

1 MONUMENTS HAVE BEEN PLACED AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SURVEYED PROPERTY UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES MONUMENTS IN CLOSE PROXIMITY OF THE CORNER.

2 ALTA/ACSM LAND TITLE SURVEY OF
South Merivale Business Park
OTTAWA, ONTARIO

3 FLOOD INFORMATION
THE PROPERTY IS NOT LOCATED IN A 100-YEAR FLOOD PLAIN OR IN AN AREA SUBJECT TO A REGULATION PURSUANT TO THE CONSERVATIONS AUTHORITIES ACT (ONTARIO) DESIGNATING IT AS AN AREA SUSCEPTIBLE TO FLOODING OR WHERE FILLING IN OF LAND IS PROHIBITED OR WHERE DIVERTING OR ALTERING A STREAM OR WATERCOURSE IS PROHIBITED.

4 LAND AREA
PARCEL 1 = 30.58248 HECTARES (75.57 ACRES)

6 ZONING INFORMATION
LIGHT INDUSTRIAL SUBZONE S-118

7 BUILDING INFORMATION
NO BUILDINGS

8 SUBSTANTIAL FEATURES
NO SUBSTANTIAL FEATURES

9 PARKING STRUCTURES
REGULAR = 0 HANDICAP = 0 TOTAL = 0

11 UNDERGROUND SERVICES
SEE PLAN FOR VISIBLE HARDWARE ONLY. NO UNDERGROUND LOCATES WERE PERFORMED.

13 ADJOINING OWNERS
SEE PLAN

14 ACCESS TO THE NEAREST INTERSECTING STREET
THE PROPERTY FRONTS onto LEIKIN DRIVE, PARAGON AVENUE, BILL LEATHAM DRIVE, LONGFIELDS DRIVE AND MERIVALE ROAD

16 EARTH MOVING NOTE
THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

17 PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES
THERE IS NO OBSERVABLE EVIDENCE OF CHANGES TO EXISTING RIGHTS-OF-WAY OF PUBLIC STREETS.

18 EASEMENTS
EASEMENT IN FAVOR OF THE CITY OF OTTAWA (AS IN INSTRUMENTS N311767 & O2334579) AS ILLUSTRATED ON THE PLAN

19 PROFESSIONAL LIABILITY INSURANCE POLICY
PROVIDED IN SEPARATE DOCUMENT.

BEARING NOTE
BEARINGS ARE GRID, DERIVED FROM THE WESTERLY LIMIT OF BILL LEATHAM DRIVE SHOWN TO BE N70°02'20" W ON PLAN 4R-32287 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF MTM ZONE 9 (76°30' WEST LONGITUDE) NAD-83 (ORIGINAL).

LEGEND AND ABBREVIATIONS table with symbols for monuments, valves, holes, and other survey features.

PIN 04733 - 6891
OWNER : NATIONAL CAPITAL COMMISSION
PART 1 PLAN 4R-550

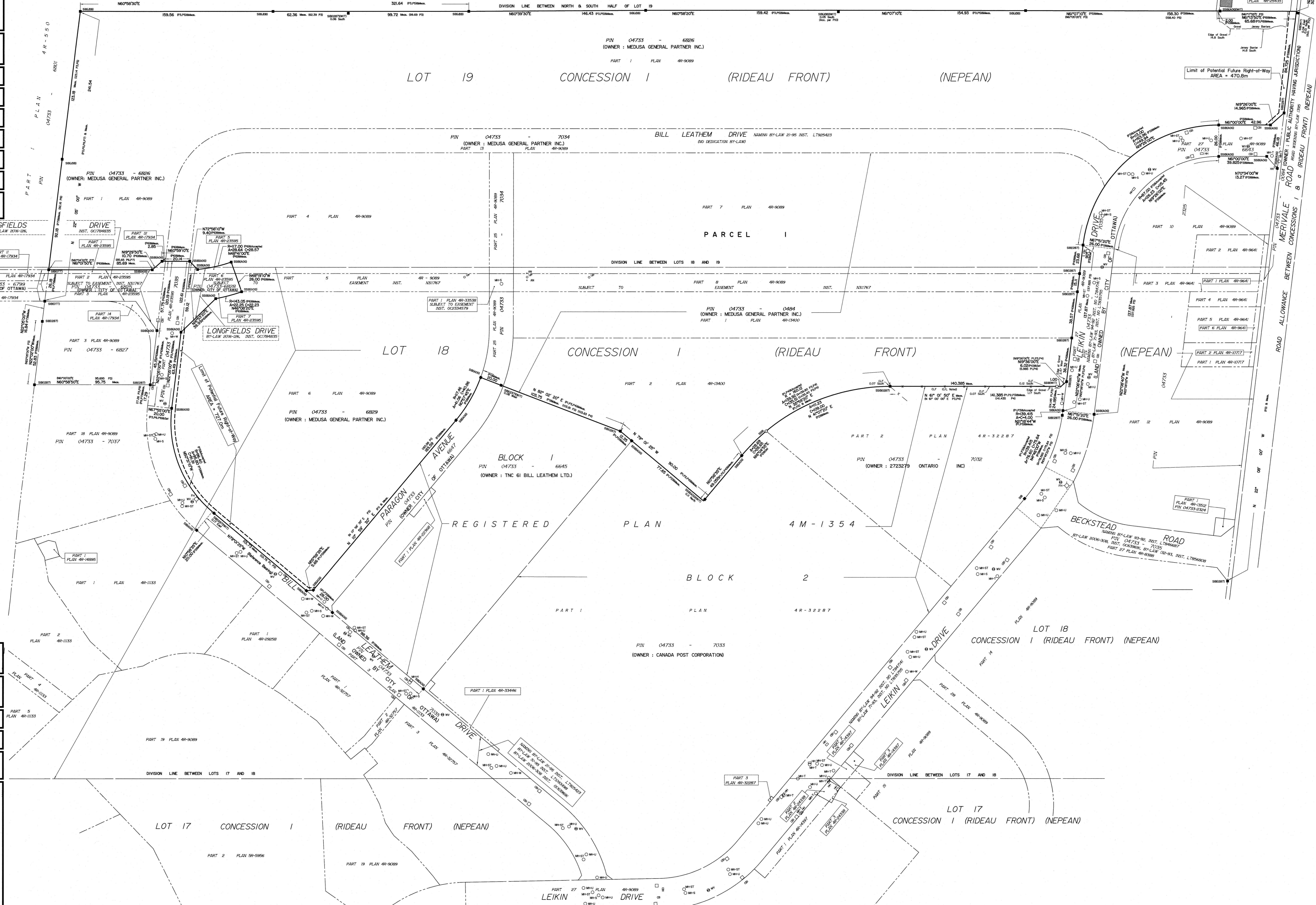
PIN 04733 - 6586
OWNER : MEDUSA GENERAL PARTNER INC.
PART 1 PLAN 4R-9089

LOT 19 CONCESSION 1 (RIDEAU FRONT) (NEPEAN)

LOT 18 CONCESSION 1 (RIDEAU FRONT) (NEPEAN)

LOT 18 CONCESSION 1 (RIDEAU FRONT) (NEPEAN)

LOT 17 CONCESSION 1 (RIDEAU FRONT) (NEPEAN)



KEY PLAN Not to Scale, NORTH ARROW & SCALE, SHEET 1 OF 1, Scale 1:1000, Metric distances shown on this plan are in metres and can be converted to feet by dividing by 0.3048.

PLAN OF SURVEY OF
PIN 04733-6826(LT),
PIN 04733-6826(LT),
PIN 04733-0484(LT) and
PIN 04733-7034(LT)
PART OF LOTS 18 and 19
CONCESSION 1 (RIDEAU FRONT)
Geographic Township of Nepean
Surveyed by Annis, O'Sullivan, Vollebek Ltd.
Survey amended to illustrate potential future Right-of-Ways on September 27, 2024
THIS SURVEY DESCRIBES AND DEPICTS THE SAME LAND AS DESCRIBED IN THE TITLE COMMITMENT AS REFERENCED ABOVE.

- SURVEYOR'S NOTES
Note 1: The subject property has access to public utilities from the public streets adjacent to the subject property.
Note 2: The subject property abuts, without gas gores or strips, and has vehicular and pedestrian ingress to and egress from Leikin Drive, Paragon Avenue, Bill Leatham Drive and Longfields Drive, which are completed, dedicated and accepted public rights of way.
Note 3: Except as shown and noted on this Survey, based on a careful physical inspection of the subject property, a zoning report or letter provided by the client, and matters of record or provided by the title company or client, there are no visible:
(i) height or bulk restrictions, setback lines, parking requirements, party walls, encroachments or overhangs of any improvements upon any easement, right-of-way or adjacent land or encroachment of the improvements located on adjacent land onto the subject property, other than as noted on the plan.
Note 4: The subject property does not appear to serve any adjoining property for utilities, drainage, structural support or ingress or egress.
Note 5: The legal description on and depiction of the subject property contained in the survey describe and depict the same property described in the legal description contained in that certain Title Commitment/Preliminary Report issued by _____ on _____ under Order No. _____ (No report provided).
Note 6: The record description of the subject property forms mathematically closed figures.
Note 7: There is no observed evidence of the site being used as a solid waste dump, pump or sanitary landfill.
Note 8: The survey reflects the location of wetlands on the subject property based on the wetland delineation provided by the client. (No report provided).

Committee of Adjustment
Received | Reçu le
2024-11-08
City of Ottawa / Ville d'Ottawa
Comité de dérogation

SURVEYOR'S CERTIFICATE
ALTA/ACSM Land Title Survey
Surveyor's Certification
To: Medusa Limited Partnership & Medusa Colvest Limited Partnership
18785 Rt TransCanada, Suite 500
Kirkland, Québec H9H 4M7
This is to certify that this map or plan and the survey on which it is based were made in accordance with the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 8, 9, 11, 13, 14, 16, 17 and 18 of Table A thereof. This field work was completed on August 9th, 2024.
Registered Surveyor V Andrew Sheip
Ontario Land Surveyor No: 1719
In the Province of Ontario
Date of Survey: August 9th, 2024
AOV Reference: 24149-24
Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Survey Act and the Regulations and the regulations made under them.
2. This survey was completed on the 9th day of August, 2024.
August 9, 2024
Date
Annis, O'Sullivan, Vollebek Ltd.
1400 Carleton Place, Suite 200
Burlington, ON J7L 7G8
Phone: (905) 332-0800 Fax: (905) 332-0579
ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
V-64283
THIS SURVEY WILL BE MADE A PART OF THE PUBLIC RECORD AND WILL BE AVAILABLE TO THE PUBLIC BY ACCESSION NO. _____

Committee of Adjustment
 Received / Réçu le
 2024-11-08
 City of Ottawa / Ville d'Ottawa
 Comité de dérogation



PROJECT X
OTTAWA, ON
FOLIO: 24065



ARCHITECT
GKCC
 ARCHITECTURE & DESIGN
 MONTREAL - TORONTO
 280 rue Gary Carter, Montreal, QC, H2R 2W2 T314 737-8255 WWW.GKCC.CA

FIRE PROTECTION / CODE CONSULTANT
CIVELEC
 CONSULTANTS INC.
 PROTECTION INCENDIE - CONSULTANTS EN CODE
 FIRE PROTECTION - CODE CONSULTANTS

T: 514 337-2600 • F: 514 337-8810 • csi@civelec.com
 3000, Côte-Verly, Suite 200 - St-Laurent (Québec) H4R 1Y4

MECHANICAL / ELECTRICAL / PLUMBING ENGINEER
hj HAMMERSCHLAG & JOFFE

CIVIL ENGINEER AND LANDSCAPING
NOVATECH
 Engineers, Planners & Landscape Architects
 Suite 200, 240 Michael Cowpland Drive
 Ottawa, Ontario, Canada K2M 1P6
 Telephone (613) 254-9643
 Facsimile (613) 254-5867
 Website www.novatech-eng.com

TELECOM / ELECTRONIC SECURITY
HARGIS

STRUCTURAL ENGINEER
rjc Creative Thinking
 Practical Results
 Read Jones Christoffersen Ltd.
 Engineers
 rjc.ca
 645 Tye Road, Suite 220
 Victoria, BC V9A 6K5 Canada
 tel: 250-386-7734

ISSUED FOR SPA

OCTOBER 30, 2024

DESIGN BRIEF INTENT

Project X involves a proposed light industrial building facility on an irregularly shaped lot. The municipal addresses include 99 Bill Leatham, 2 Leikin Drive, and 20 Leikin Drive, with access points on Paragon Avenue and Longfields Drive.

The facility's ground-level building footprint spans 60,701.92 sq.m. (653,390 sq.ft.) with additional servicing platforms and mezzanines covering 4,049.67 sq.m (43,590 sq.ft.). It stands five stories tall, with an overall floor area totaling 290,999.58 sq.m. (3,132,293 sq.ft.). Levels 2 through 5 are allocated for operational facilities, while the ground floor houses 1,553.3 sq.m. (16,719 sq.ft.) of associate offices, extending outward from the main structure to maximize daylight and create a welcoming, human-scale entry.

The facility includes 59 loading docks for non-refrigerated trailers and a fenced truck yard accommodating 482 trailers, for a combined capacity of 541. Parking provisions offer 980 car stalls for associates, with space reserved for 205 future stalls, bringing the total to 1,185 spaces, which includes 32 accessible spaces, 8 motorcycle spots, and 24 electric vehicle stalls. To reduce heat island effects, landscaping surrounds are integrated in the parking areas, producing natural tree shading. Additionally, 291 bike racks are provided to promote active transportation, and dedicated access for cyclists connects Leikin Drive and Paragon Avenue to the facility's main entrance.

Dry stormwater ponds are integrated with the landscaping, creating natural views. Along the office's primary facade, ample landscaping lines pedestrian walkways to enhance the walking experience. At the rear of the truck yard, additional planting screens the space from adjacent properties, and dense planting along the associate parking area softens its visual impact for passing pedestrians and vehicles. Landscaped bands break up the parking area, featuring walkways leading safely from vehicles to building entrances.

The building rises 29.5 meters, measured from the high point rooftop membrane to the average ground level.

Passenger and pedestrian access is routed through a traffic circle on Bill Leatham Drive, Paragon Avenue, and Longfields Drive. To ensure safety, raised crosswalks link parking areas to landscaped sidewalks, maintaining separation from truck routes.

For efficiency, the building layout prioritizes an unobstructed rectangular floor plan, with operational services, breakrooms, and utilities positioned around the perimeter. Stairways for emergency evacuation are evenly distributed along the building's edges.

To visually reduce its scale, the building's facade incorporates vertical projections for stairwells and elevators. High-quality materials, including prefabricated concrete panels on the lower exterior for durability and security, and insulated metal panels above for a light, elegant finish, are used throughout. Both materials are factory-produced, minimizing thermal bridging and expediting installation.

The ground-level associate offices feature extensive glazing for daylight and inviting views at a pedestrian scale. Due to internal operational requirements window are not permitted on the upper floors. Feature walls and arches at the building's corners add depth and visual interest, with large ground-floor windows maximizing natural light into offices and breakrooms.

Colorful, warm-toned canopies at entrances facilitate wayfinding. Sand and light gray hues, combined with zinc gray vertical accents, provide a modern aesthetic that lightens the building's mass while creating a welcoming presence.

The building incorporates sustainable design elements aimed at achieving LEED-equivalent performance, including a reflective roof, energy-efficient HVAC with energy recovery, low-flow fixtures, shaded parking, and drought-resistant landscaping. Additionally, it's designed as "solar ready," with provisions for net metering, increased roof loading, and cable pathways for future solar installations.

The entrance to the building and the office areas within the building are oriented south to benefit from ample natural light, especially during the summer months. This reduces the need for artificial lighting during peak hours and contributes to energy efficiency. The facades that receive less solar gain are not glazed, which minimizes heat loss.

The outdoor area near the building entry is also on the south side of the building to gain maximum sunlight. Prevailing winds in Ottawa are typically from the northwest in winter and the southwest in summer. The outdoor area is shielded from cold northwest winds by the building, creating a more sheltered microclimate that enhances usability during colder months. In summer, the area is open to cooling southwest winds.

Due to the unusual shape of the large site, areas of it will either be parkland, left undeveloped or used for stormwater management. This increases the overall permeability of the site and reduces the urban heat island effect.

PLAN TO BE PRINTED IN COLOUR
OR VIEWED IN COLOUR.
BECAUSE OF THE DIFFERENT SHADE TONALITY ON THE PLANS,
WHEN VIEWING, THE PLANS MUST BE EITHER VIEWED ON PDF
ELECTRONIC FORMAT TO SEE THE DIFFERENT COLOURS OR IF
PRINTED ON PAPER COPIES MUST BE PRINTED IN COLOUR.

| No. | Date | Revision | By |
|-----|------------|----------------|----|
| 0 | 2024-10-30 | ISSUED FOR SPA | NC |

PROJECT X
99 Bill Leatham, 2 & 20 Leikin Drive
OTTAWA ON



Copyright GKC Architects. Not to be used for any other project without the written consent of GKC Architects. All drawings and content must be verified on site. Do not scale drawings. Any discrepancies or omissions in the drawings shall be reported to the architect immediately in writing. All work is subject to most recent applicable norms, laws and codes for all given trades. [Download the most current version of the drawings.](#)

ARCHITECTURE

DESIGN BRIEF INTENT

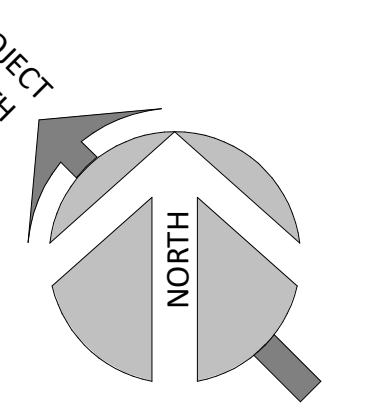
DRAWN BY: VR CHECKED BY: NC

SCALE:

NO: 24065 **PO01** RO

CODE:

LOCATION & PHOTOGRAPHY OF EXISTING SITE



PLAN TO BE PRINTED IN COLOUR
OR VIEWED IN COLOUR.

BECAUSE OF THE DIFFERENT SHADE TONALITY ON THE PLANS,
WHEN VIEWING, THE PLANS MUST BE EITHER VIEWED ON PDF
ELECTRONIC FORMAT TO SEE THE DIFFERENT COLOURS OR IF
PRINTED ON PAPER COPIES MUST BE PRINTED IN COLOUR.

| No. | Date | Revision | By |
|-----|------------|----------------|----|
| 0 | 2024-10-30 | ISSUED FOR SPA | NC |

PROJECT X
99 Bill Leatham, 2 & 20 Leikin Drive
OTTAWA ON

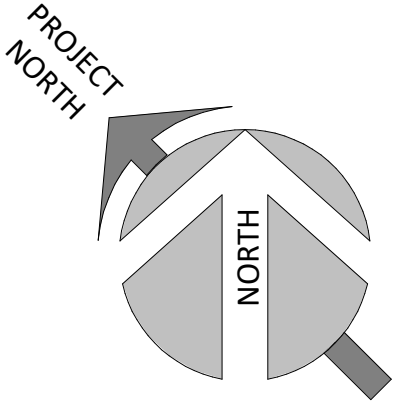


Copyright GKC Architects. Not to be used for any other project without the written consent of GKC Architects. All dimensions and quantities shall be verified on site. Do not scale drawings. Any discrepancies or omissions in the drawings shall be reported to the architect immediately in writing. All work to conform to most recent applicable norms, bylaws and codes for all given trades.

ARCHITECTURE
LOCATION & PHOTOGRAPHY
OF EXISTING SITE

DRAWN BY: VR CHECKED BY: NC
SCALE: 1" = 200'-0"
FOUR: 24065 **P002** RO

MASSING OF BUILDING AND INSERTION



EXISTING VIEW



VIEW WITH PROJECT



MASSING NORTH VIEW



VIEW

PLAN TO BE PRINTED IN COLOUR
OR VIEWED IN COLOUR.
BECAUSE OF THE DIFFERENT SHADE TONALITY ON THE PLANS,
WHEN VIEWING, THE PLANS MUST BE EITHER VIEWED ON PDF
ELECTRONIC FORMAT TO SEE THE DIFFERENT COLOURS OR IF
PRINTED ON PAPER COPIES MUST BE PRINTED IN COLOUR.

NOT TO BE USED
FOR CONSTRUCTION

| No. | Date | Issued For | Revision | By |
|-----|------------|----------------|----------|----|
| 0 | 2024-10-30 | ISSUED FOR SPA | | NC |

PROJECT X
99 Bill Leatham, 2 & 20 Leikin Drive
OTTAWA ON



Copyright GKC Architects. Not to be used for any other project without the written consent of GKC Architects. All dimensions and quantities shall be verified on site. Do not scale drawings. Any discrepancies or omissions in the drawings shall be reported to the architect immediately in writing. We shall be content to meet recent applicable norms, habits and codes for all given trades.

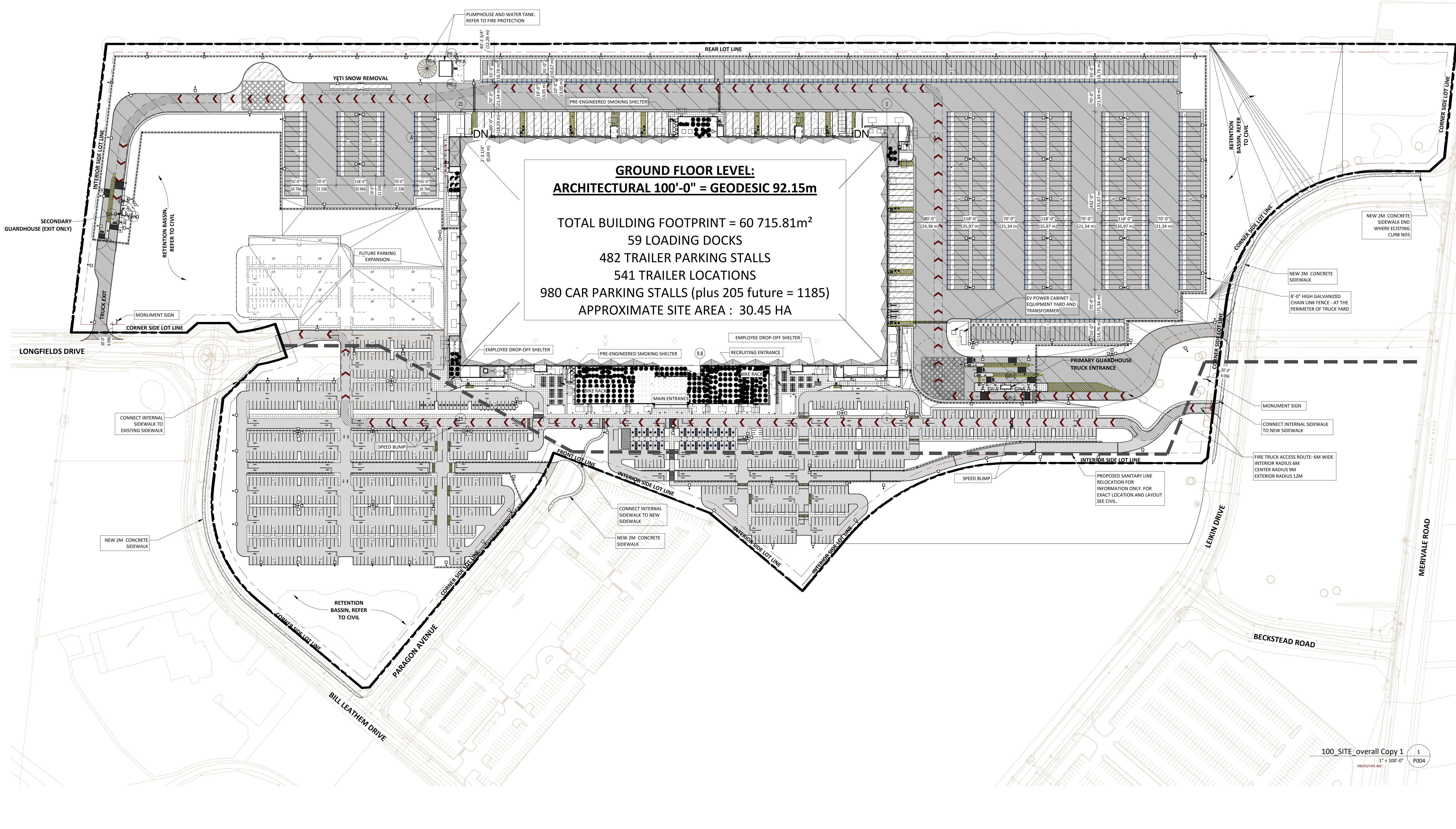
ARCHITECTURE
MASSING OF BUILDING AND
INSERTION

DRAWN BY: VR CHECKED BY: NC
SCALE: 1" = 200'-0"
PLOT: 24065 P003 RO

SITE PLAN (OVERALL) + STATISTICS

| PARKING TOTAL | | ASSOCIATE PARKING | | FUTURE PARKING | | BICYCLE PARKING | | TRAILER PARKING | | OVERHEAD DOORS | |
|--------------------|------------------|--------------------|------------------|------------------|------------------|-----------------|------------------|----------------------------------|------------------|-------------------|----------|
| Parking Type | Number of Stalls | Parking Type | Number of Stalls | Parking Type | Number of Stalls | Parking Type | Number of Stalls | Parking Type | Number of Stalls | OVERHEAD DOORS | PROVIDED |
| BICYCLE - 2'x6' | 291 | EV - 9'x20' | 24 | Regular - 9'x20' | 205 | BICYCLE - 2'x6' | 291 | TRAILER 12'x55' | 204 | AUGER - 9'x16'-4" | 2 |
| EV - 9'x20' | 24 | HANDICAP 14'x20' | 32 | TOTAL | 205 | TRAILER 12'x57' | 278 | COMPACTOR 9'x19' | 1 | DOCK DOOR 9'x10' | 59 |
| HANDICAP 14'x20' | 32 | Motorcycle - 5'x7' | 8 | TOTAL | 482 | DRIVER 14'x15' | 2 | Narrow Site Insulated Swing Door | 1 | | |
| Motorcycle - 5'x7' | 8 | Regular - 9'x20' | 916 | | | | | | | | |
| TRAILER 12'x55' | 204 | TOTAL | 980 | | | | | | | | |
| TRAILER 12'x57' | 278 | | | | | | | | | | |
| TOTAL 589 | 1,353 | | | | | | | | | | |

NOT INCLUDING FUTURE PARKING



LEGEND SITE SYMBOLS

CIVIL (C) / LANDSCAPE (L)

- C-CC CONCRETE CURB, SEE CIVIL
- C-ASP ASPHALT PAVING, SEE CIVIL
- C-CS CONCRETE SLAB (DOLLY PAD), SEE CIVIL
- C-SDW SIDEWALK TYPE 1525 mm WIDE, EXPANSION JOINT @ 1525 mm c.c., SEE SPECIFICATIONS / CIVIL PLAN
- C-RMP RAMP REFER TO CIVIL PLAN
- C-CRP CONCRETE RAISED PEDESTRIAN WITH DETECTABLE TACTILE WALKING SURFACE, SEE CIVIL
- C-TI TACTILE INDICATOR SURFACE, REFER TO CIVIL DRAWINGS, SEE SPECIFICATIONS 13.2
- L-G GRASS AND OTHER LANDSCAPING, SEE LANDSCAPE
- L-FS 1.524 mm H. PEDESTRIAN FENCE, TYPICAL AT VISITOR PARKING, SEE LANDSCAPE
- L-BCH BENCH, SEE LANDSCAPE
- L-BR BIKE RACK, SEE LANDSCAPE

ELECTRICAL (E)

- E-HL HEAD LAMP 11.2 m POLE, SEE ELECTRICAL
- E-PL PEDESTRIAN LIGHT 2.4 m POLE, SEE ELECTRICAL
- E-T TRANSFORMER, SEE ELECTRICAL
- E-G GENERATOR, SEE ELECTRICAL

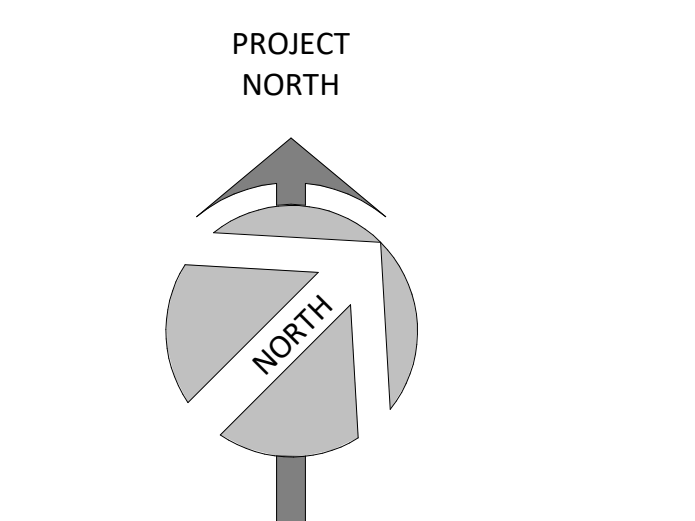
FIRE PROTECTION (FP)

- FP-FH FIRE HYDRANT, SEE FIRE PROTECTION PLAN
- FP-UP UPRIGHT POST INDICATOR, SEE FIRE PROTECTION PLAN
- FP-SY SIAMSESE CONNECTION

ARCHITECTURE (A)

- FB 2.438 mm H. GALVANIZED FENCE, TYPICAL AT TRUCK COURT AND SECURED GENERATOR, SEE DETAIL
- FLAG SEE DETAIL
- MS-X SEE LANDSCAPE AND ELECTRICAL DWGS
- BS-X SEE ELEVATIONS AND DETAIL
- BA-610 NUMBER BUILDING ADDRESS 630 mm TALL "BLACK" POWDER COATED ALUMINUM - ANIAL FONT, SEE ELEVATION
- BA-914 NUMBER BUILDING ADDRESS 914 mm TALL "BLACK" POWDER COATED ALUMINUM - ANIAL FONT, SEE ELEVATION

FIRE ROUTE



SURVEY:
ALL THE INFORMATION RELATED TO THE SITE ARE ON THE PLAN PREPARED BY:
ANNIS, O'SULLIVAN, VOLLEBERG LTD
DRAWING: Surveyor's Certificate
FOLI: MONTREAL
NOY: 24746-24
DATE: August 9, 2024

LOCATION:
THE BUILDING IS PARALLEL TO THE SOUTHERN PROPERTY LINE. GOVERNING DIMENSIONS ARE FROM PROPERTY LINE TO STRUCTURAL GRIDLINE.

PUBLIC UTILITY SERVICES:
ALL POINTS OF CONNECTION SHOWN ARE CONCEPTUAL AND MAY BE MODIFIED ACCORDING TO THE NEEDS AND REQUIREMENTS OF THE PUBLIC AUTHORITIES CONCERNED. (SEWERS, AQUEDUCT, DISTRIBUTION OF NATURAL GAS AND ELECTRICITY, TELEPHONE SERVICE AND CABLE DISTRIBUTION). COORDINATION: ANY MODIFICATION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE ARCHITECT FOR EXAMINATION AND COORDINATION BEFORE EXECUTION.

DIMENSIONS:
ALL BUILDING DIMENSIONS ARE TAKEN FROM THE EXTERIOR FACE OF THE WALLS AT 1'-0" ABOVE THE GROUND FLOOR.

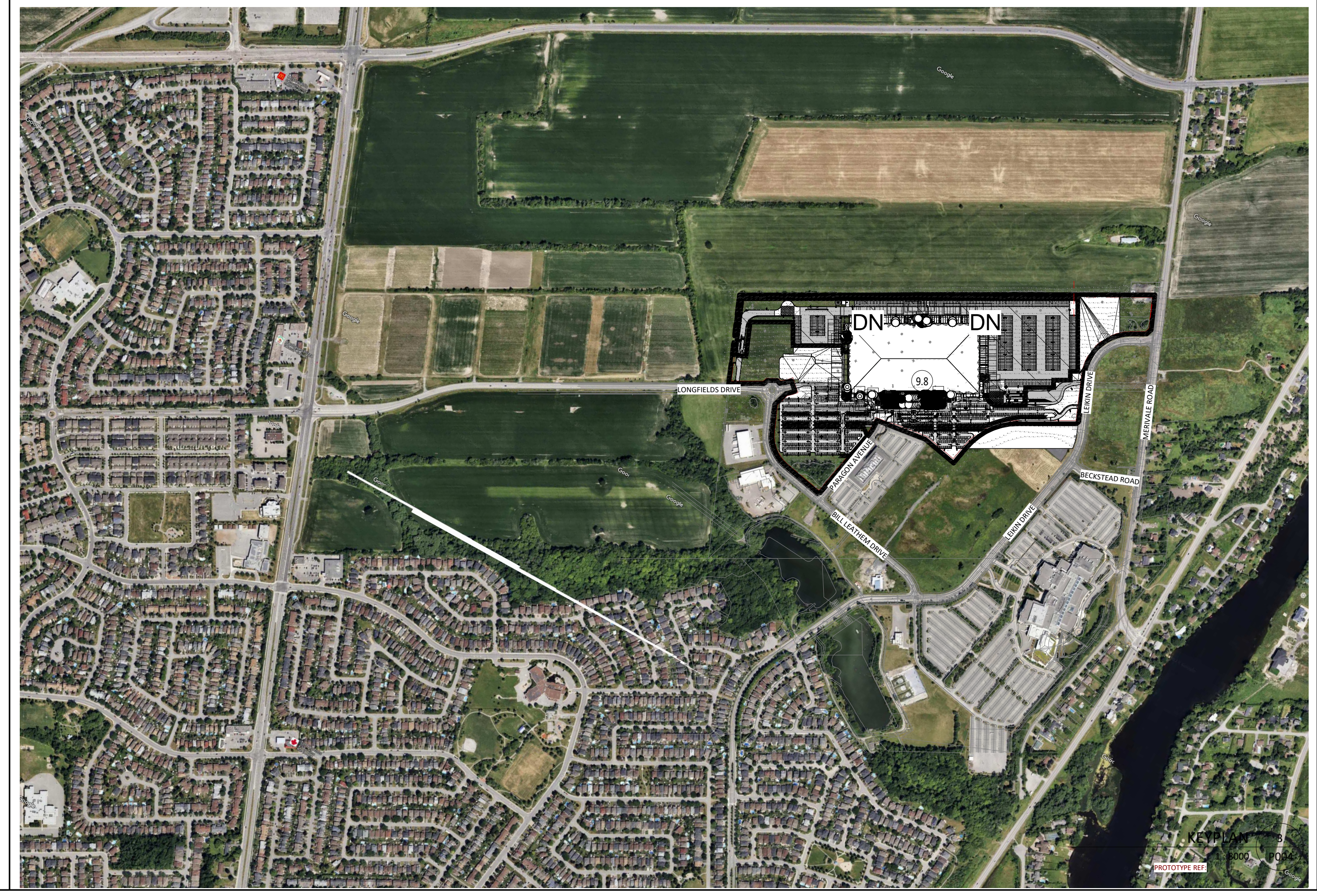
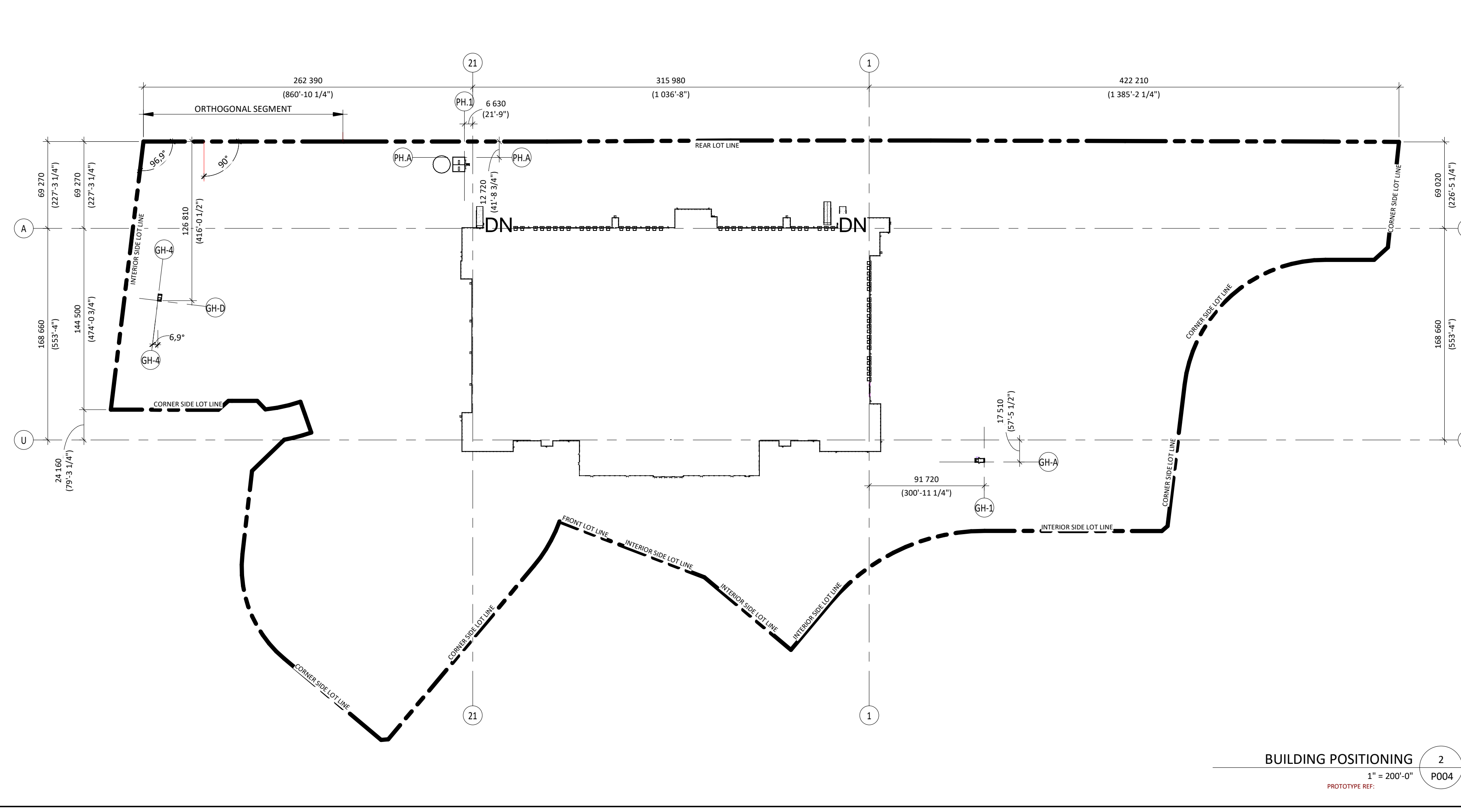
FIRE PROTECTION:
ALL FLOOR AREAS OF THIS BUILDING WILL BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING CODE AND INSURANCE REQUIREMENTS.

CIVIL:
CONSULT CIVIL ENGINEER'S DRAWINGS FOR: SITE LEVELS, DRAINAGE SLOPES, RETENTION BASINS, MANHOLES, CATCH BASINS, AND ALL UNDERGROUND SERVICES.

SOIL REPORT:
SOIL TESTING, CORE SAMPLING AND CARRYING CAPACITY. CONSULT THE SOIL REPORT PREPARED BY: REPORT NO. XX
DATE: XX

PLAN TO BE PRINTED IN COLOUR OR VIEWED IN COLOUR.
BECAUSE OF THE DIFFERENT SHADE TONALITY ON THE PLAN, WHEN VIEWING, THE PLANS MUST BE EITHER VIEWED ON PDF ELECTRONIC FORMAT TO SEE THE DIFFERENT COLOURS OR IF PRINTED ON PAPER COPIES MUST BE PRINTED IN COLOUR.

NOT TO BE USED FOR CONSTRUCTION



ZONING PROVISIONS: LIGHT INDUSTRIAL ZONE IL9 (2707)

PROJECT DESCRIPTION

PROJECT: PROJECT X
 ADDRESS: 99 Bill Leatham, 2 & 20 Leikin Drive
 DEVELOPER: BRIDGESIDE REAL ESTATE GROUP
 APPLICANT: NOVATECH ENGINEERING CONSULTANTS, 240 MICHAEL COPELAND DR, KANATA, ON K2M3P6
 PROPERTY IDENTIFICATION: (180)

| ZONED IL9 LIGHT INDUSTRIAL | IL9 (2707) | |
|--|--|--|
| | REQUIRED | PROVIDED |
| MINIMUM LOT AREA (m ²) | 3 000 m ² | 304 533 m ² |
| MINIMUM LOT WIDTH (m) | 50 m | 366.18 m |
| MAXIMUM LOT COVERAGE (%) | 60% | 30% |
| FRONT YARD SETBACK (m) (SOUTH Paragon Avenue) | 6 m | 32.72m VAR. |
| REAR YARD SETBACK (m) NORTH | 6 m | 48.32m VAR. |
| CORNER SIDE YARD SETBACK (m) EST, SOUTH, WEST | 6 m | 57.74m VAR. |
| INTERIOR SIDE YARD SETBACK (m) SOUTH, WEST | 7.5 m | 42.35m VAR. |
| MAXIMUM BUILDING HEIGHT (Top of membrane) | 22 m | 29.5 m |
| MINIMUM WIDTH OF LANDSCAPED AREA, ABUTTING A STREET 3M, IN ALL OTHER CASES, NO MINIMUM | ABUTTING A STREET 3M, IN ALL OTHER CASES, NO MINIMUM | Variable minimum 3m provided refer to landscaping plan |
| MAXIMUM FLOOR SPACE INDEX (Floor area / Gross area) | 2 | 0.96 |

PARKING AND LOADING (SEC. 100-114)

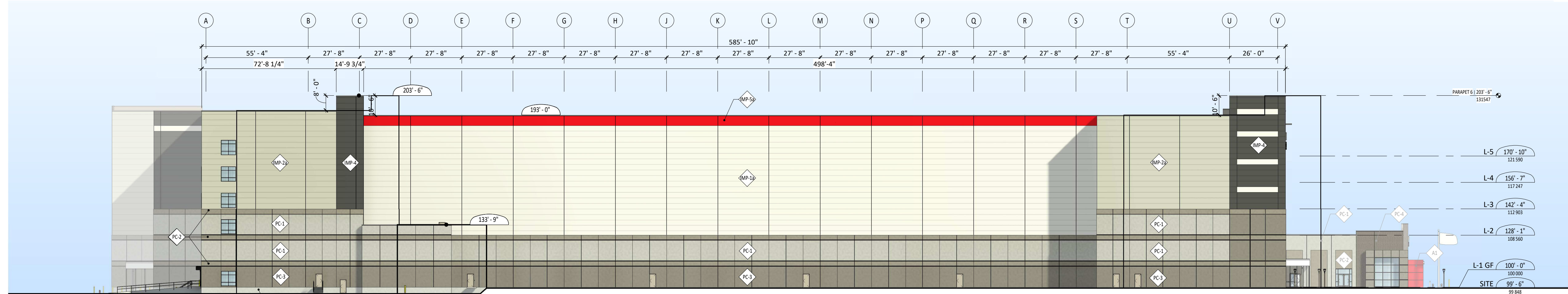
| PERFORMANCE STANDARDS | PARKING RATE | AREA | REQUIRED | PROVIDED |
|---|--|--|--|-------------------------|
| MINIMUM PARKING SPACE RATES (LIGHT INDUSTRIAL) | First 5000m ² 0.8 / 100 m ² above 5000m ² 0.4 / 100 m ² | 5 000 m ² 285 228 m ² | 40 1 145 | 1 185 2764 ± 50 |
| MINIMUM ACCESSIBLE PARKING SPACE RATES (Per Accessibility for Ontarians with Disabilities Act, 2005 (AODA)) | 500 AND OVER | | 5 TYPE A - 7mm x 2.3m 5 TYPE B - 3mm x 2.3m | 32 TYPE B 4mm x 2.3m |
| MINIMUM BICYCLE PARKING SPACE RATES (LIGHT INDUSTRIAL) | 1 / 1000 m ² | 291 282 m ² | 291 | 291 |
| MINIMUM LOADING SPACE RATES (LIGHT INDUSTRIAL) | | | 2 | 59 |

PROJECT X
99 Bill Leatham, 2 & 20 Leikin Drive
OTTAWA ON

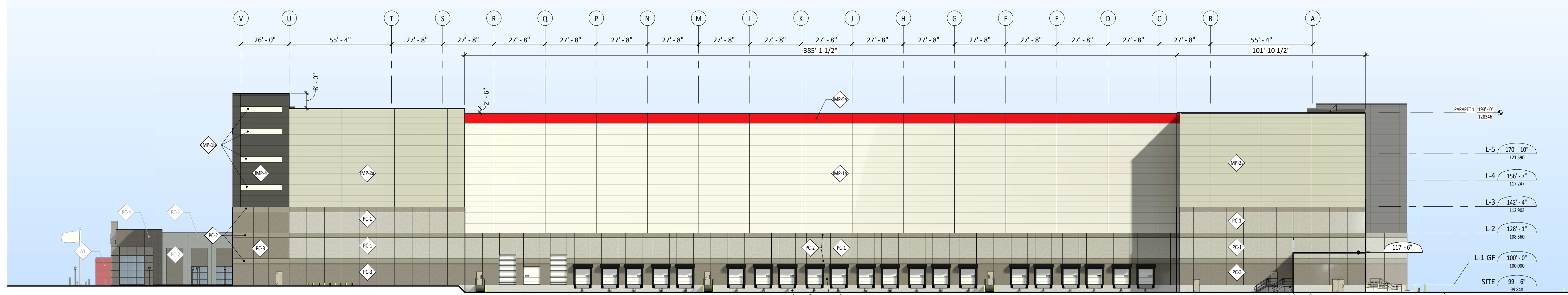
ARCHITECTURE
SITE PLAN (OVERALL) + STATISTICS

DRAWN BY: VR CHECKED BY: NC
SCALE: As indicated
FOLI: 24065 P004 RO

EXTERIOR ELEVATIONS



P401-WEST ELEVATION (SIDE) 5
PROPORTION: 1/32" = 1'-0" P005



P401-EAST ELEVATION (SIDE) 4
PROPORTION: 1/32" = 1'-0" P005

FINISHES LEGEND - EXTERIOR ELEVATIONS

ALUMINUM PANEL
ALUMINUM PANEL
PAINT COLOR: RED "TO BE FINALIZED"

FOUNDATION
EXPOSED CONCRETE FOUNDATION WALL

PRECAST CONCRETE PANEL
SMOOTH PRECAST CONCRETE PANEL WITH TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW 7046 FIRST STAR, Z56-C5
SMOOTH PRECAST CONCRETE PANEL WITH TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW 7036 MINDFUL GRAY, Z44-C2
SMOOTH PRECAST CONCRETE PANEL WITH TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW 7017 DORIAN GRAY, Z44-C3
TEXTURED PRECAST CONCRETE PANEL CONCRETE WALL PANELS WITH 1/2" WIDE FLANK, RANDOM DEPTH PATTERN, FITZGERALD FORMLERS, PATTERN #16023 WWW.FORMLERS.COM 1.800.547.7760 FINISHED WITH TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW 7018 DOVE TAIL, Z44-C5
SMOOTH PRECAST CONCRETE PANEL WITH TEXTURED ACRYLIC COATING SHERWIN WILLIAMS MATCH COLOR SW 9174 MOTH WING, Z49-C4 - GUARD HOUSE ONLY

INSULATED METAL PANEL
KINGSFAN MINI MICRO-RIB (IMP TYPE A)
EXTERIOR: FLUOROPOLYMER - ASCOT WHITE
INTERIOR: IMPERIAL WHITE
KINGSFAN DESIGNWALL 2000 FLAT (IMP TYPE B)
EXTERIOR: FLUOROPOLYMER - CHERRYWOOD
INTERIOR: IMPERIAL WHITE
KINGSFAN MINI MICRO-RIB (IMP TYPE A)
EXTERIOR: FLUOROPOLYMER - DUNE GRAY
INTERIOR: IMPERIAL WHITE
KINGSFAN DESIGNWALL 2000 RIBBED EXTERIOR (IMP TYPE C)
EXTERIOR: FLUOROPOLYMER - DUNE GRAY
INTERIOR: IMPERIAL WHITE
KINGSFAN MINI MICRO-RIB (IMP TYPE A)
EXTERIOR: MATCH PPK TENANT RED "TO BE FINALIZED"
INTERIOR: IMPERIAL WHITE
KINGSFAN DESIGNWALL 2000 FLAT (IMP TYPE B)
EXTERIOR: MATCH PPK TENANT RED "TO BE FINALIZED"
INTERIOR: IMPERIAL WHITE

CURTAIN WALL
NOTE: ALL CAPS ARE STANDARD 3/4", COLOUR DARK BRONZE, UNLESS OTHERWISE NOTED
SILICONE JOINT: SEE SPECIFICATIONS
ALUMINUM CAP: SEE SPECIFICATIONS
GLAZING: SEE DETAIL AND SPECIFICATIONS
CURTAINWALL TAG: REFER TO A40 FOR CURTAINWALL ELEVATION
T = TEMPERED GLASS
TY = TYPHANY
THT = THERMAL UNIT WITH TEMPERED GLASS
TY = THERMAL UNIT WITH TEMPERED GLASS
SSI = STRUCTURAL SILICONE JOINT
GLASS TYPE 1
CLEAR VISION
GLASS TYPE 1A
TYPHANY
SEE SPEC.

PREFINISHED METAL FLASHING
MC1 COLOR: PAC-CLAD 'SLATE GRAY' (FOR MAIN BUILDING AND PUMP HOUSE)
MC2 COLOR: PAC-CLAD 'GRANITE' (FOR GUARD HOUSE ONLY)

NOTES:
1. FOR MAIN BUILDING AND PUMP HOUSE, ALL PREFINISHED METAL COPING IS TO BE COLOR MC1
2. FOR GUARD HOUSE, ALL PREFINISHED METAL COPING IS TO BE COLOR MC2
3. PROVIDE ALUMINUM FLASHING AT CURTAINWALL AND ALUMINUM PANEL FINISH SAME COLOUR TO MATCH

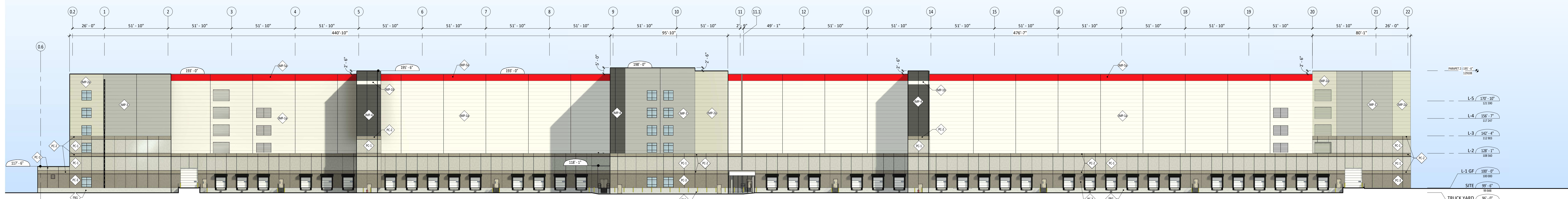
SIGNAGE ALSO REFER TO SERIES 770
BS-X INTERNALLY ILLUMINATED BUILDING SIGN SEE ELEVATIONS AND DETAIL SEE ELECTRICAL DWGS
BA-24 NUMBER BUILDING ADDRESS 24" TALL "BLACK" POWDER COATED ALUMINUM
BA-36 NUMBER BUILDING ADDRESS 36" TALL "BLACK" POWDER COATED ALUMINUM

| MAIN BUILDING ELEMENTS | COLOR |
|--|---------------------------|
| METAL COPING | PAC-CLAD 'SLATE GRAY' |
| METAL DOWNSPOUT AND CONDUCTOR HEADS | PAC-CLAD 'SLATE GRAY' |
| THRU - WALL SCUPPERS | PAC-CLAD 'SLATE GRAY' |
| HOLLOW METAL DOORS AND FRAMES | MATCH PC-2 (MINDFUL GRAY) |
| DRIVE IN DOOR, DOCK DOORS AND ROLL-UP DOORS | WHITE |
| EXTERIOR METAL RAILINGS, STAIRS AND LANDINGS | GALVANIZED - NO PAINT |
| PRE-FABRICATED SMOKER'S CANOPY | MIST WHITE - 4 CRT-30 |
| ENTRY AND RECRUITING COMPOSITE METAL CANOPY | RED "TO BE FINALIZED" |
| STOREFRONT & CURTAIN WALL | DARK BRONZE |
| LIGHT POLE BASES OUTSIDE CURBED ISLANDS | SAFETY YELLOW |
| LIGHT POLE BASES INSIDE CURBED ISLANDS | MATCH PC-2 (MINDFUL GRAY) |
| EXTERIOR METAL LOUVERS | MATCH ADJACENT WALL |

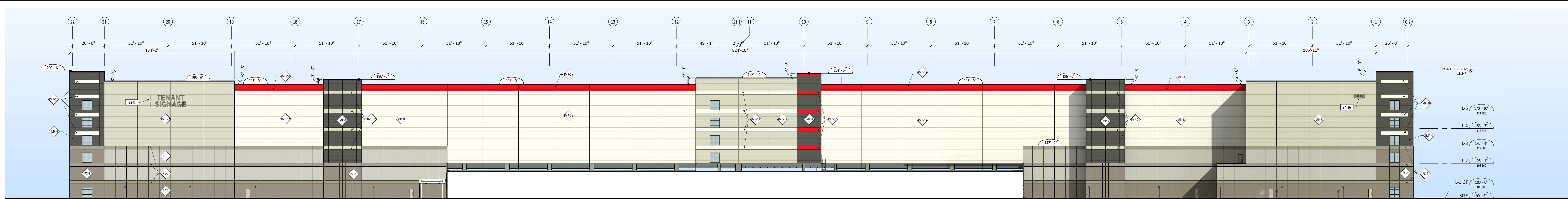
| GUARD HOUSE ELEMENTS | COLOR |
|-------------------------------------|---------------------------|
| PRE-CAST PANELS | PC-5 |
| METAL COPING | PAC-CLAD 'GRANITE' |
| THRU - WALL SCUPPERS & DOWNSPOUTS | PAC-CLAD 'GRANITE' |
| HM DOOR & FRAME | MATCH PC-2 (MINDFUL GRAY) |
| ALUMINUM SCORPION 8 SLIDING WINDOWS | DARK BRONZE |

| PUMP HOUSE ELEMENTS | COLOR |
|----------------------------------|-------------------------------|
| PRE-CAST PANELS | PC-1 |
| METAL COPING, GUTTER & DOWNSPOUT | PAC-CLAD 'SLATE GRAY' |
| WALL LOUVER | LIMITED ENERGY - 'SLATE GRAY' |
| HM DOOR & FRAME | MATCH PC-2 (MINDFUL GRAY) |
| NON-INSULATED WATER STORAGE TANK | WHITE |
| INSULATED WATER STORAGE TANK | WHITE |

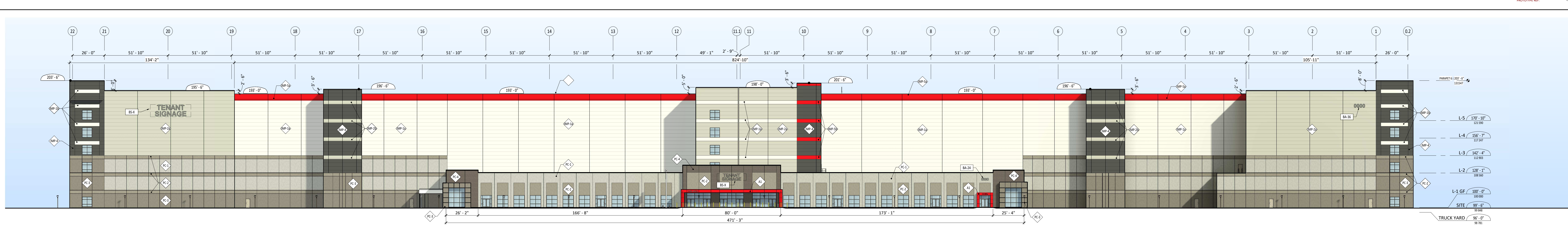
*NOTE: ALL CHANGES IN WALL PAINT COLORS AND IMP COLORS SHALL OCCUR AT INSIDE CORNERS



P401-NORTH ELEVATION (BACK) 3
PROPORTION: 1" = 30'-0" P005



P401-SOUTH ELEVATION (FRONT NO OFFICE) 2
PROPORTION: 1" = 30'-0" P005



P401-SOUTH ELEVATION (FRONT) 1
PROPORTION: 1" = 30'-0" P005

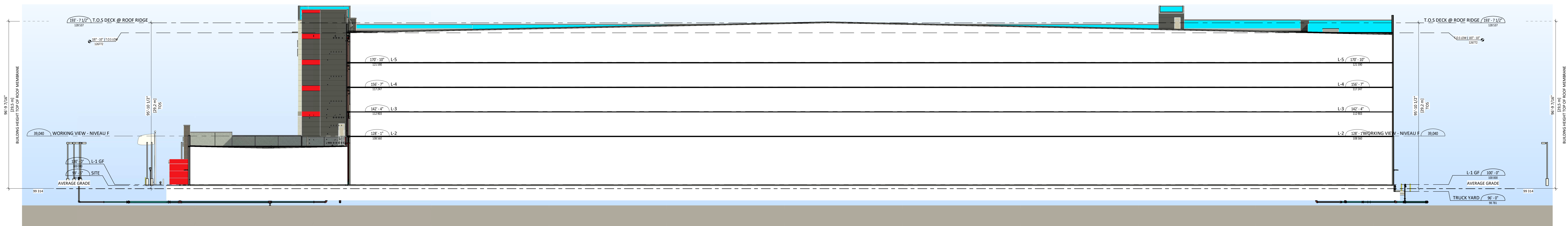
PLAN TO BE PRINTED IN COLOUR OR VIEWED IN COLOUR.
BECAUSE OF THE DIFFERENT SHADE TONALITY ON THE PLANS, WHEN VIEWING, THE PLANS MUST BE EITHER VIEWED ON PDF ELECTRONIC FORMAT TO SEE THE DIFFERENT COLOURS OR IF PRINTED ON PAPER COPIES MUST BE PRINTED IN COLOUR.

| No. | Date | Revision | By |
|-----|------------|----------------|----|
| 0 | 2024-10-30 | ISSUED FOR SPA | NC |

PROJECT X
99 Bill Leatham, 2 & 20 Leikin Drive
OTTAWA ON

ONTARIO ASSOCIATION OF ARCHITECTS
ARCHITECTURE
EXTERIOR ELEVATIONS
DRAWN BY: VR CHECKED BY: NC
SCALE: As indicated
NO: 24065 P005 RO
DATE: 2024-10-30

BUILDING SECTION HEIGHT



PLAN TO BE PRINTED IN COLOUR
 OR VIEWED IN COLOUR.
 BECAUSE OF THE DIFFERENT SHADE TONALITY ON THE PLANS,
 WHEN VIEWING, THE PLANS MUST BE EITHER VIEWED ON PDF
 ELECTRONIC FORMAT TO SEE THE DIFFERENT COLOURS OR IF
 PRINTED ON PAPER COPIES MUST BE PRINTED IN COLOUR.

| No. | Date | Revision | By |
|-----|------------|----------------|----|
| 0 | 2024-10-30 | ISSUED FOR SPA | NC |

PROJECT X
 99 Bill Leatham, 2 & 20 Leikin Drive
 OTTAWA ON

Copyright GKC Architects. Not to be used for any other project without the architect's written consent. All dimensions and conditions must be verified on site. Do not scale drawings. Any discrepancies or omissions in the drawings shall be reported to the architect immediately in writing. We shall be compliant to most recent applicable norms, bylaws and codes for all given trades.

ARCHITECTURE

BUILDING SECTION HEIGHT

DRAWN BY: VR CHECKED BY: NC

SCALE: 3/64" = 1'-0"

NO. 24065 **P006** RO

CODE

PERSPECTIVES



VIEW 3 - TRUCKYARD ELEVATION EAST-NORTH



VIEW 2 - FRONT ELEVATION EAST-SOUTH, WITH GUARDHOUSE



VIEW 5 - FRONT ELEVATION WEST-SOUTH, TOWARDS MAIN ENTRY



VIEW 1 - MAIN ENTRY



VIEW 4 - TRUCKYARD ELEVATION WEST-NORTH

PLAN TO BE PRINTED IN COLOUR
 OR VIEWED IN COLOUR.
BECAUSE OF THE DIFFERENT SHADE TONALITY ON THE PLANS,
 WHEN VIEWING, THE PLANS MUST BE EITHER VIEWED ON PDF
 ELECTRONIC FORMAT TO SEE THE DIFFERENT COLOURS OR IF
 PRINTED ON PAPER COPIES MUST BE PRINTED IN COLOUR.

| No. | Date | Revision | By |
|-----|------------|----------------|----|
| 0 | 2024-10-30 | ISSUED FOR SPA | NC |

PROJECT X
 99 Bill Leatham, 2 & 20 Leikin Drive
 OTTAWA ON



Copyright GKC Architects. Not to be used for any other project without the written consent of GKC Architects. All dimensions and conditions must be verified on site. Do not scale drawings. Any discrepancies or omissions in the drawings shall be reported to the architect immediately in writing. We warrant to conform to most recent applicable norms, laws and codes for all given trades.

ARCHITECTURE

PERSPECTIVES

DRAWN BY: VR CHECKED BY: NC

SCALE:

FOLO: 24065 **P007** RO

CODE:

MOBILITY PLAN

LEGEND

- Subject Lands
- Proposed Park
- Existing Paved Shoulder
- Existing Pedestrian Sidewalk
- Proposed Sidewalk
- Existing Bike Lane
- Existing Path
- Suggested Route
- Existing Park / Open Space
- Existing Bus Stop



NOTE:
THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

| NO. | REVISION | DATE | BY |
|-----|-------------------|-----------|-----|
| I. | PREPARED FOR USRP | OCT 24/24 | SLW |

| | |
|-------|----------------|
| SCALE | 1:3,000 |
| | 0 30 60 90 120 |

| | |
|------------------------|--|
| FOR REVIEW ONLY | |
| | |

NOVATECH
Engineering, Planning & Landscape Architects
Suite 200, 242 McLeod Compendium Drive
Ottawa, Ontario, Canada K2M 1P4
Telephone: (613) 254-6643
Facsimile: (613) 254-3887
Website: www.novatech-ang.com

CITY OF OTTAWA
99 BILL LEATHAM DRIVE
OTTAWA ON

DRAWING NAME
MOBILITY PLAN

PROJECT NO.
124123-001

REV #1
REV #1

124123-Figure

PLAN TO BE PRINTED IN COLOUR OR VIEWED IN COLOUR.
BECAUSE OF THE DIFFERENT SHADE TONALITY ON THE PLANS, WHEN VIEWING, THE PLANS MUST BE EITHER VIEWED ON PDF ELECTRONIC FORMAT TO SEE THE DIFFERENT COLOURS OR IF PRINTED ON PAPER COPIES MUST BE PRINTED IN COLOUR.

| | | | |
|-----|------------|----------------|----|
| 0 | 2024-10-30 | ISSUED FOR SPA | NC |
| No. | Date | Revision | By |

PROJECT X
99 Bill Leatham, 2 & 20 Leikin Drive
OTTAWA ON



Copyright GKC Architects. Not to be used for any other project without the written consent of GKC Architects. All drawings and portions thereof are the property of GKC Architects. Any reproduction or disclosure in any form without the written consent of GKC Architects is strictly prohibited. All work is done in accordance with the most recent applicable norms, codes and standards for all given trades.

ARCHITECTURE

MOBILITY PLAN

DRAWN BY: VR CHECKED BY: NC

SCALE

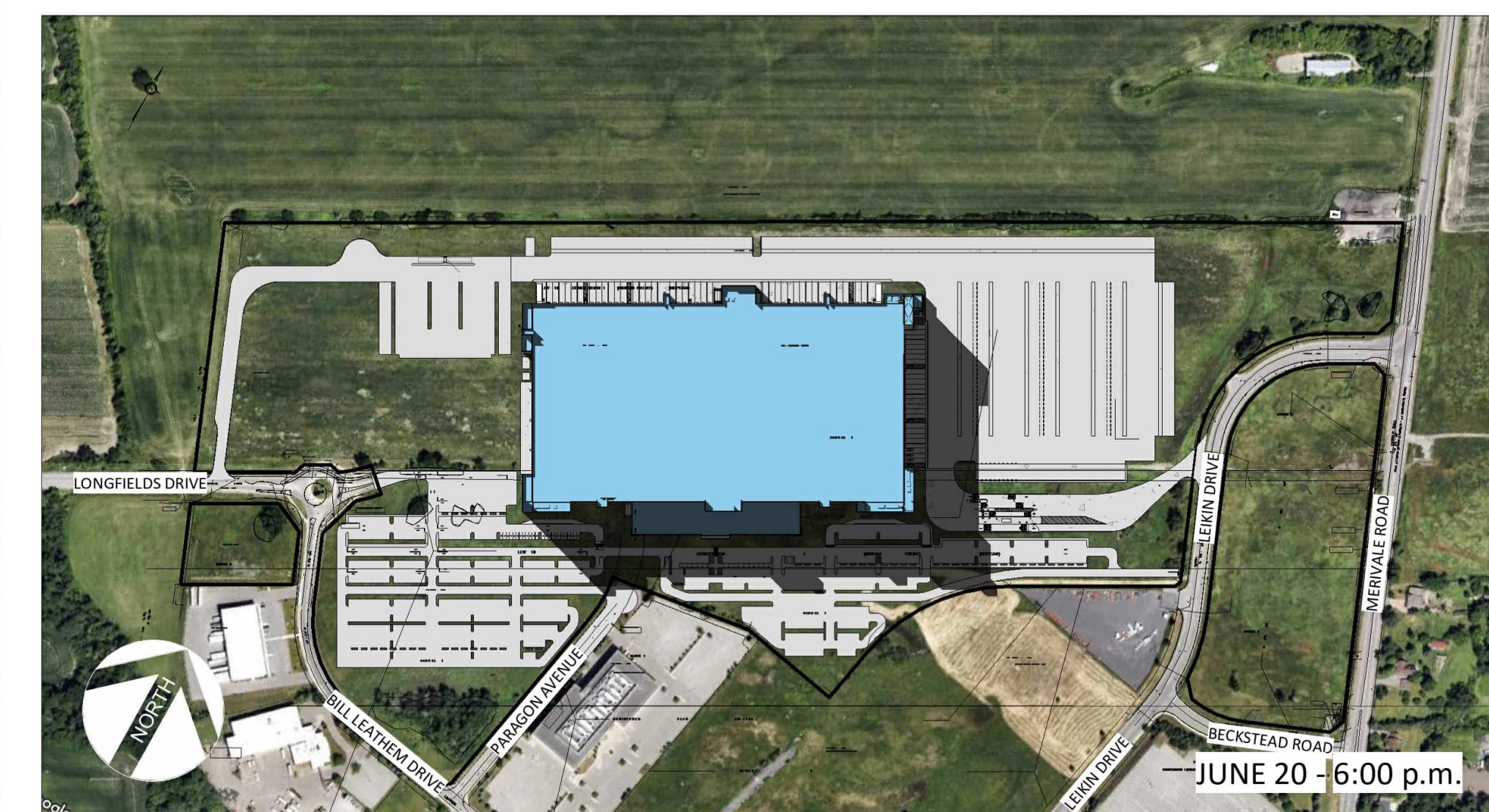
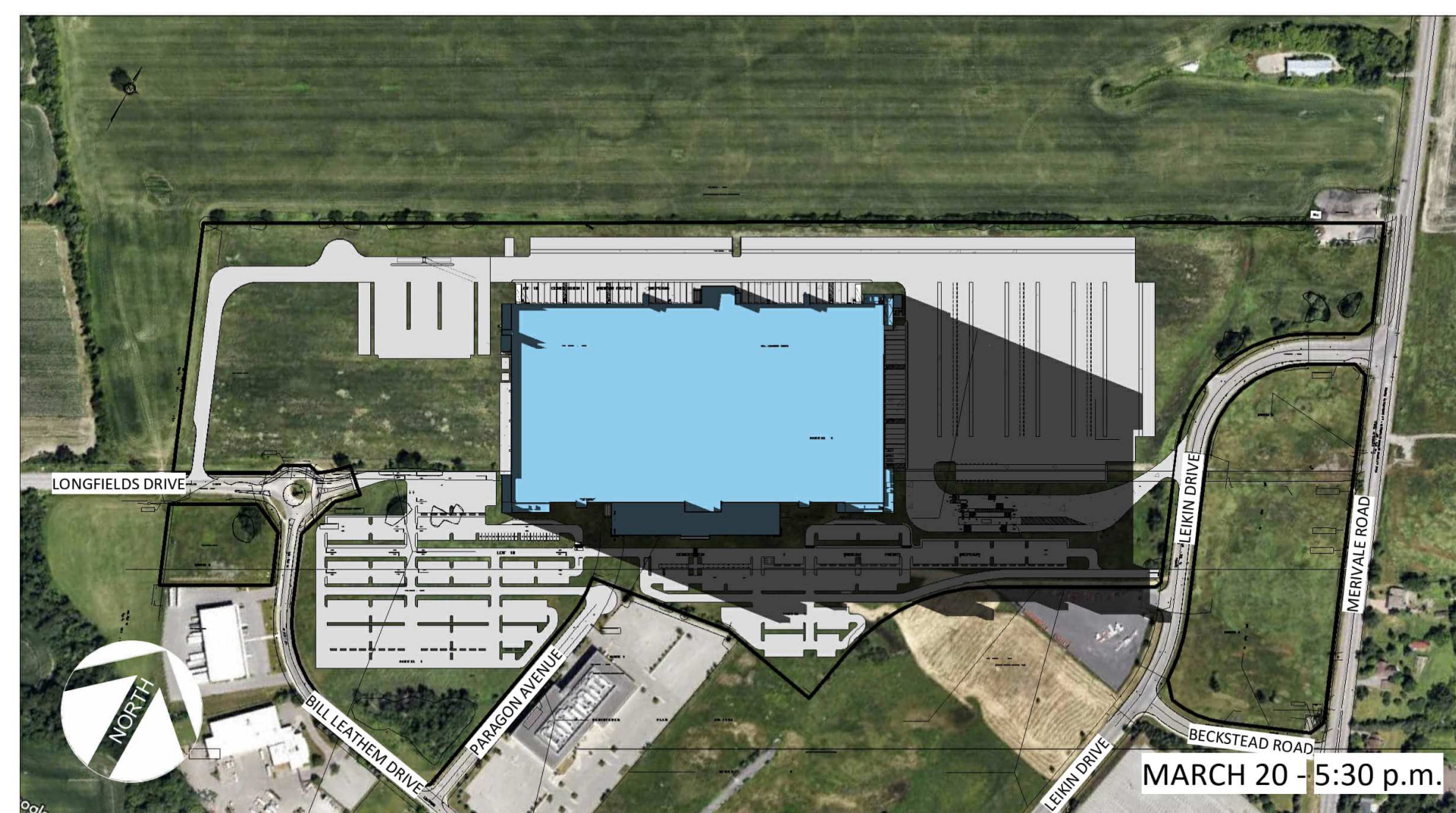
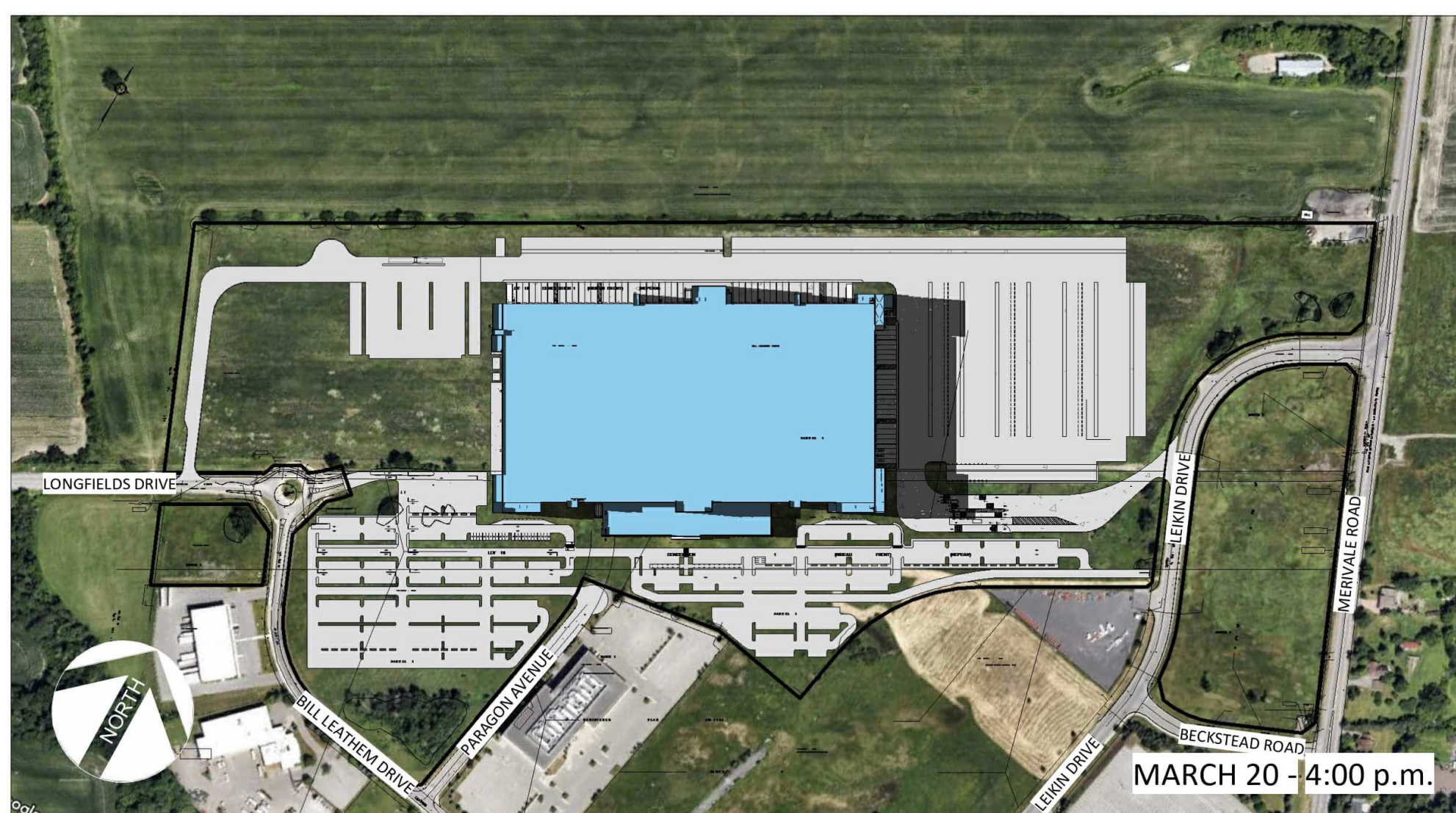
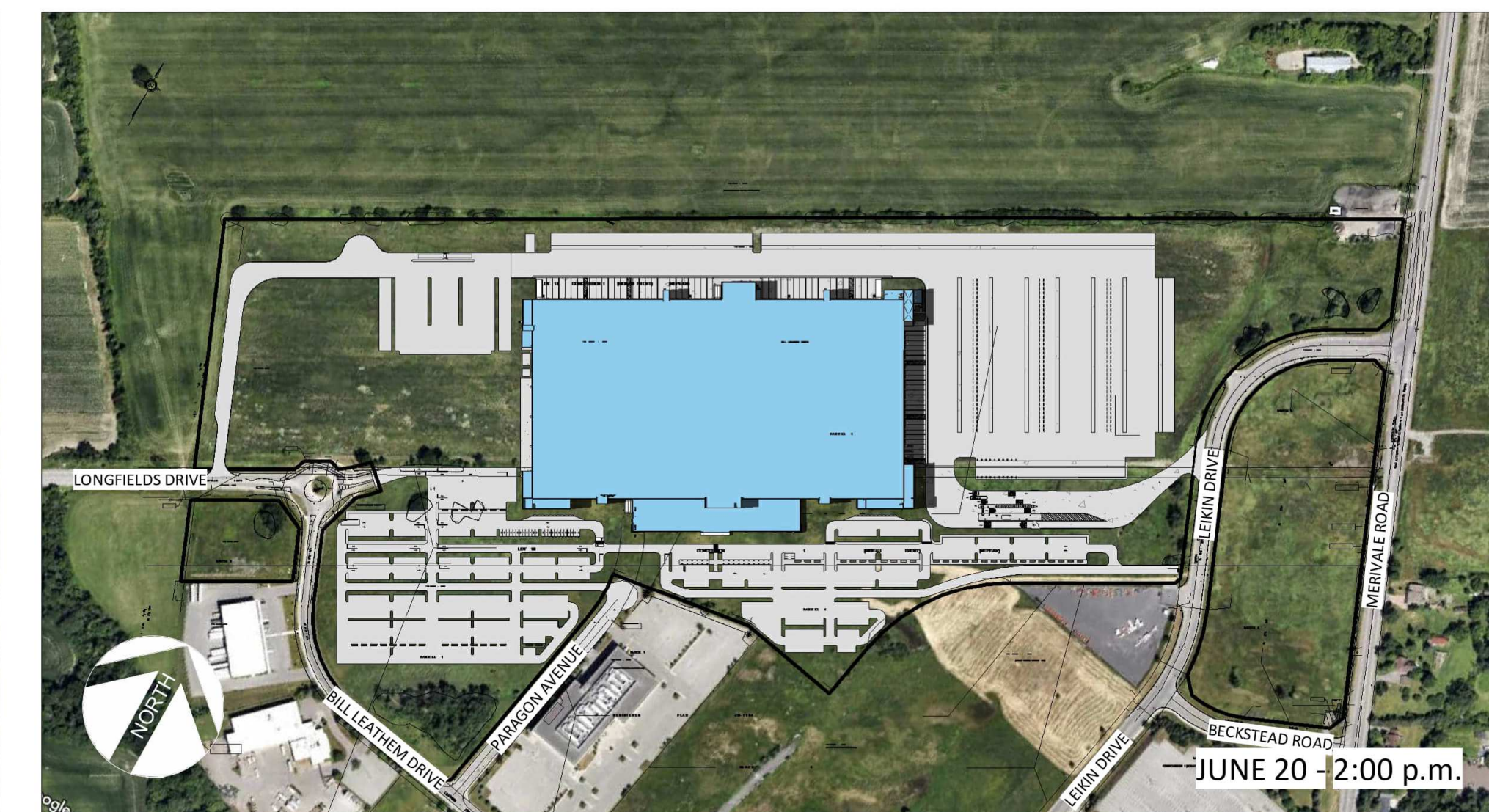
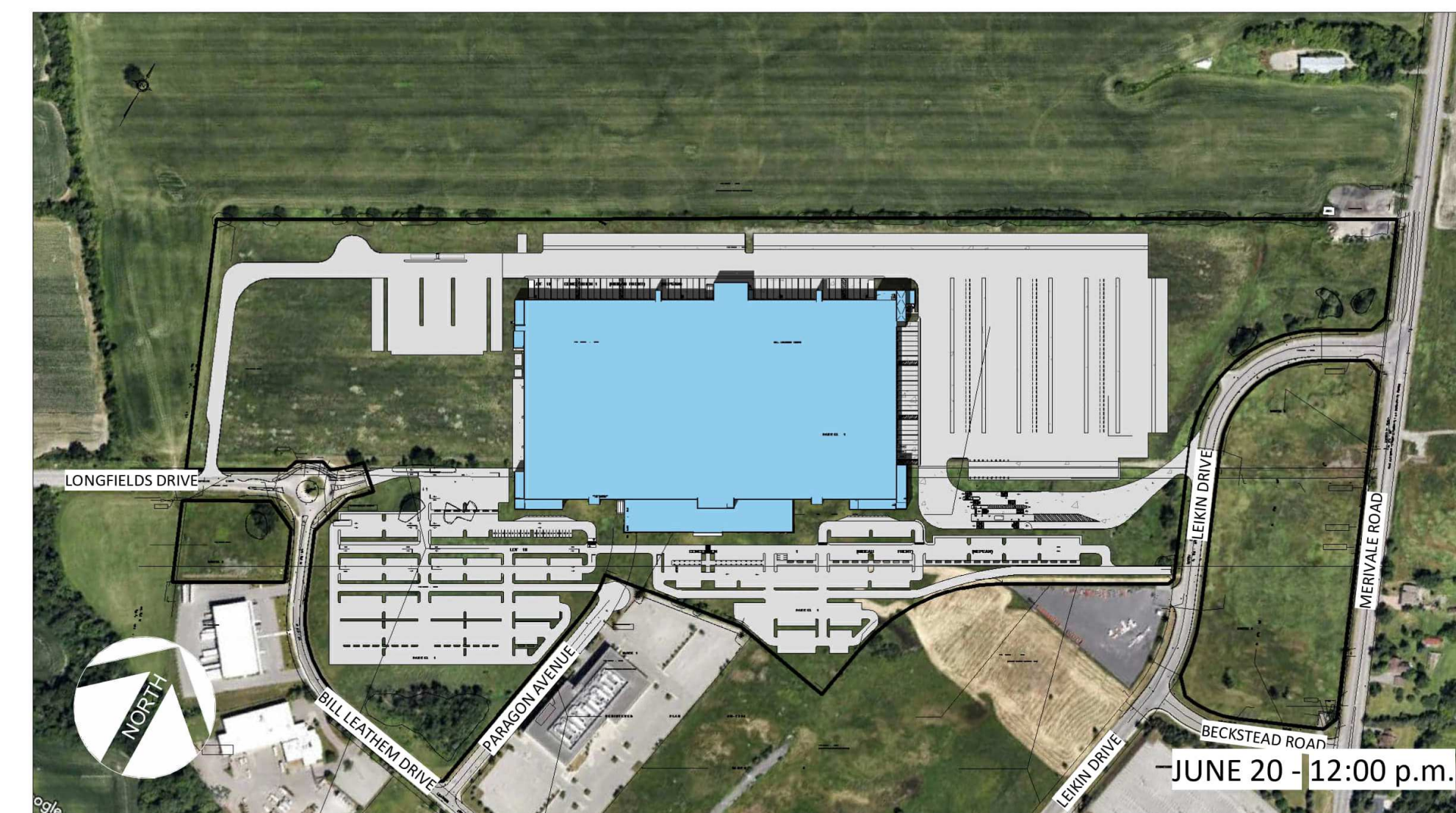
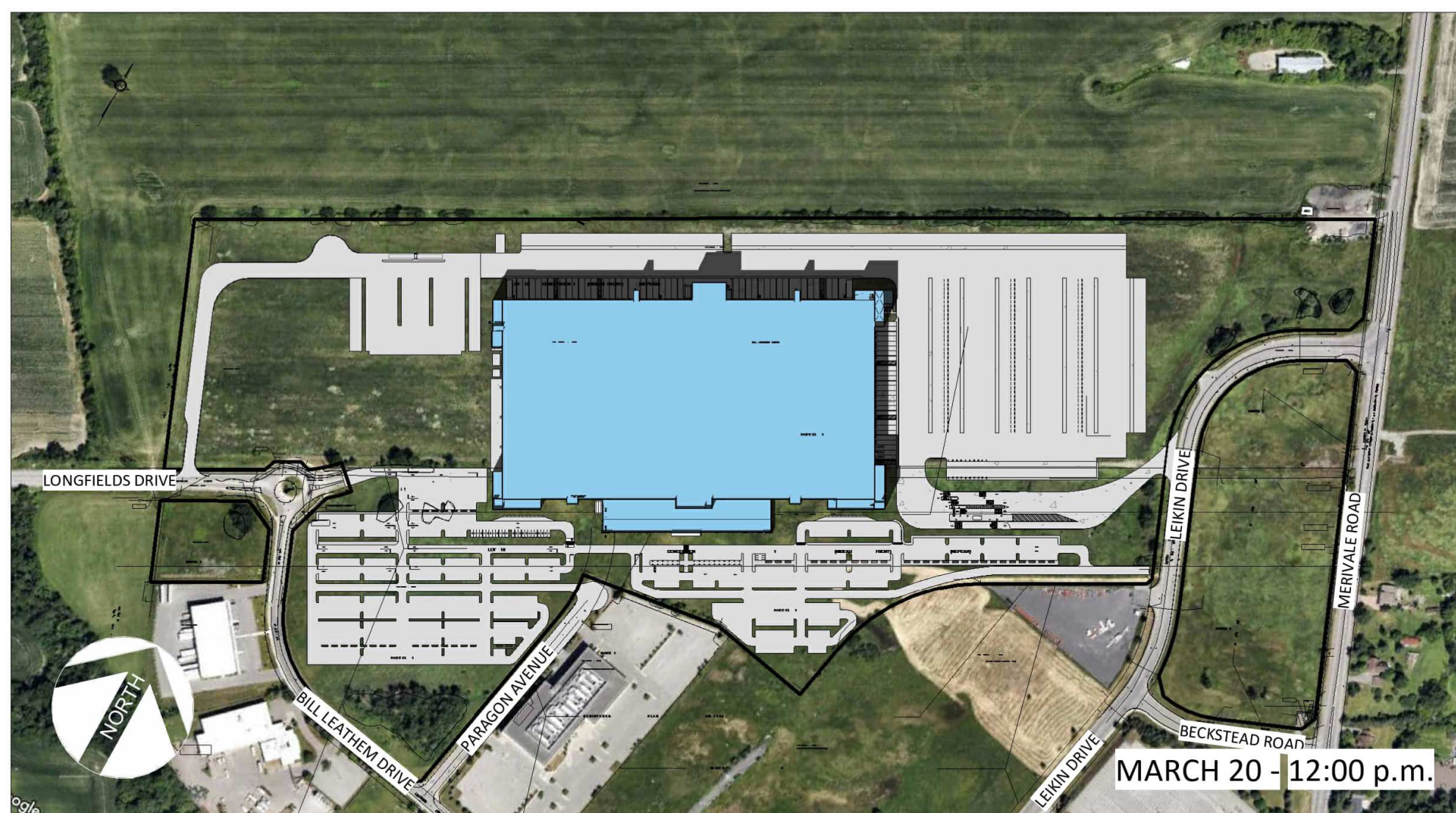
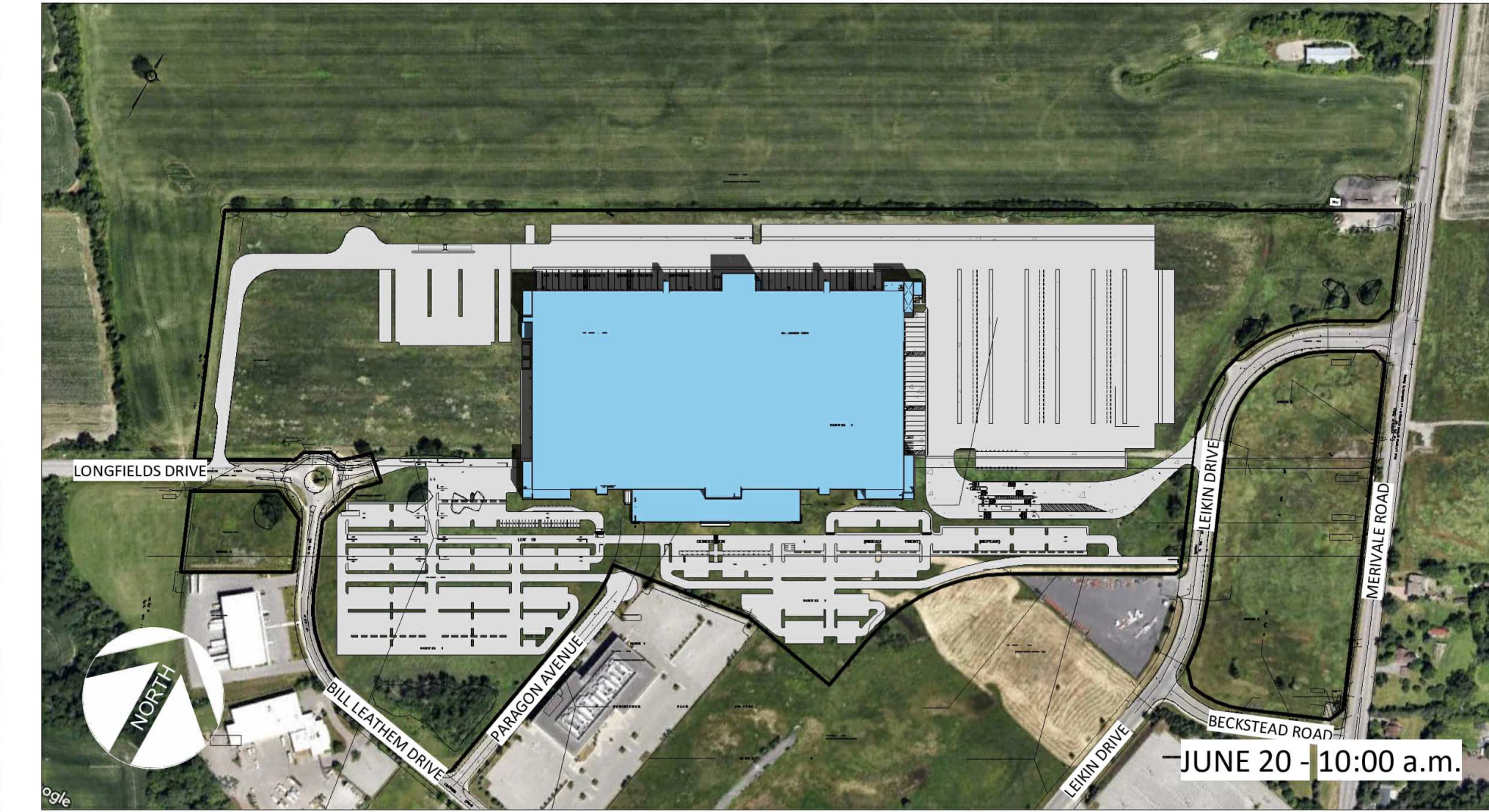
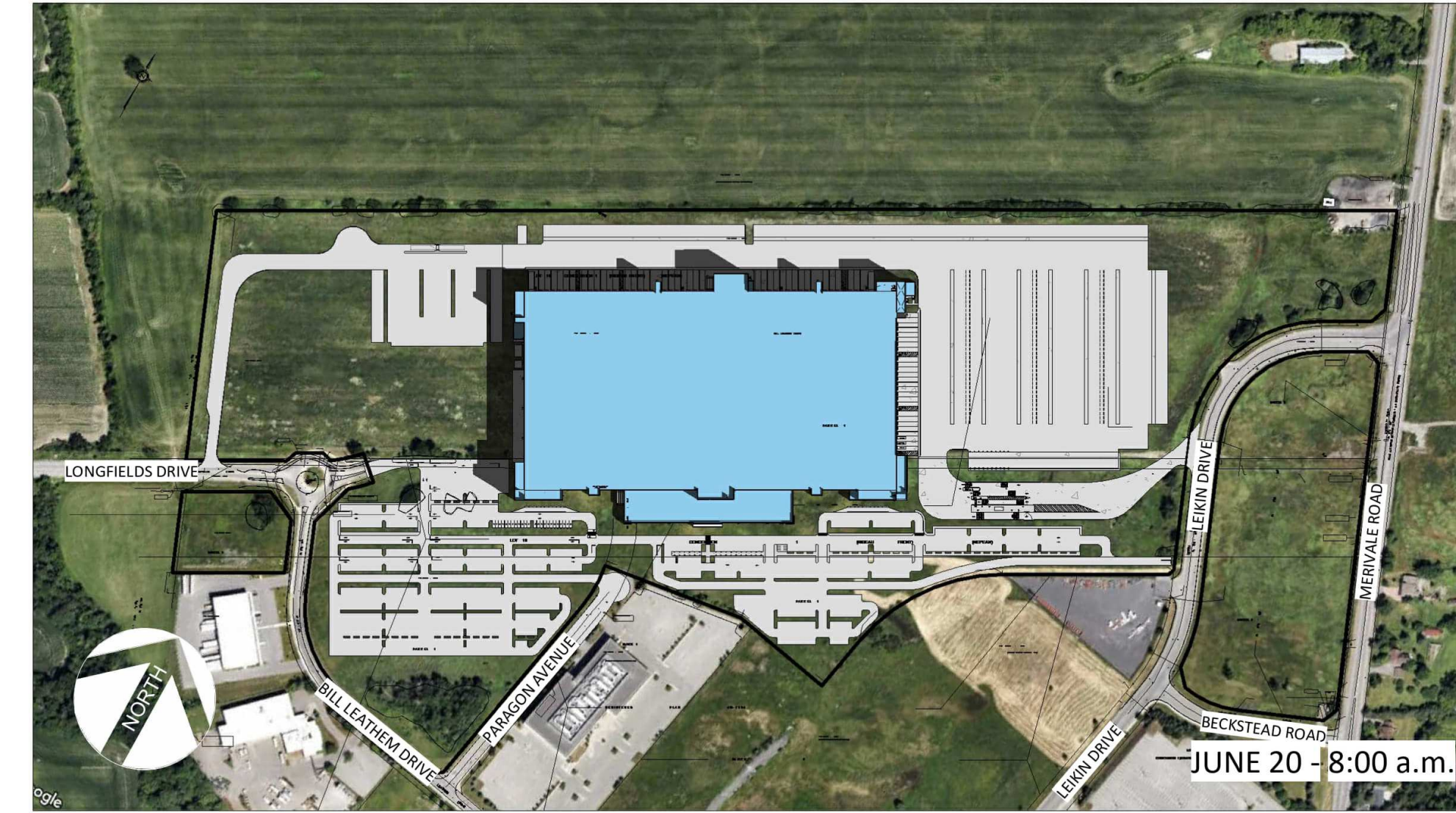
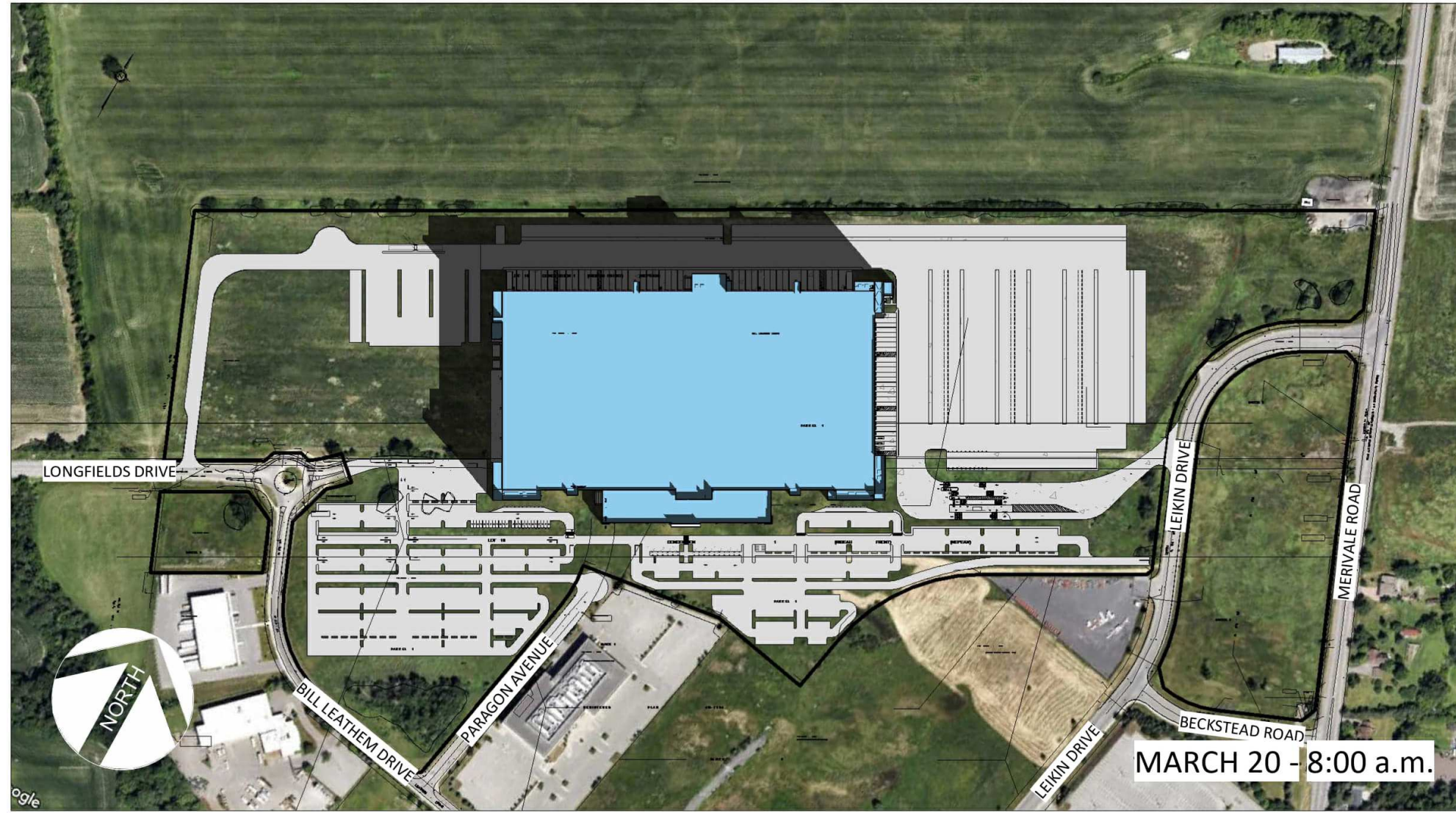
NO. 24065 **P008** RO

CODE

SHADOW ANALYSIS

SPRING EQUINOX

SUMMER SOLSTICE



PLAN TO BE PRINTED IN COLOUR
OR VIEWED IN COLOUR.
BECAUSE OF THE DIFFERENT SHADE TONALITY ON THE PLANS,
WHEN VIEWING, THE PLANS MUST BE EITHER VIEWED ON PDF
ELECTRONIC FORMAT TO SEE THE DIFFERENT COLOURS OR IF
PRINTED ON PAPER COPIES MUST BE PRINTED IN COLOUR.

| No. | Date | Revision | By |
|-----|------------|----------------|----|
| 0 | 2024-10-30 | ISSUED FOR SPA | NC |

PROJECT X
99 Bill Leatham, 2 & 20 Leikin Drive
OTTAWA ON



Copyright GKC Architects. Not to be used for any other project without the written consent of GKC Architects. All drawings and specifications are the property of GKC Architects. No part of this drawing or any part thereof shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of GKC Architects.

ARCHITECTURE

SHADOW ANALYSIS

DRAWN BY: VR CHECKED BY: NC

SCALE:

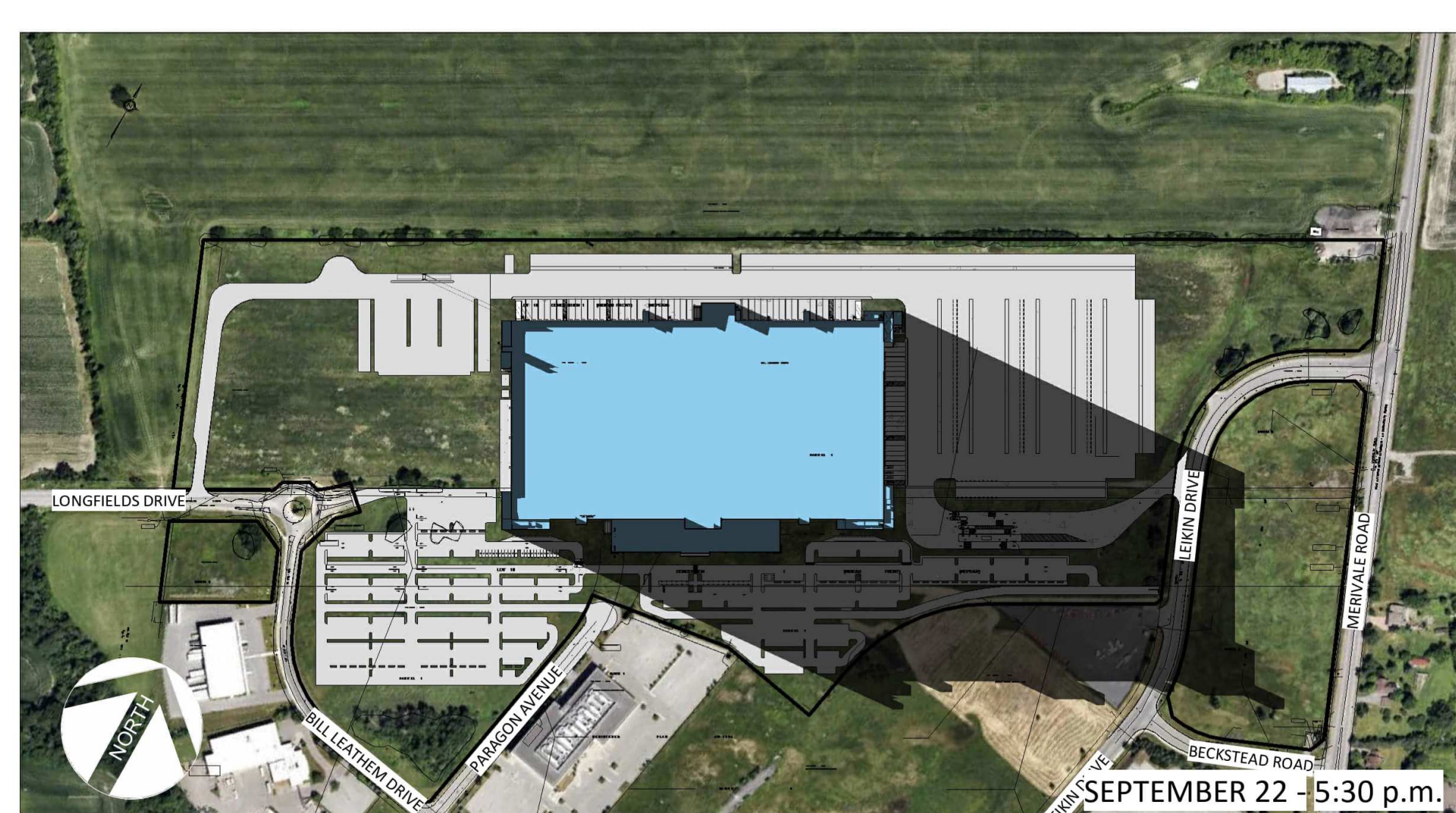
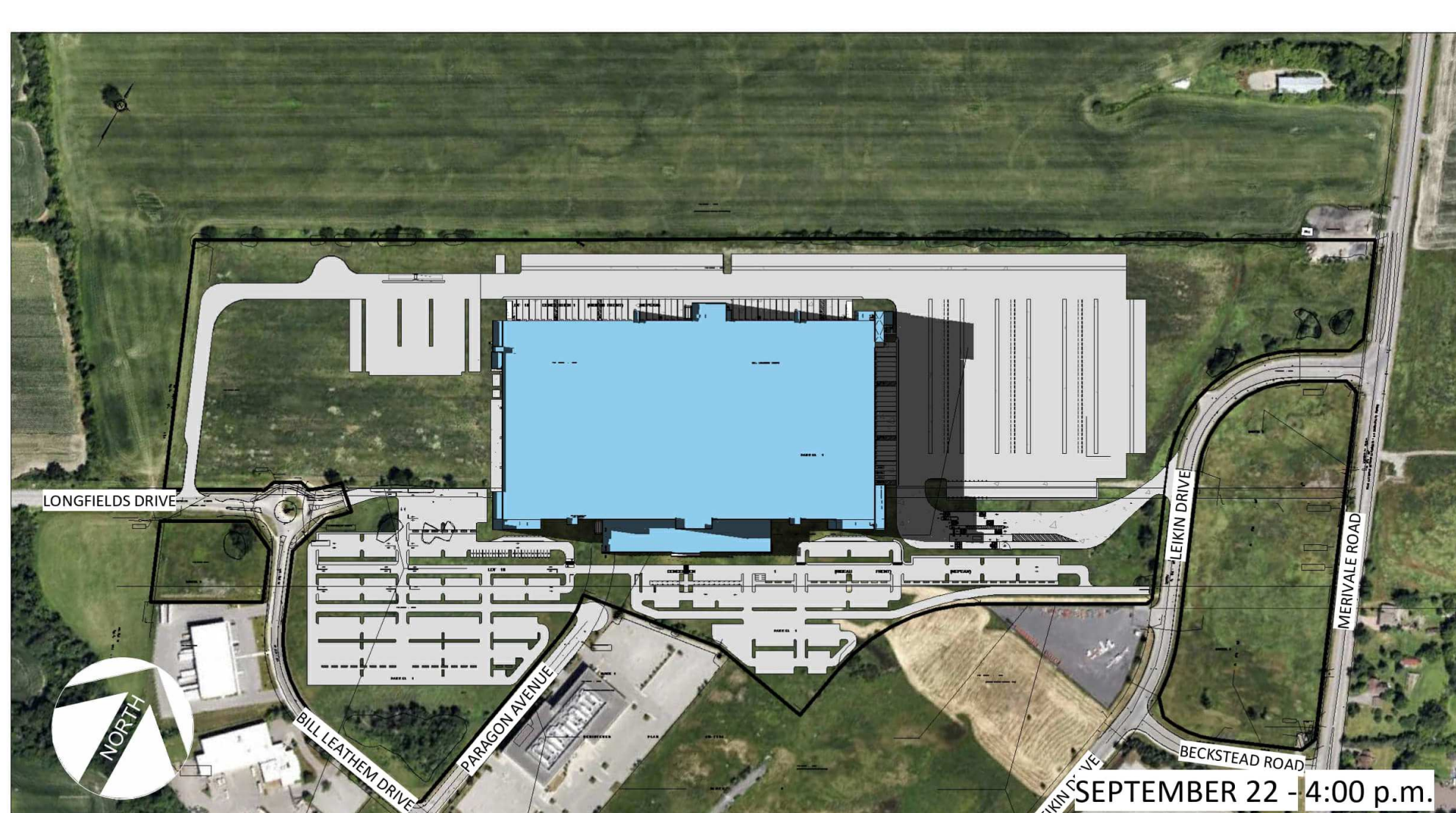
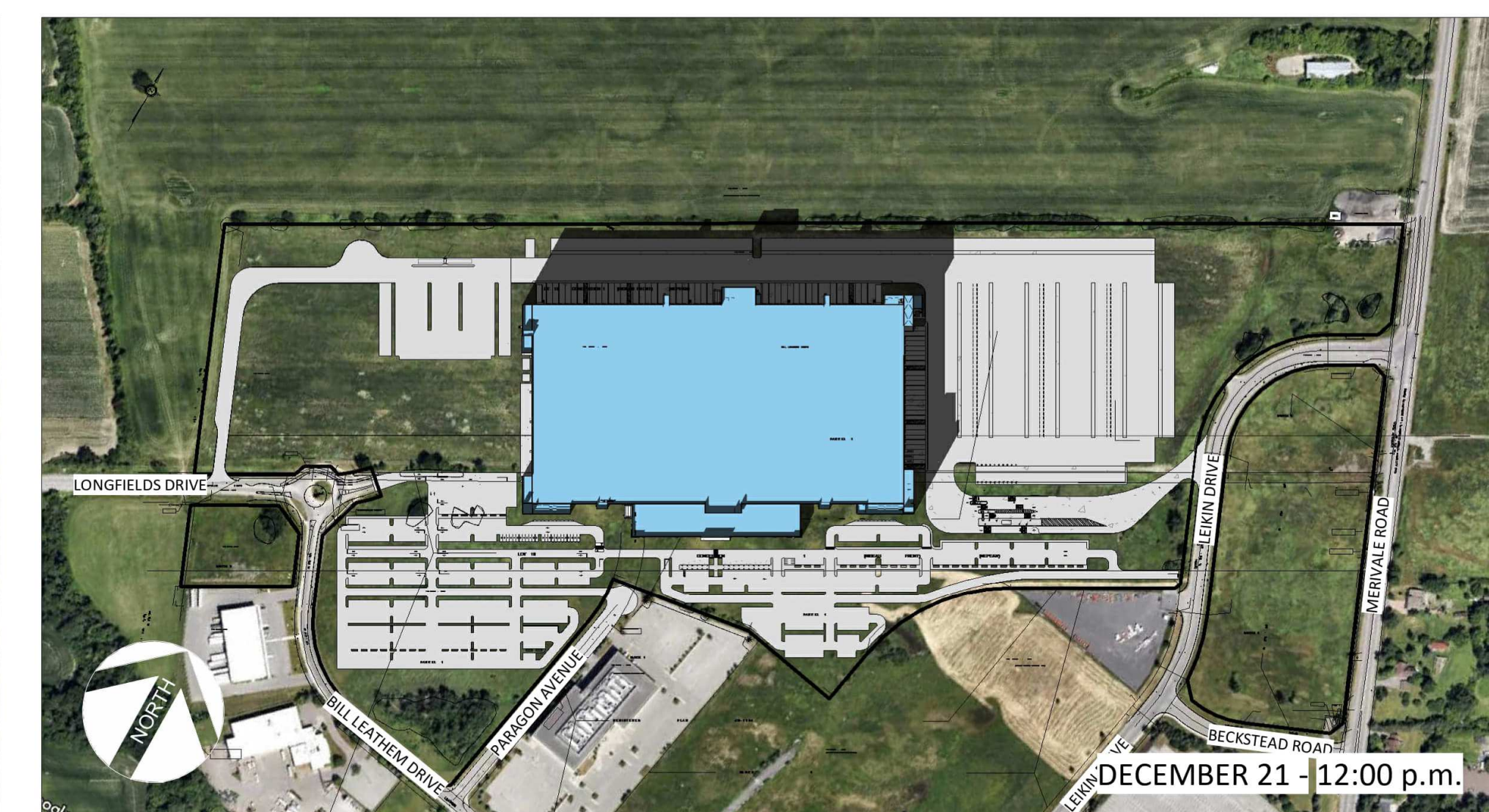
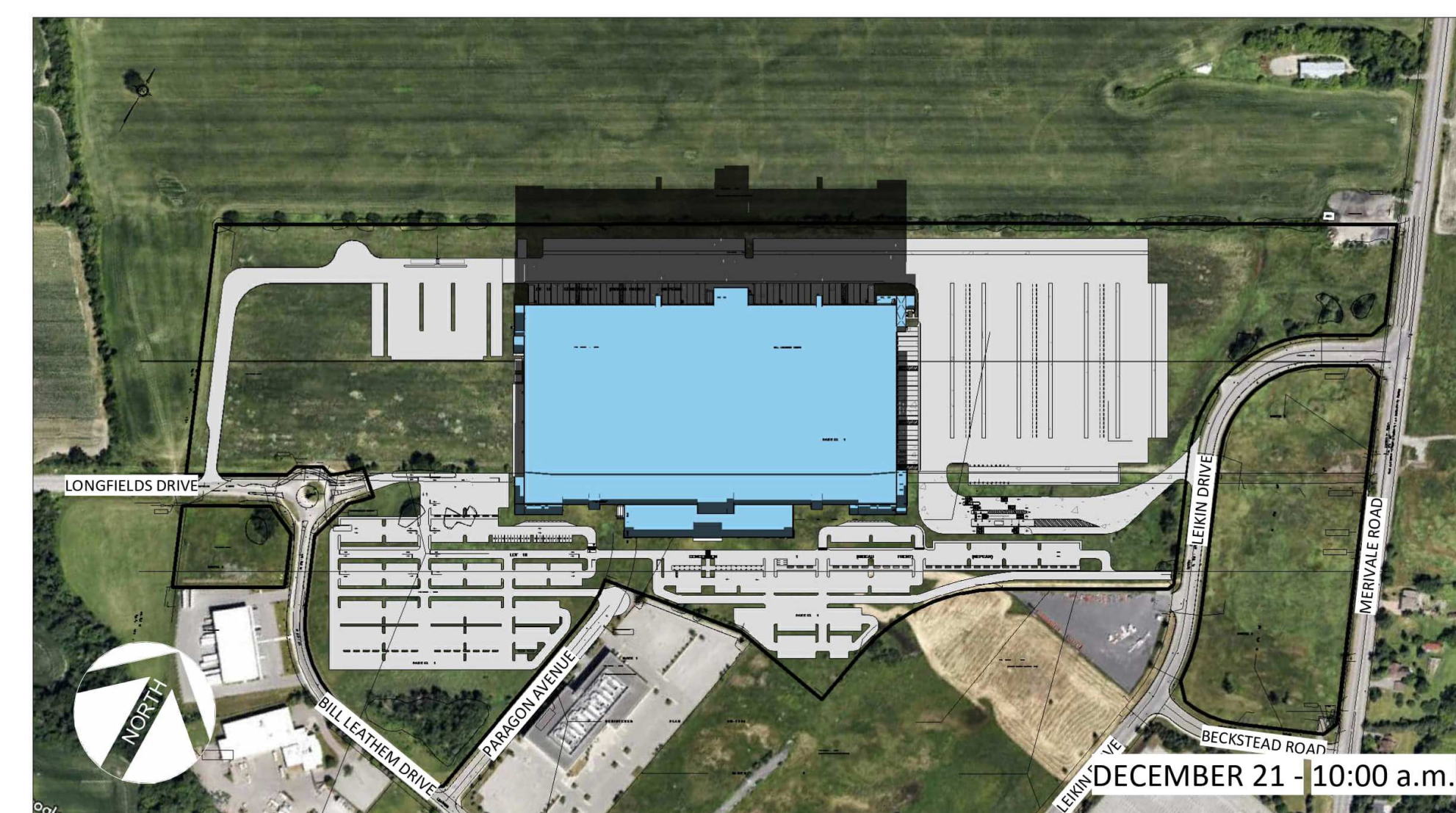
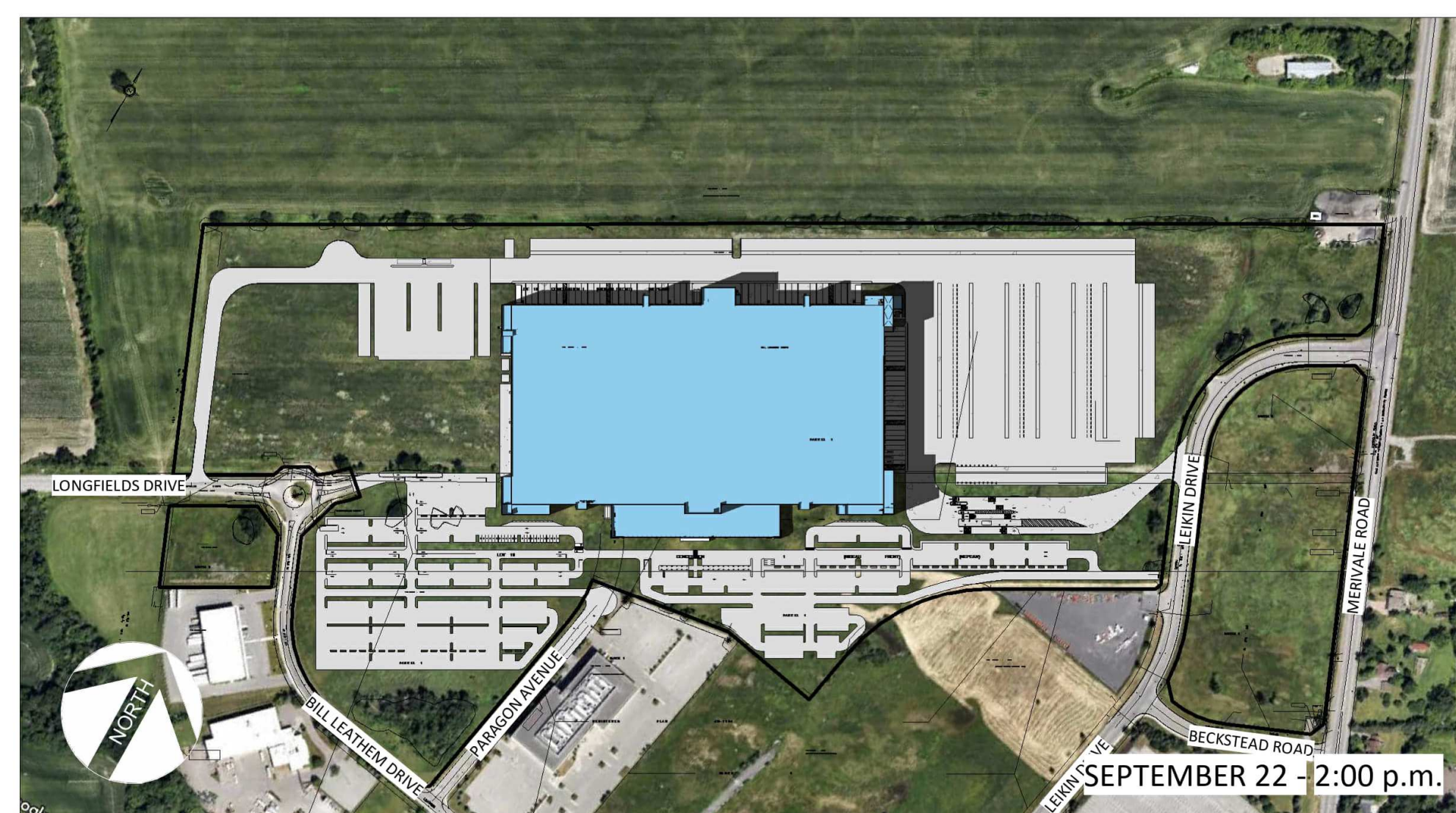
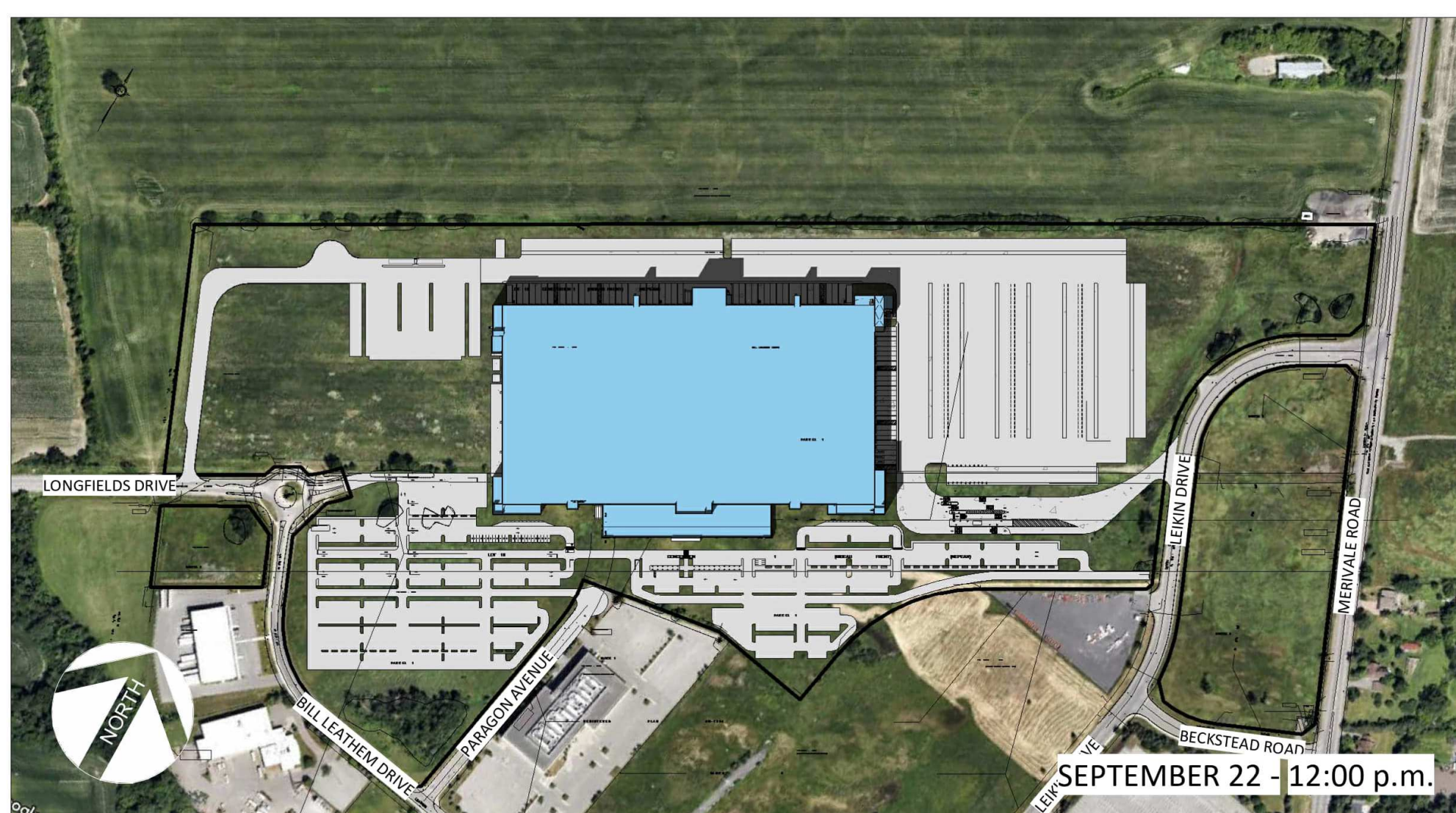
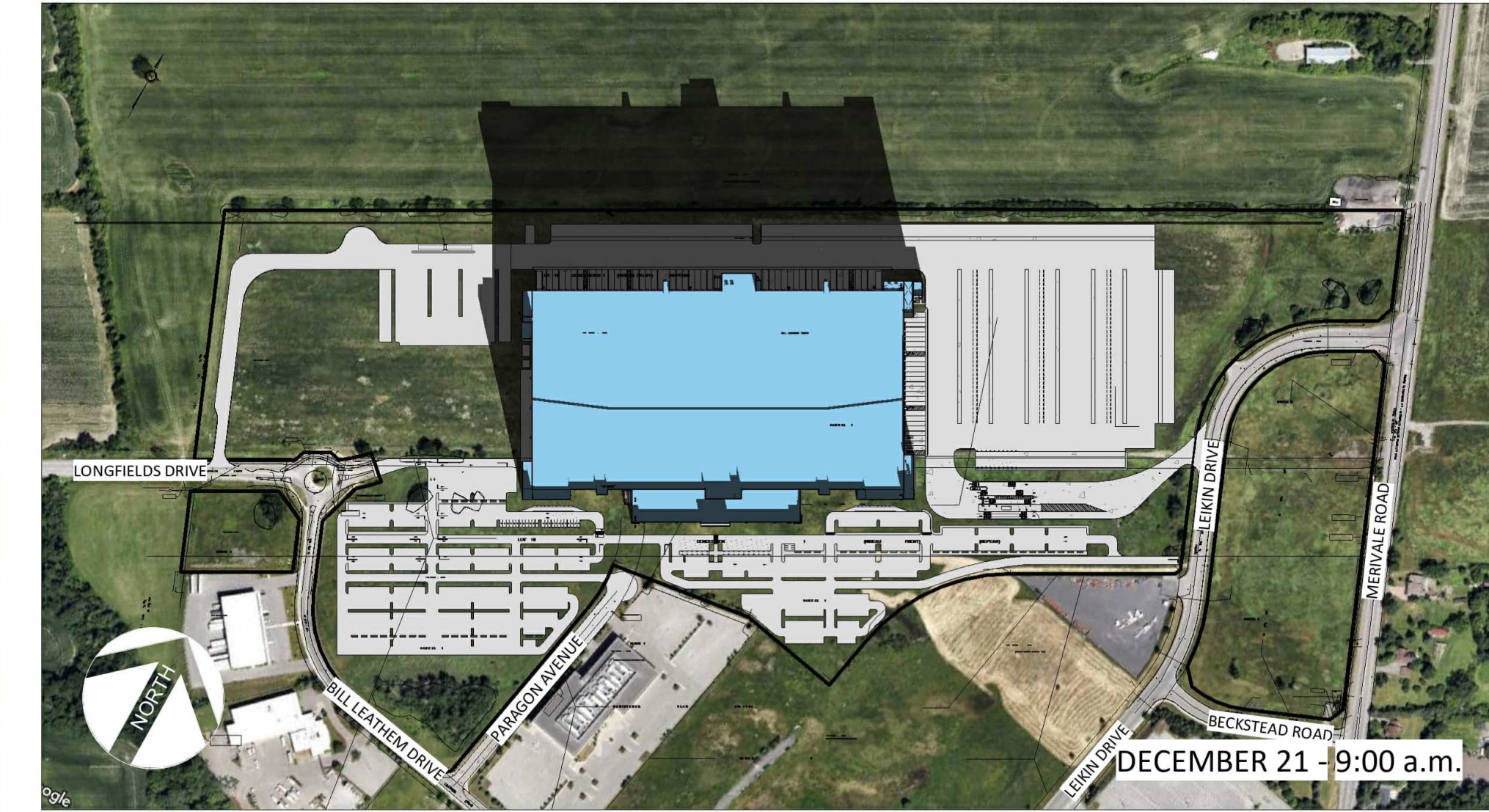
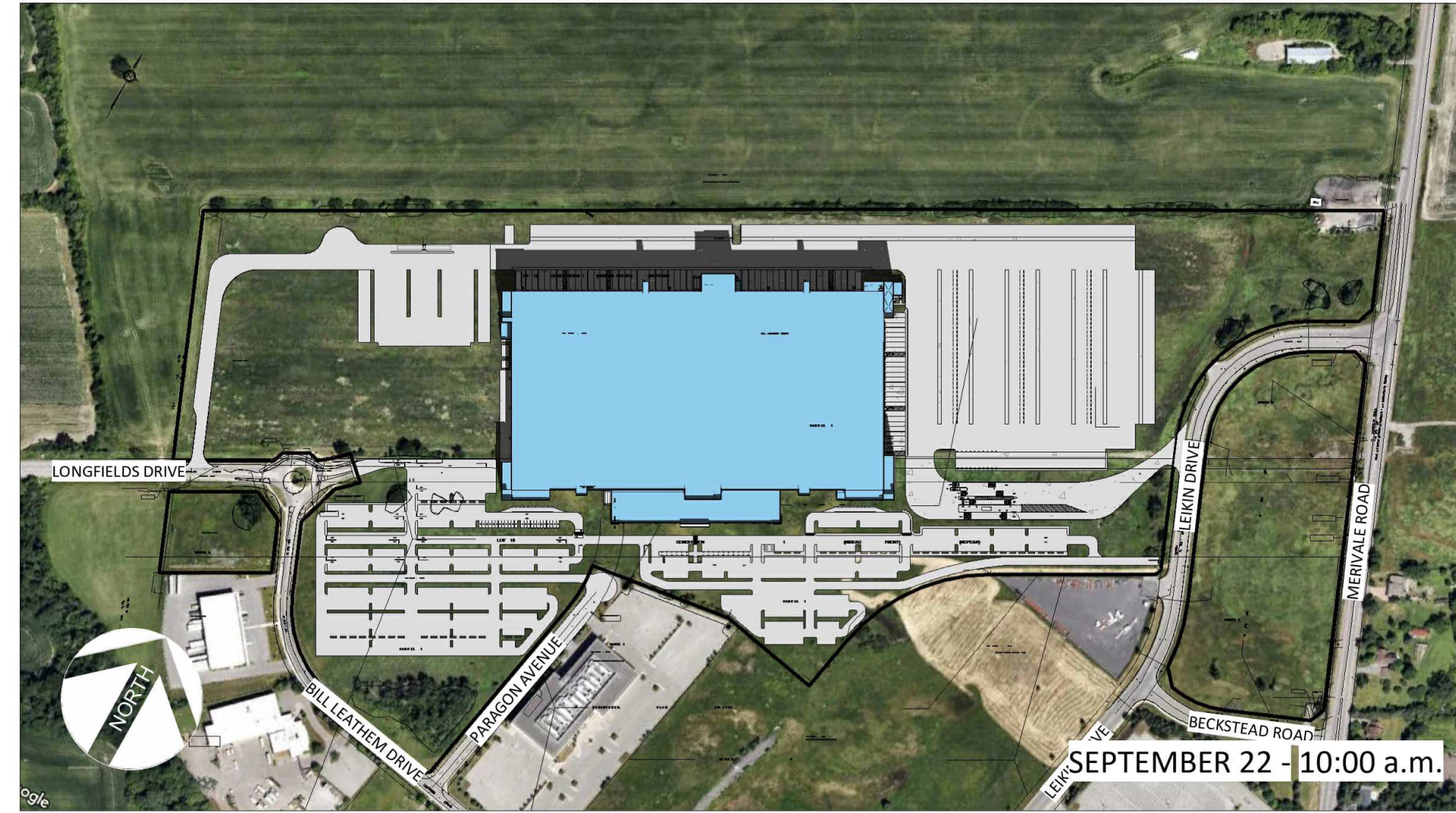
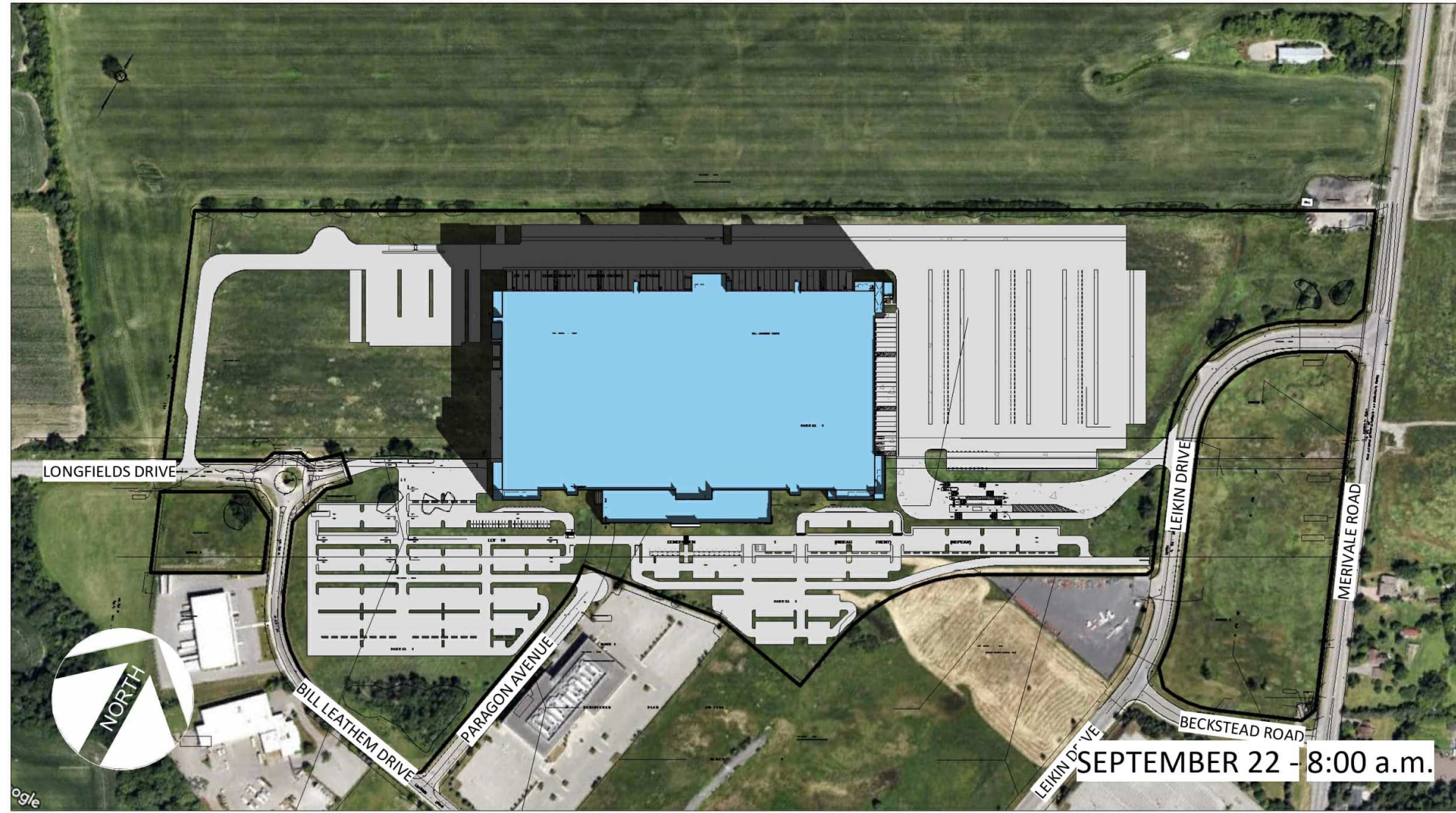
FILE NO: 24065 P009 R0

DATE:

SHADOW ANALYSIS

AUTUMNAL EQUINOX

WINTER SOLSTICE



PLAN TO BE PRINTED IN COLOUR
OR VIEWED IN COLOUR.
BECAUSE OF THE DIFFERENT SHADE TONALITY ON THE PLANS,
WHEN VIEWING, THE PLANS MUST BE EITHER VIEWED ON PDF
ELECTRONIC FORMAT TO SEE THE DIFFERENT COLOURS OR IF
PRINTED ON PAPER COPIES MUST BE PRINTED IN COLOUR.

| No. | Date | Revision | By |
|-----|------------|----------------|----|
| 0 | 2024-10-30 | ISSUED FOR SPA | NC |

PROJECT X
99 Bill Leatham, 2 & 20 Leikin Drive
OTTAWA ON



Copyright GKC Architects. Not to be used for any other project without the written consent of GKC Architects. All drawings and specifications are the property of GKC Architects. No part of this drawing shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of GKC Architects.

ARCHITECTURE

SHADOW ANALYSIS

DRAWN BY: VR CHECKED BY: NC

SCALE:

NO. 24065 **P010** R0

DATE: