



### Legend

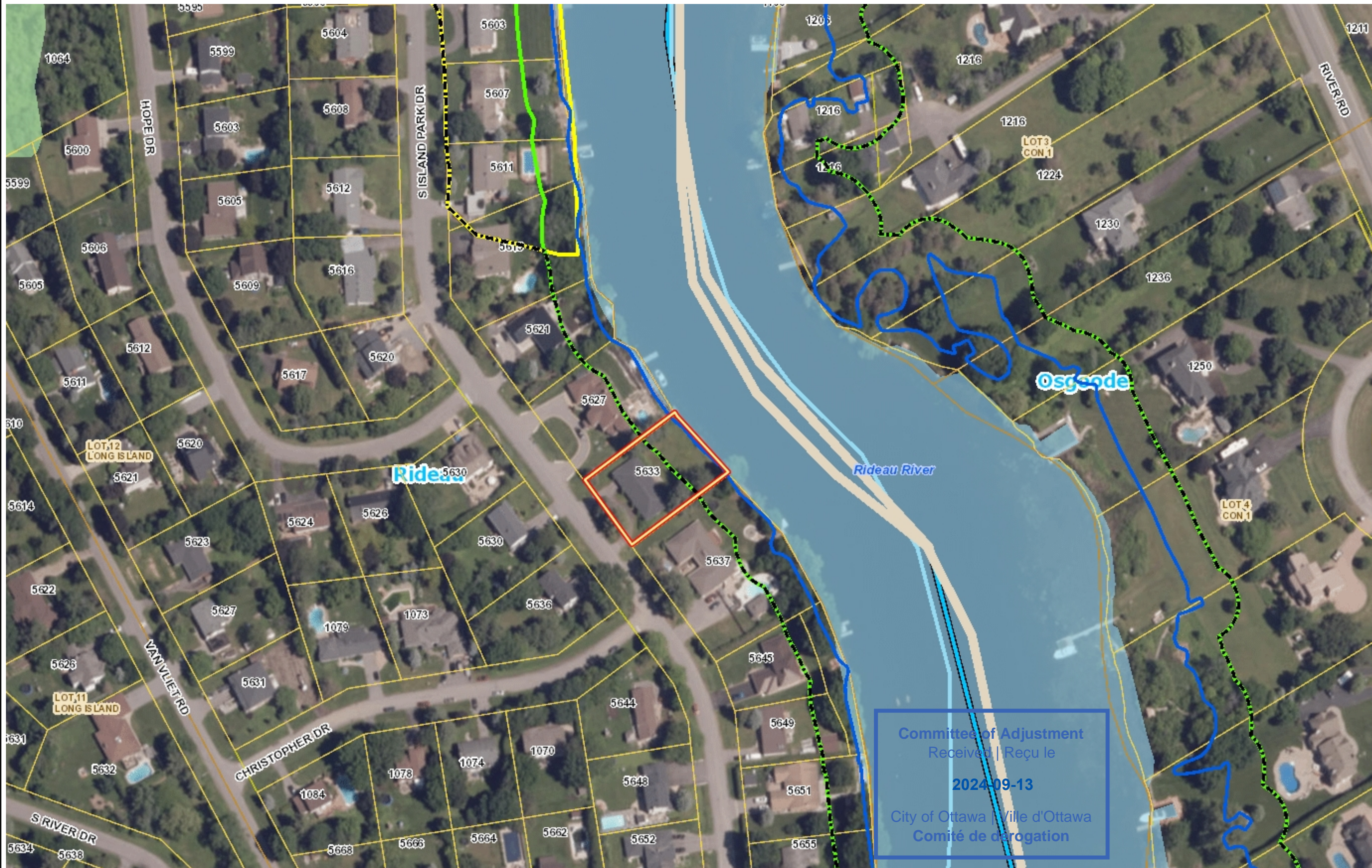
- Easements
- DWSP Risk Management Plan
- Floodplain Cross-sections
- Area of Reduced Flood Risk
- City Planning CA Boundary
- Regulation Limit
- 100yr Floodline**
- Floodplain
- Area of Reduced Flood Risk
- Area of Shallow Flooding
- Dominant Hazard**
- Floodplain
- Geo-technical Hazard Limit
- Meander Belt
- Spill Line
- Stable-Toe Slope
- Top of Slope
- Unstable-Toe Slope
- Wetland
- Provincially Significant Wetland
- 100yr Floodline + 15m
- Top of Slope + 15m
- Unstable-Toe Slope + 15m
- Stable-Toe Slope + 15m
- Geotechnical Slope
- Regulated Wetlands
- Parcel - Assesment
- Lot
- Municipal Drains
- Former Municipalities / Ancien
- MNRF Wetlands**
- Evaluated-Provincial (PSW)
- non-PSW Wetlands
- Waterbody

**1: 399**  
WGS\_1984\_Web\_Mercator\_Auxiliary Sphere

### Notes

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- ### Legend
- Easements
  - DWSP Risk Management Plan
  - Area of Reduced Flood Risk
  - City Planning CA Boundary
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**1: 1,596**

WGS\_1984\_Web\_Mercator\_Auxiliary Sphere

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Committee of Adjustment  
Received | Reçu le  
**2024-09-13**  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



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**GENERAL NOTES**

ALL GENERAL NOTES TO BE READ IN CONJUNCTION WITH PLANS. DRAWINGS NOT TO BE SCALED

NOTIFY THE RESPONSIBLE CONSULTANT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK

THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY SHOULD BE REPORTED DURING CONSULTANT **and engineer.**

ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.

ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.

LUMBER TO BE SPF #2 OR BETTER. LUMBER EXPOSED TO THE EXTERIOR TO BE SPF #2 OR BETTER PRESSURE TREATED UNLESS NOTED OTHERWISE.

ALL BEAMS TO BE FLUSH OR DROP AS NOTED.

EXTERIOR WINDOW AND DOOR UNITS TO BE 2x4x10, EXCEPT AS NOTED

PRE-ENGINEERED TIMBER TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER. RESPONSIBILITY FOR THE DESIGN RESTS WITH THE CONTRACTOR. SUBMIT SHOP DRAWINGS FOR REVIEW.

DAMP-PROOF COURSE TO BE PLACED BETWEEN CONTACT OF WOOD AND CONCRETE

WINDOWS: MINIMUM BEDROOM WINDOW - 0.83 x 7' - 3" AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.83x2 UNOBSTRUCTED GLAZED OR OPERABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (15")

CAULK PERIMETERS, INSIDE AND OUTSIDE OF EXTERIOR DOORS AND WINDOWS.

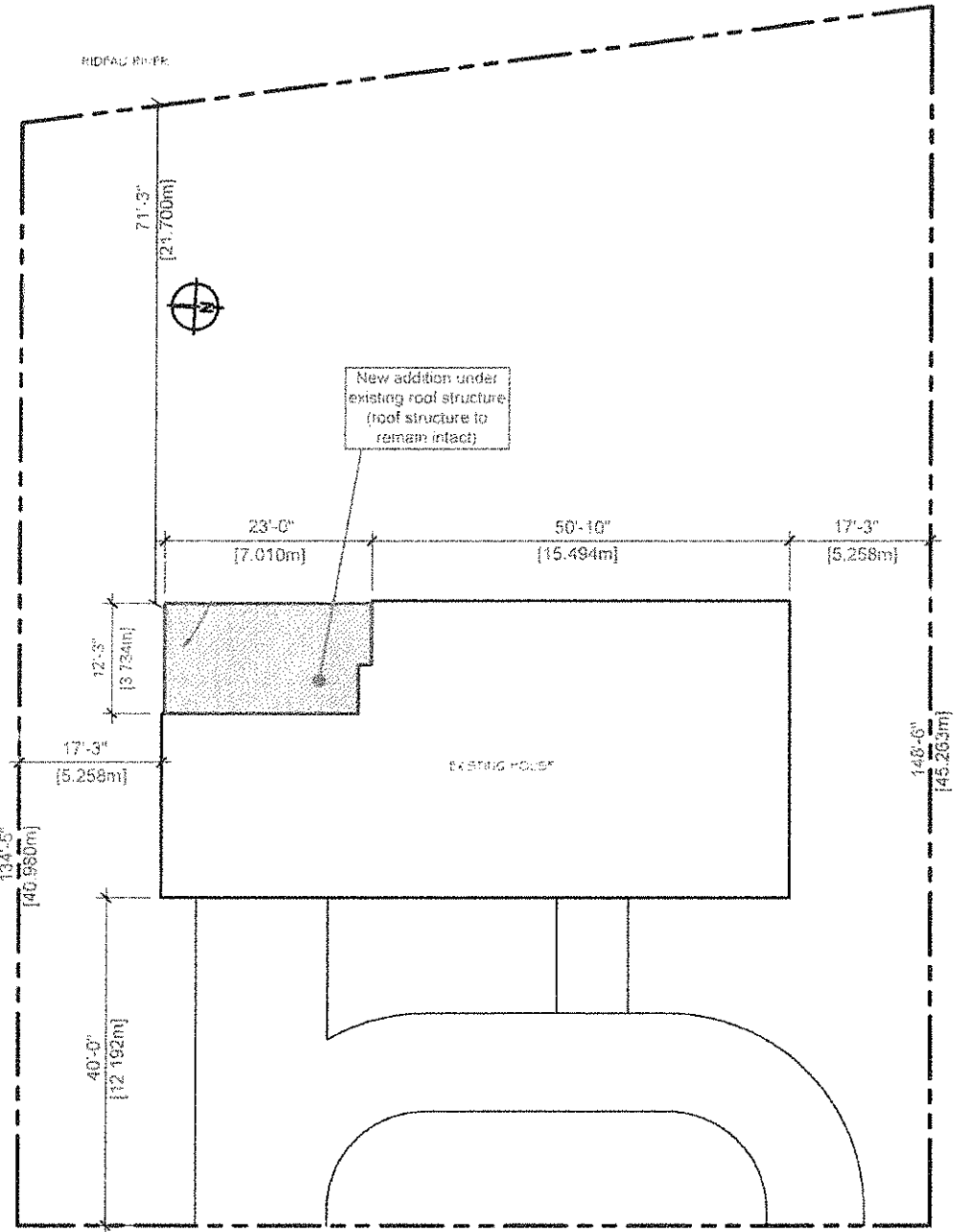
FLASHING TO BE PRE-FINISHED METAL. APPLY AT EXPOSED DOOR AND WINDOW HEADS AND SILLS, ROOF VALLEYS, CHIMNEY/ROOF CONNECTIONS, FLOOR WALL/ROOF CONNECTIONS, CHIMNEY CAPS, SKYLIGHT PERIMETERS, USE OF BRICK AND AS SHOWN ON DRAWINGS.

MECHANICAL VENTRATION REOD SHALL CONFORM TO C.B.C. B.32.

ALL POLY VAPOR/MOISTURE BARRIER TO CONFORM TO CODES. USE CAULK AND SEAL ALL JOINTS WITH 4mm GAP AT JOINTS

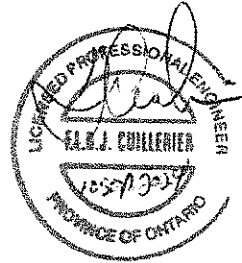
WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm POLYETHYLENE FILM, NO. 50 (45lbs) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL

New addition under existing roof structure (roof structure to remain intact)



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR



ENGINEERING STAMP FOR STRUCTURAL DESIGN REVIEW (240729-ON REV2)

DATE	BY

FOR REVIEW	
PRELIMINARY	



PRIVATE RESIDENCE

5635 S Island Park Dr  
Manitick, Ontario

**SITE PLAN**

DATE: 05-07-2024

SCALE: 1/8" = 1'-0"

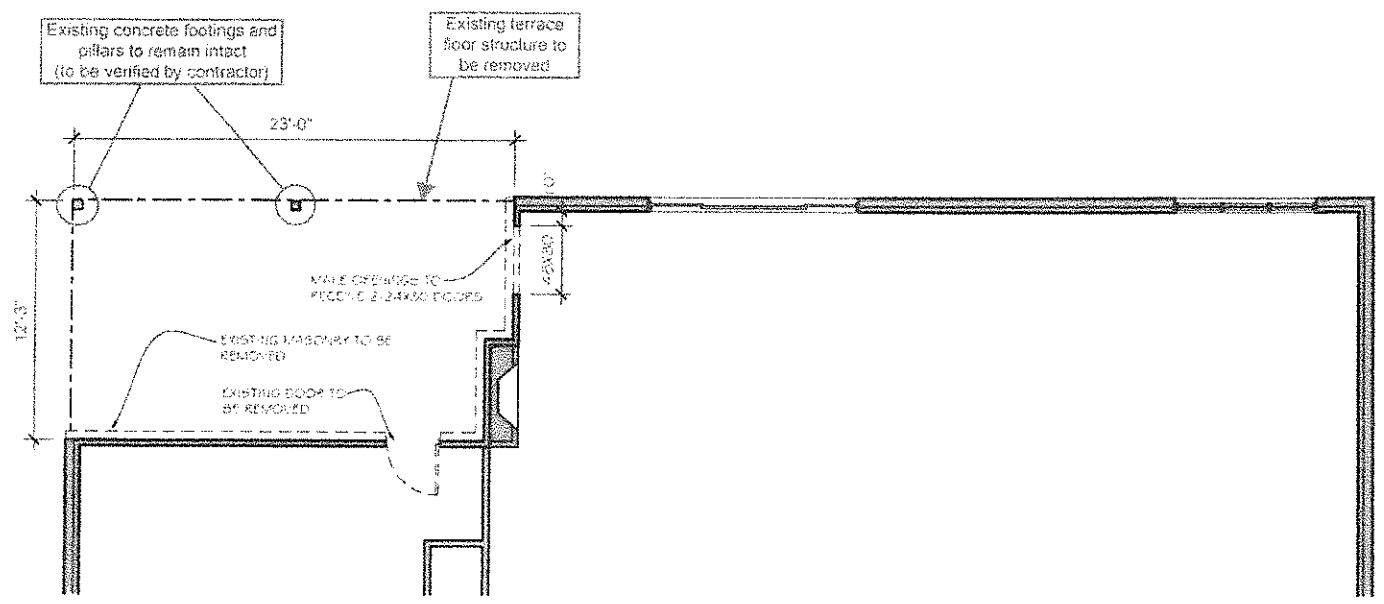
PROJECT: 240729-ON

A-01

05-950



Committee of Adjustment  
**SEP 12 2024**  
City of Ottawa



DEMOLITION PLAN  
A-02 SCALE 1/8"=1'-0"

Committee of Adjustment  
SEP 12 2024  
City of Ottawa

**DEMOLITION NOTES**

DURING THE DEMOLITION WORK, THE CONTRACTOR OR THE PERSON EXECUTING THE PLANS, MUST ENSURE THE STABILITY OF THE EXISTING STRUCTURE. THIS WORK WILL BE UNDER HIS TOTAL RESPONSIBILITY.

THE CONTRACTOR OR THE PERSON EXECUTING THE PLANS MUST VERIFY THE EXISTING STRUCTURE, REPLACE OR SOLIDIFY THE EXISTING ELEMENTS, IF NECESSARY, ADVISE ENGINEER IF DIFFERENCE IS SHOWN.

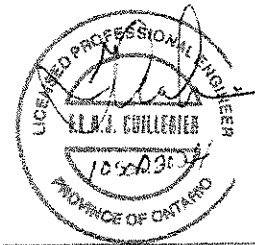
FURTHER TO THE DEMOLITION WORK, THE CONTRACTOR OR THE PERSON EXECUTING THE PLANS HAS THE OBLIGATION TO REPAIR ALL SURFACES AFFECTED BY THE DEMOLITION.

**LEGEND**

EXISTING WALL TO REMAIN

EXISTING MASONRY TO BE REMOVED

ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR



ENGINEERING STAMP FOR STRUCTURAL DESIGN REVIEW (240729-ON REV2)

NAME	
ADDRESS	
PHONE	
DATE	



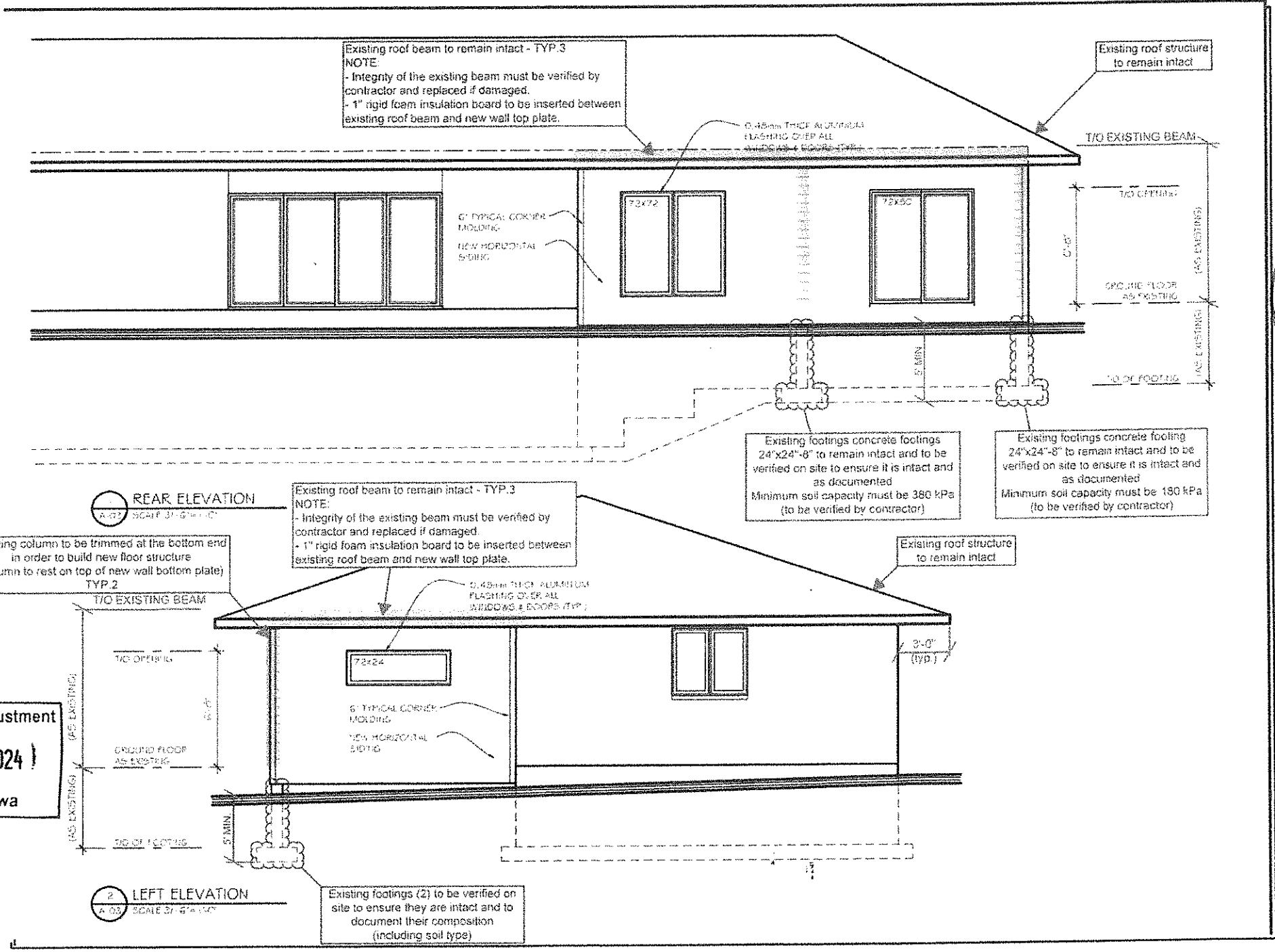
PRIVATE RESIDENCE

5633 S. Island Park Dr  
Markham, Ontario

DEMOLITION PLAN

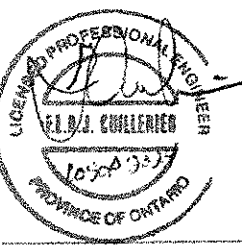
DATE: 05-16-2024  
BY: [Signature]  
SCALE: 1/8"=1'-0"  
PROJECT NO: 24-07-2024  
DRAWING NO: A-02

05-950  
▲



THIS SET SHOULD BE READ AS A FULL DOCUMENT AND NOTES AND ILLUSTRATIONS INCLUDED HEREIN ARE MEANT TO ILLUSTRATE INTENT AND MAY VARY DEPENDING ON EXISTING SITE CONDITIONS, BUILDING MATERIALS, AND BUILDING METHODOLOGY AS PER CBC DIV. C 3.2.5. (1)(c).

ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR



ENGINEERING STAMP FOR STRUCTURAL DESIGN REVIEW (240729-ON REV2)

DATE	
FOR REVIEW	
PRELIMINARY	



PRIVATE RESIDENCE

5635 S. Island Park Dr  
 Manick, Ontario

ELEVATIONS

DATE: 25-06-2024  
 SHEET NO: A-03  
 PROJECT NO: 05-950

Committee of Adjustment  
 SEP 12 2024  
 City of Ottawa

THIS SET SHOULD BE READ AS A FULL DOCUMENT AND NOTES AND ILLUSTRATIONS INCLUDED HEREIN ARE MEANT TO ILLUSTRATE INTENT AND MAY VARY DEPENDING ON EXISTING SITE CONDITIONS, BUILDING MATERIALS, AND BUILDING METHODOLOGY AS PER OBC D.M.V. 3.2.5.1.(1)(g).

ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR



ENGINEERING STAMP FOR STRUCTURAL DESIGN REVIEW (240729-ON REV2)

DATE	
FOR REVIEW	
BY	

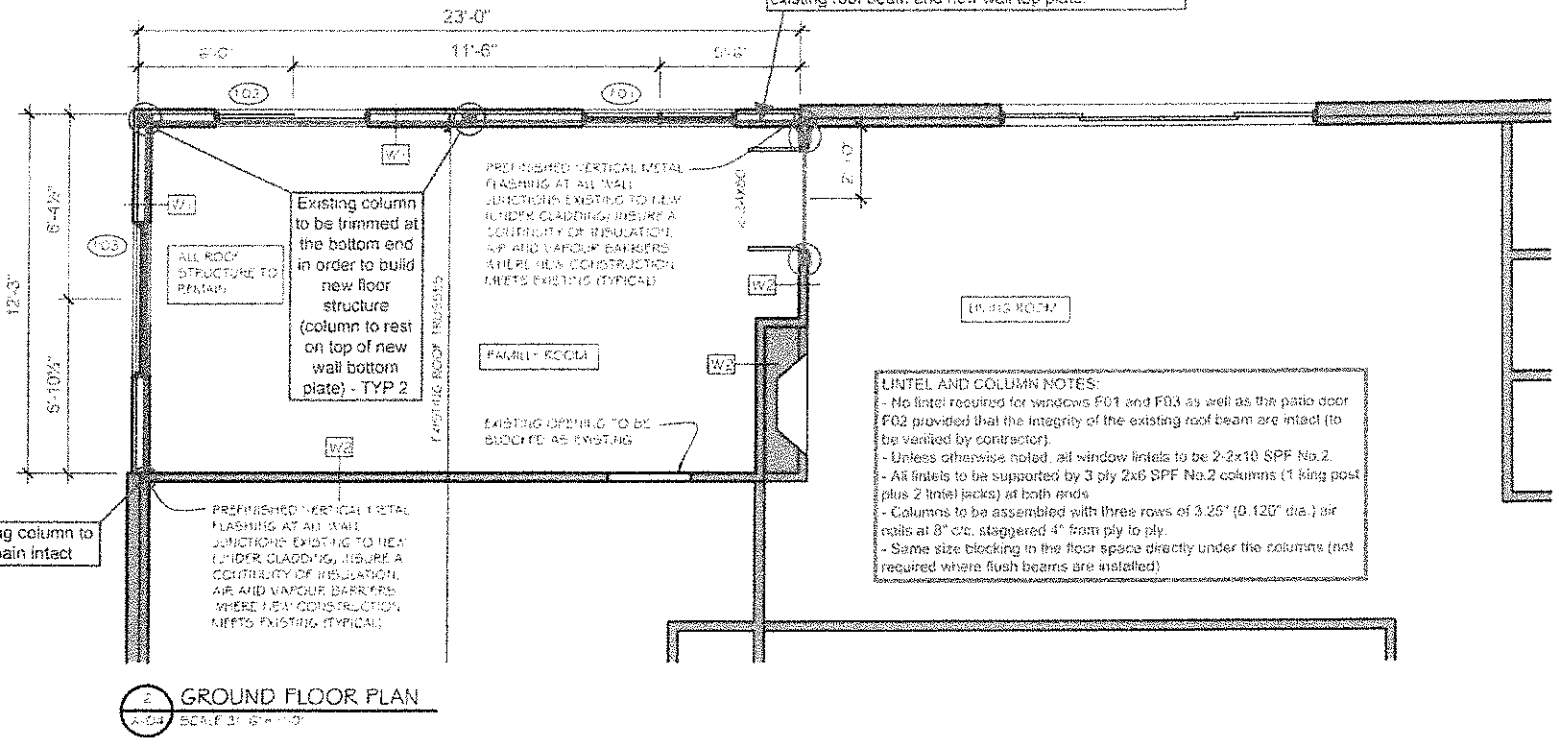
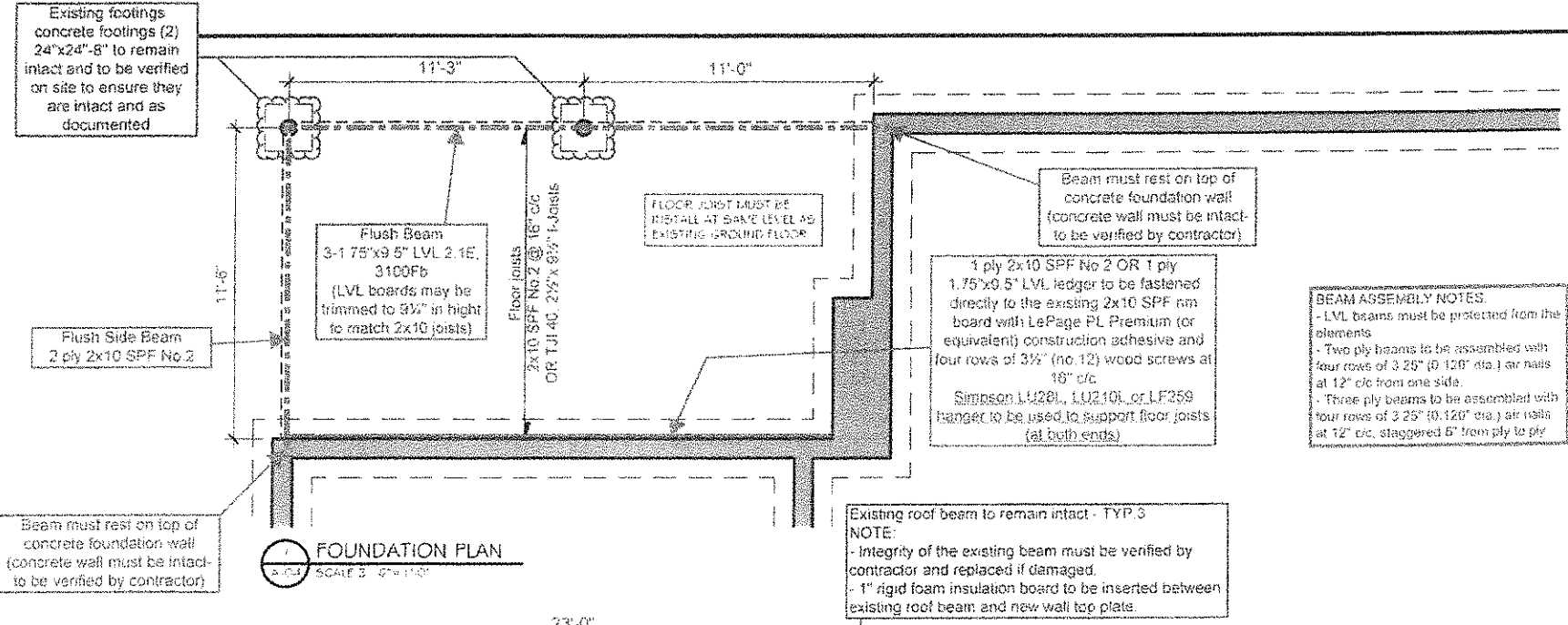


PRIVATE RESIDENCE

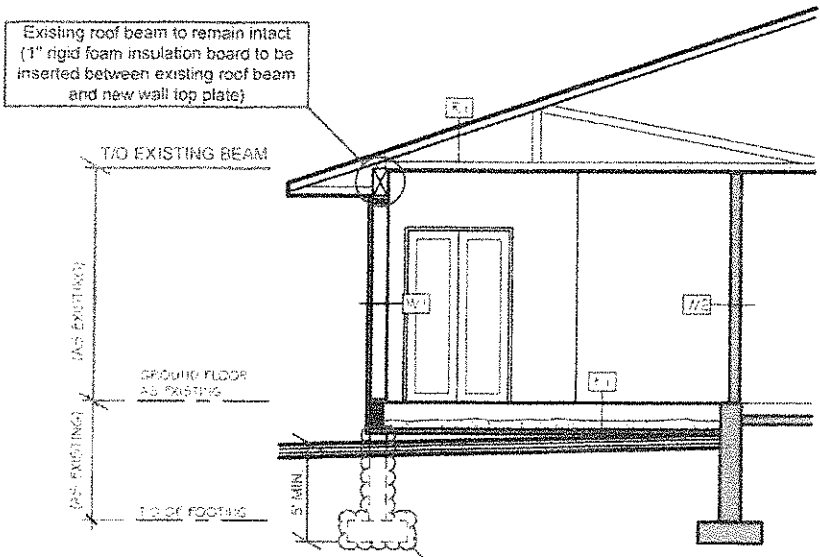
5635 S. Island Park Dr  
Markham, Ontario

PLANS

DATE: 05-07-2024  
SCALE: AS SHOWN  
PROJECT: A-04



Committee of Adjustment  
SEP 12 2024!  
City of Ottawa



Existing roof beam to remain intact (1" rigid foam insulation board to be inserted between existing roof beam and new wall top plate)

T/O EXISTING BEAM  
 (AS EXISTING)  
 GROUND FLOOR AS FINISH  
 (AS EXISTING)  
 1.0 OF FOOTING

CROSS SECTION  
 A-05 SCALE 3/4" = 1'-0"

Existing footings (2) to be verified on site to ensure they are intact and to document their composition (including soil type)

**TYPICAL SIDING WALL CONSTRUCTION**

- [W1] HORIZONTAL SIDING  
 1"x3" STRAPPING @ 16" C/C  
 TYVEK HOMEWRAP OR EQUIVALENT  
 MAX 0.02 U/m<sup>2</sup>  
 2x6 S.F. R18 C.I. SHEATHING  
 2x6 SPF STUDS @ 16" o/c  
 R-22 BATT INSULATION  
 0.006" POLY VAPOR BARRIER  
 1/2" GYPSUM BOARD

**TYPICAL INTERIOR WALL**

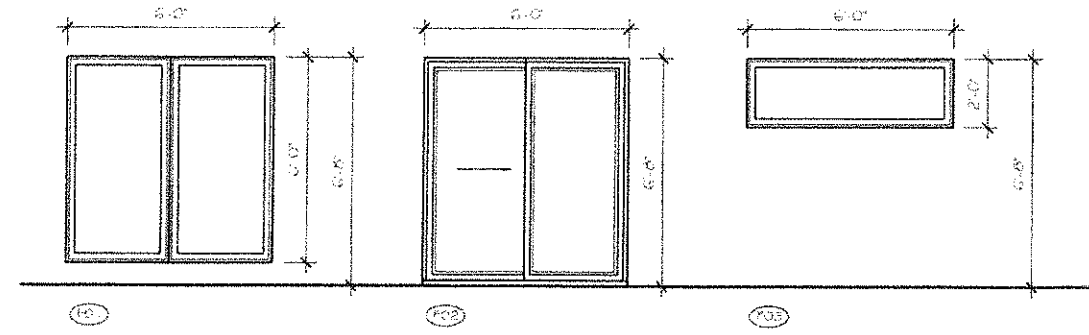
- [W2] NEW 1/2" GYPSUM BOARD ON PREVIOUSLY EXTERIOR WALL  
 EXISTING WALL TO REMAIN INTACT

**FLOOR TYPE**

- [F1] FLOOR COVERING  
 5/8" T&G PLYWOOD  
 FLOOR JOIST  
 AIR SPACE 4" MIN  
 3" XRETHANE INSULATION  
 5/8" PLYWOOD  
 1" X2" RIGID INSULATION  
 AIR BARRIER  
 1/2" STRAPPING  
 VENTILATED SCOTCH

**TYPICAL ROOF**

- [R1] EXISTING ROOF COVERING  
 SHEATHING AND TRUSSES TO REMAIN INTACT AND REPAIRED IF DAMAGED (to be determined by contractor)  
 SHINGLES MUST PROJEKT MIN. 1" BEYOND FASCIA  
 R-30 BATT INSULATION  
 1"x4" STRAPPING @ 16" C/C  
 0.006" POLY A/V/B  
 1/2" GYPSUM BOARD



**NOTES (CONSTRUCTION)**

The contractor or person executing the plans must ensure the stability of the existing structure for the duration of the work and has the obligation to repair or replace all existing surfaces affected by the demolition.

The engineer denies all responsibility for any construction faults and/or material problems concerning the work specified on these drawings.

Periodically and at the end of the work, all scraps must be cleaned from the premises. The work zone must be kept in clean conditions, to the client's satisfaction.

Provide and foresee all drilling and cutting required for the work and repair all damaged surfaces during the execution of the work.

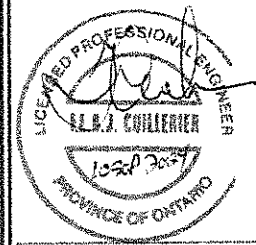
The contractor or the person executing the work is responsible for the execution of any work not described on these plans but necessary for the realization of the project according to the rulebook.

Repair/bond or replace any existing elements affected by the work. Repair and prepare adequately all surfaces before executing the finishing work.

Finish and install all required elements for the complete and perfect execution of the project.

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ALL DIMENSIONS TO BE VERIFIED ON SITE BY CONTRACTOR



ENGINEERING STAMP FOR STRUCTURAL DESIGN REVIEW (240729-ON REV2)

DATE	05-07-2024
FOR TENDR	
PRELIMINARY	
SCALE	1/4" = 1'-0"



PRIVATE RESIDENCE

5633 S. Island Park Dr.  
 Markham, Ontario

**CROSS SECTION**

DATE	05-07-2024
BY/REV	BY/REV 1455P
SCALE	3/4" = 1'-0"
PROJECT	A-05
PROJECT NO.	05-950

Committee of Adjustment  
 SEP 12 2024  
 City of Ottawa