' AIR BARRIER, TAPE ALL JOINTS
- 1/2" PLYWOOD SHEATHING
- 2"x4" WOOD STUDS @ 16" O.C.
- 1/2" GYPSUM BD., TAPE & FILL

FOUNDATION WALL SCHEDULE

W2 CURB WALL
- PARGING TO 8" BELOW GRADE
- FND1: 8" POURED CONCRETE WALL. VIEW IN CONJUCTION WITH STRUCTURAL SCHEDULE FOR REINFORCMENT

FLOOR SCHEDULE

F1 SLAB ON GRADE (GARAGE)
- SLAB1- 2% SLOPE TO DRAIN/GARAGE DOOR
- 2" RIGID INSULATION (HI-40)
- 6mil POLY VAPOUR BARRIER
- 8" GRANULAR 'A' ON ENGINEERED SUB-BASE AS PER SOILS CONSULTANT

ROOF SCHEDULE

R1 2 1/2:12 SLOPED METAL ROOF
- "POCKET RIB" METAL PROFILE ROOF BY IDEAL ROOFING OR EQ. INSTALL AS PER MANF INSTRUCTIONS
- 1/2" EXT. GRADE PLYWOOD (SPRUCE) C/W H-CLIPS
- WOOD ROOF RAFTER OR ENGINEERED WOOD TRUSS SYSTEM (SEE PLANS). REFER TO TRUSS LAYOUT BY MANUF
- 1"x3" STRAPPING @ 16" O/C
- U/S FINISH:
  - INTERIOR: 1/2" GYPSUM BD, GLUED & SCREWED
  - EXTERIOR: METAL SOFFIT (MATCH DWELLING)

SECTION

30 MAYO AVE

NOV 6 2024

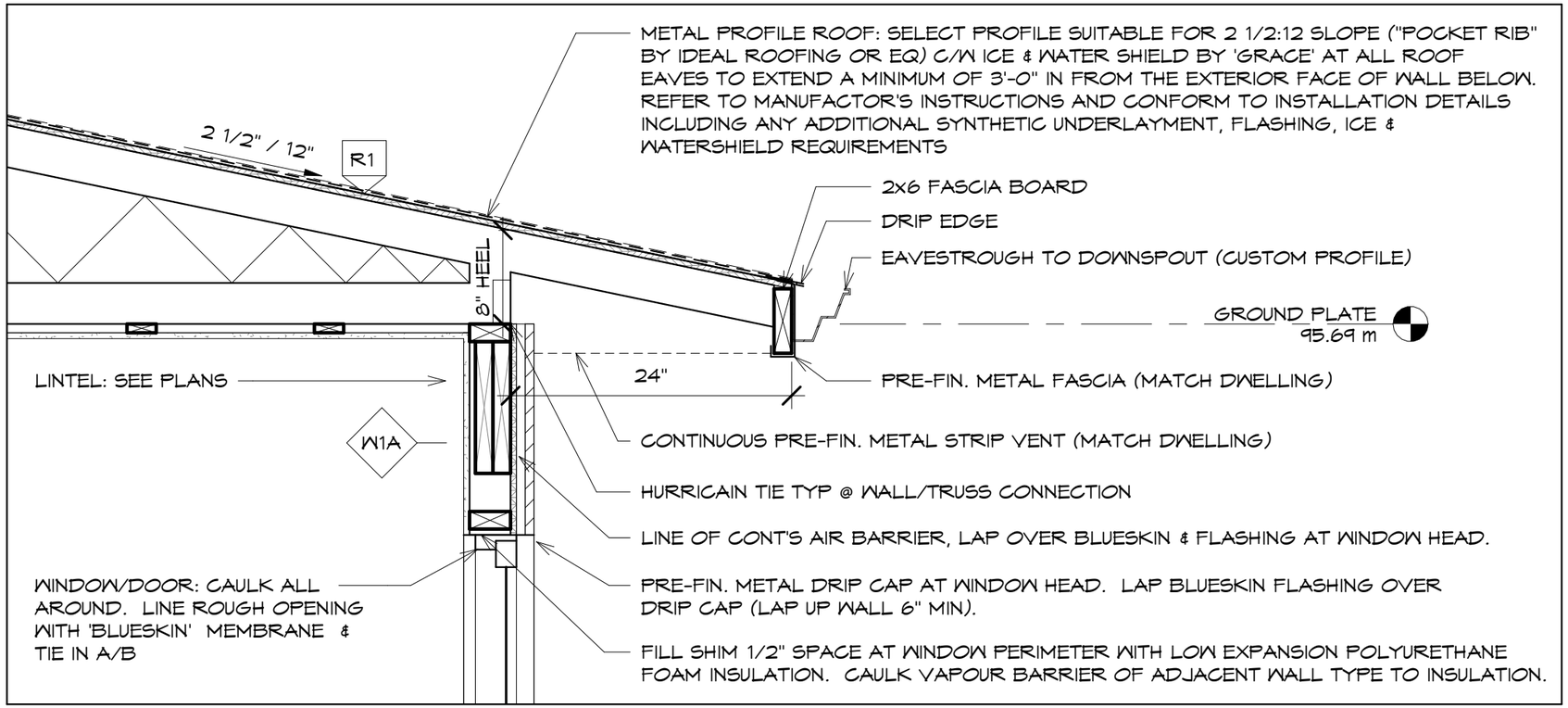
SCALE: As indicated

A3.1

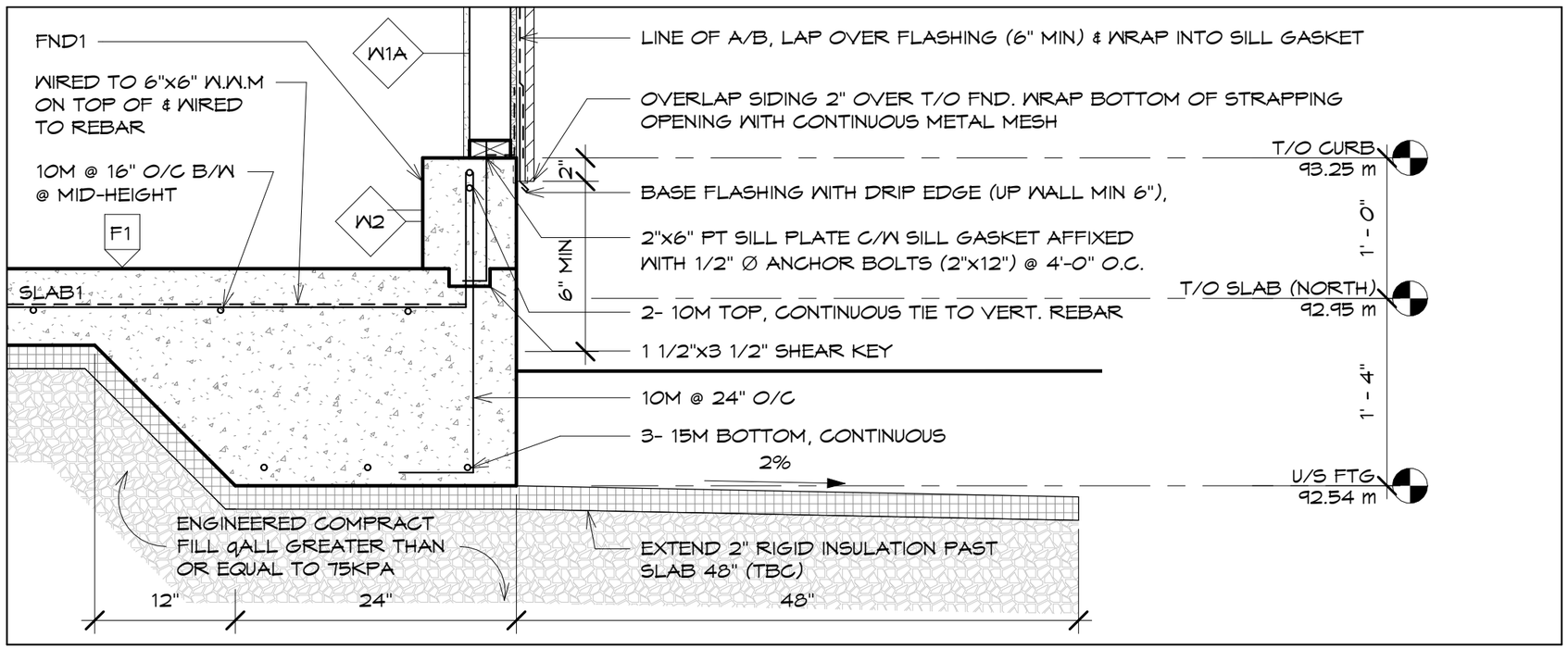
GRANT HENLEY design group

PROPOSED DETATCHED GARAGE

FOR MINOR VARIANCE



1 EAVE AND WINDOW HEADER DETAIL
1" = 1'-0"



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STRUCTURAL POST & COLUMN SCHEDULE

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WB10-2	2- 2"x10"
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DETAILS TYP

30 MAYO AVE

NOV 6 2024

SCALE: As indicated

A4.1

GRANT HENLEY design group

PROPOSED DETATCHED GARAGE
FOR MINOR VARIANCE