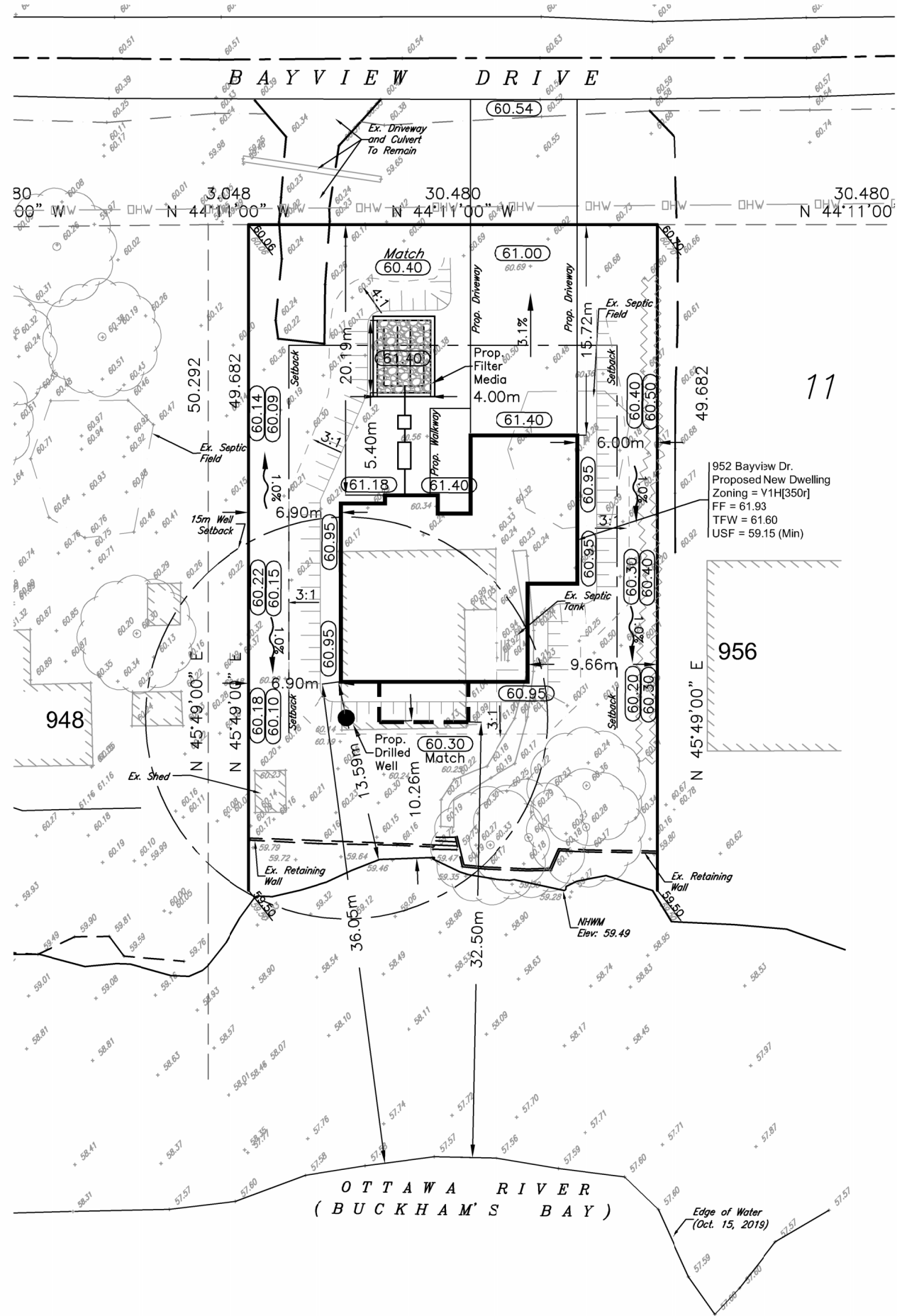


**Committee of Adjustment
Received | Reçu le**

2024-09-03

**City of Ottawa | Ville d'Ottawa
Comité de dérogation**



- Notes:**
- ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION, IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE DESIGNER PROMPTLY.
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 - THIS PLAN IS TO BE READ IN CONJUNCTION WITH ANY ARCHITECTURAL PLANS, LANDSCAPING PLANS, STRUCTURAL PLANS ELECTRICAL PLANS, MVCE FLOOD ROOFING REQUIREMENTS AND ANY OTHER THAT MAY APPLY.
 - CONTRACTOR TO PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT.
 - THE CONTRACTOR SHALL MANAGE AND DISPOSE OF ALL EXCESS MATERIAL.
 - ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE INSTRUCTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATION, MARKERS AND BARRIERS.
 - DO NOT ALTER THE GRADING OF THE SITE WITHOUT PRIOR APPROVAL FROM THE CITY OF OTTAWA.
 - ALL FOOTINGS, FOUNDATIONS AND TILE DRAIN INSTALLATION MUST CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
 - ENSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
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 - BASE FABRIC DERIVED FROM PLAN PLAN 597.
 - EAVES TO BE INSTALLED.
 - EAVES DOWNSPOUT DISCHARGE WILL BE AT LEAST 1.5M INSIDE THE PROPERTY LINE AND NOT DIRECTED TO THE SIDE YARD.
 - ALL TREES THAT ARE NOT IN THE FOOTPRINT OF THE EXCAVATION AND GRADING WILL BE PROTECTED DURING AND AFTER CONSTRUCTION.
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FF = Finished Floor
TFW = Top of Foundation Wall
USF = Underside of Footing
TG = Top of Ground
TT = Top of Tank
UST = Underside of Tank

- Legend:**
- UP Ex. Utility Pole
 - Existing Grade
 - Existing Overhead Wires
 - Existing Fence
 - Existing Top of Slope
 - Existing Laneway
 - Existing Centerline
 - Existing Edge of Pavement
 - Existing Ditch
 - Proposed Grade
 - Existing Grade
 - Slope and Direction
 - Proposed Swale (0.15m Min Deep) 3:1 max side slopes
 - Proposed Grade
 - Existing Hedge/Tree
 - Proposed Terracing (3H:1V Max) (Max 4.5m from Foundation)
 - Proposed limit of Grading (Match Existing)
 - Proposed Retaining Wall
TOW = Top of Wall
BOW = Bottom of Wall
 - Proposed Down Spout

Existing House Area:
135.3 sq.m (1,456 sq.ft)

Proposed House Area:
248.0 sq.m (2,669 sq.ft)

Benchmarks:
BM 1:
MAG nail in HP between House 934 & 928
Elevation: 59.97

No.	Revision/Issue	Date
2	Added Dimension from Deck to NHWM	Feb 23 24
1	ISSUED FOR REVIEW	Jan 26 24

Client:
Mr. Paul Drolet
952 Bayview Dr.
Woodlawn, ON

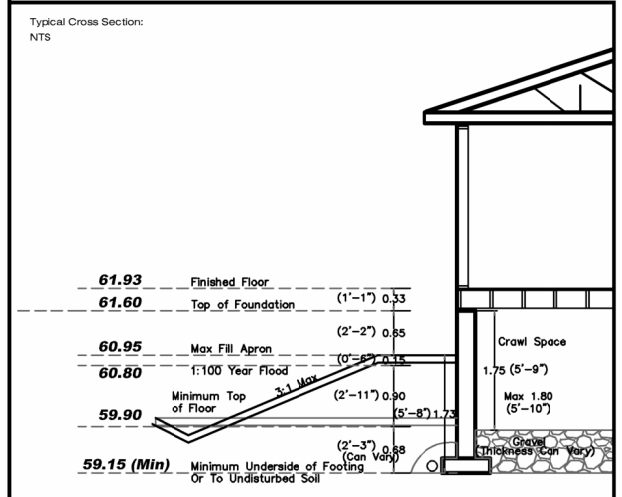
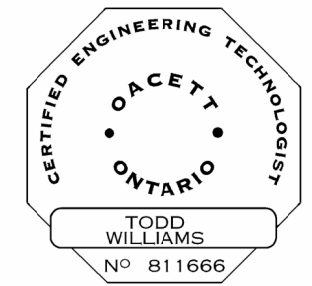
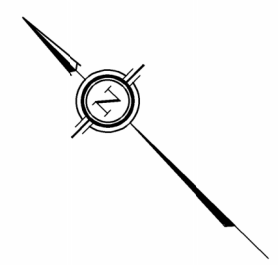
Drawing Title:
FEASIBILITY PLAN

Drawn by: TW
Designed by: TW
Checked by: PD

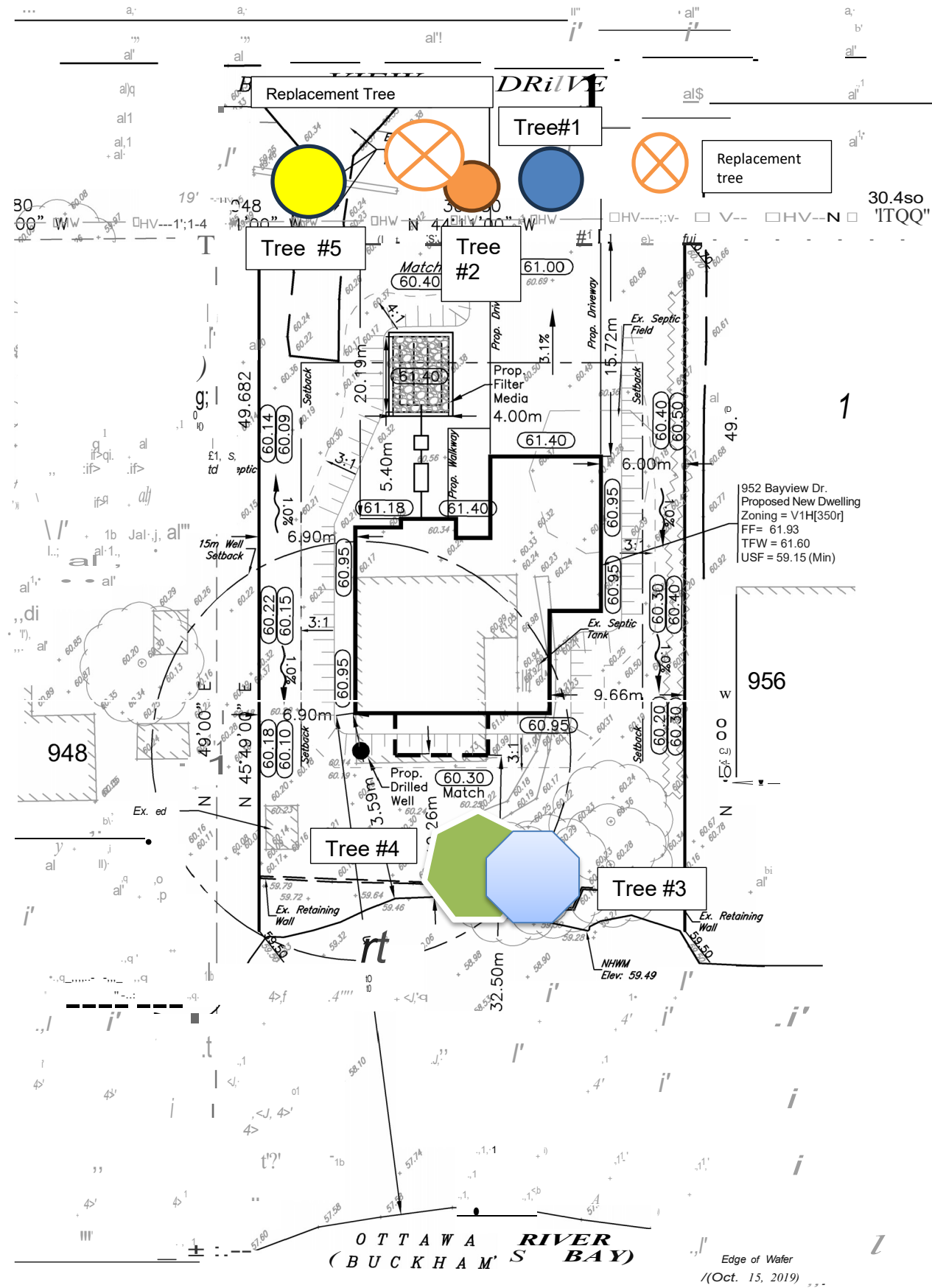
Project: 952 Bayview Dr

Scale: 1:400
Date: Jan 5, 2024

Drawing Number: **C1.1**
SHEET 1 of 1



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Legend:

○ UP	Ex. Utility Pole
○ 11-	Existing Grade
○ HW	Existing Overhead Wires
○ F	Existing Fence
○ T	Existing Top of Slope
○ L	Existing Laneway
○ C	Existing Centerline
○ E	Existing Edge of Pavement
○ H	Existing DHch
○ 1.QMO	Proposed Grade
○ 107.40	Existing Grade
○ S	Slope and Direction
○ 0.15m	Proposed Swale (0.15m Min Deep)
○ 3:1	max side slopes
○ (115.10)	Proposed Grade
○ W.U	Existing Hedge/Tree
○ 3H:1V	Proposed Terracing (3H:1V Ir(ax)
○ Max 4.5m	(Max 4.5m from foundation)
○ 0	Proposed limit of Grading (Match Existing)
○ R	Proposed Retaining Wall
○ TOW	TOW = Top of Wall
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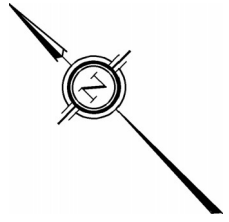
Benchmarks:
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 Elevation: 59.97

Added Dimension from Deck to NHWM	Feb 23.24
ISSUED FOR REVIEW	Jan 26.24
No. Revision/Issue	Date
Check and verify all dimensions before proceeding with the work. Do not scale drawings.	

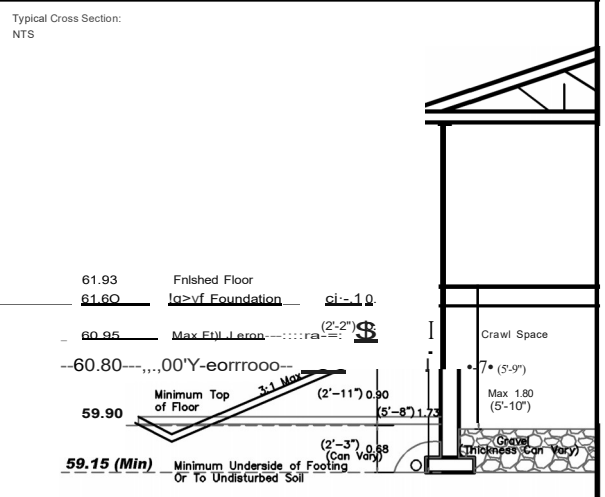
Mr. Paul Drolet
 952 Bayview Dr.
 Woodlawn, ON

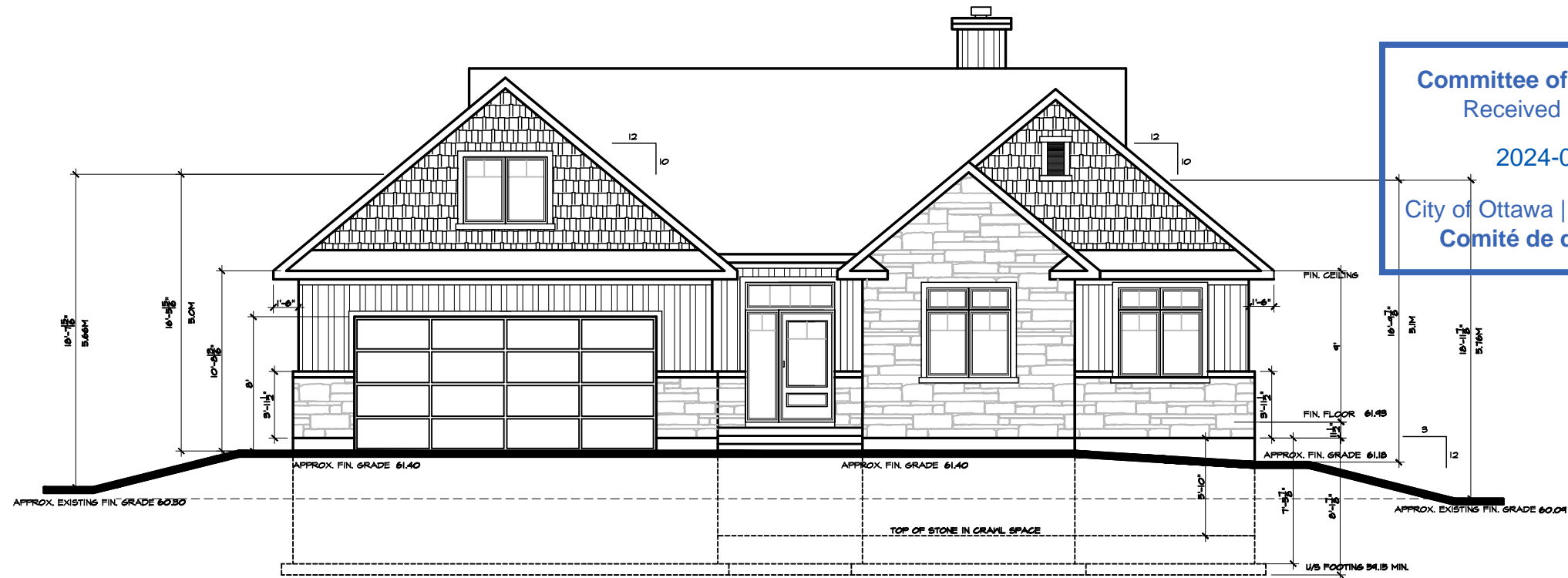
FEASIBILITY PLAN

Drawn by: TW	Project: 952 Bayview Dr
Designed by: TW	
Checked by: PD	
Scale: 1:400	Drawing Number: C1.1
Date: Jan 5, 2024	SHEET 1 of 1



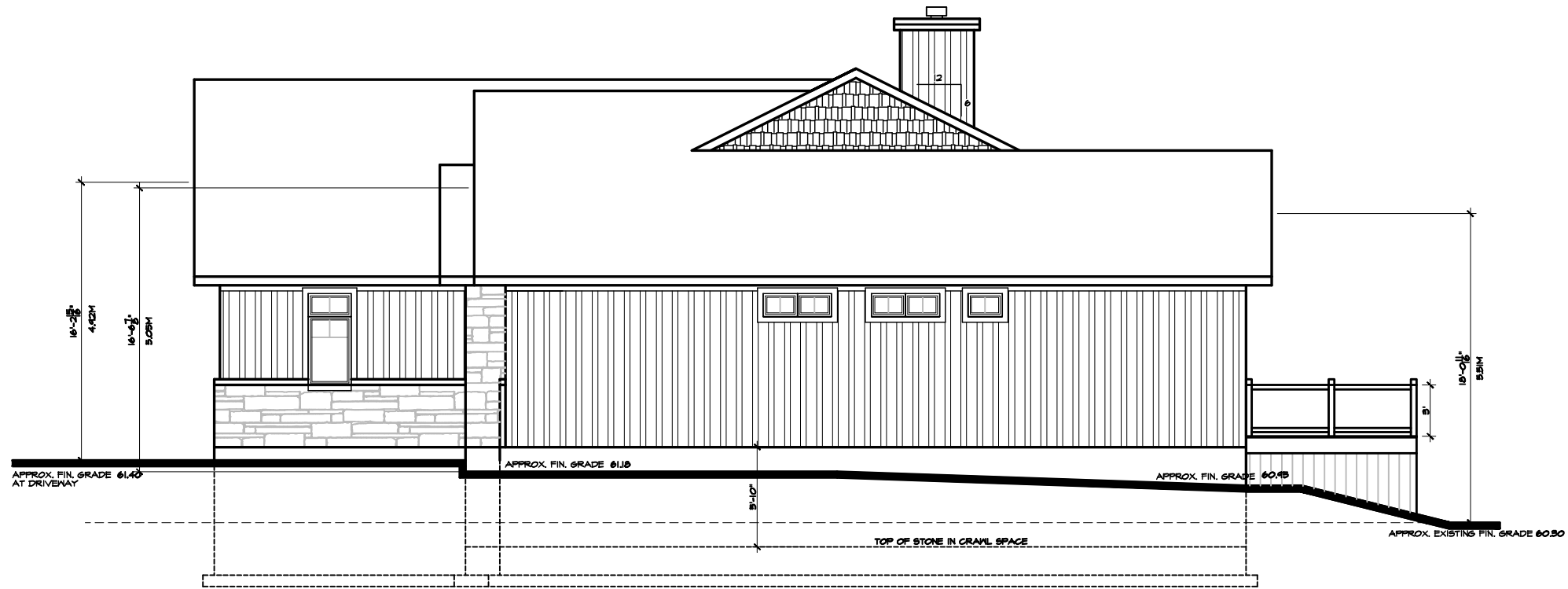
TODD WILLIAMS
 NO 811666





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PROPOSED ROAD SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION



ARCHITECTURAL CONSULTANTS LTD.
 444 HAZELDEAN RD.
 KANATA, ON. K2L 1V2
 TEL: (613) 435-2808
 FAX: (613) 435-3601

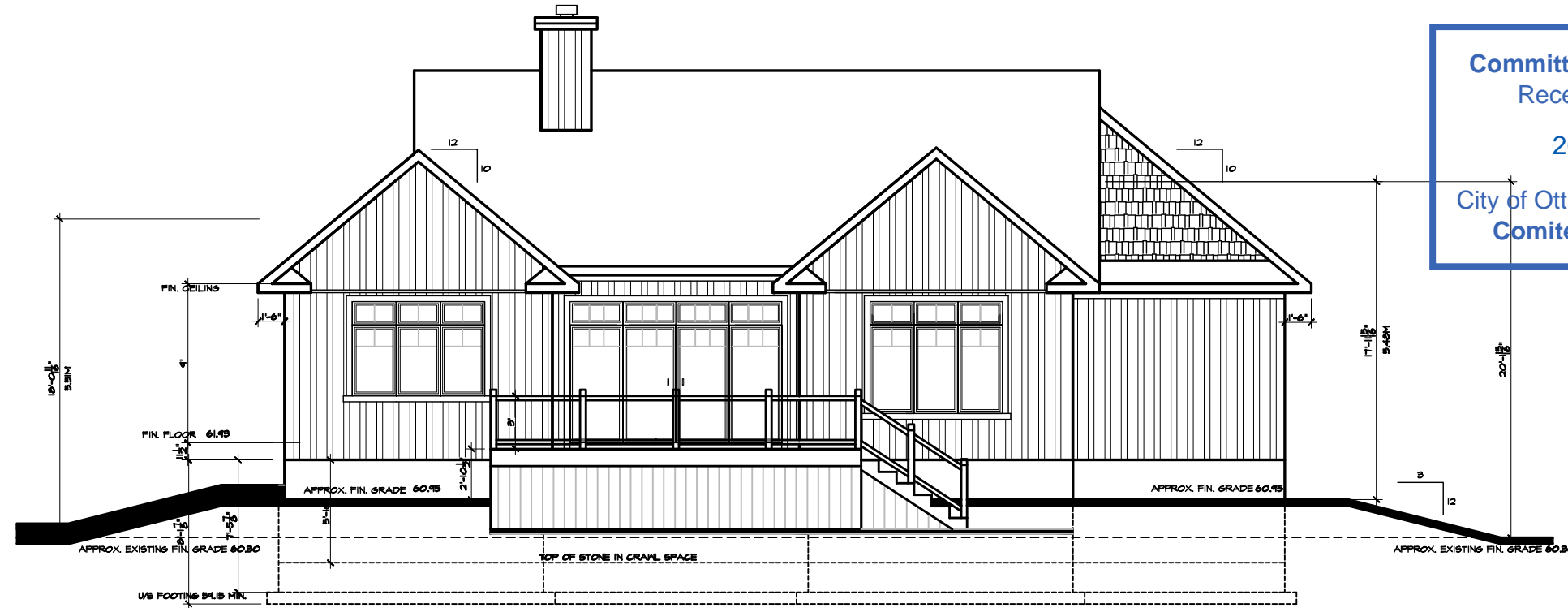
PROJECT
 PROPOSED HOME
 952 BAYVIEW DRIVE
 OTTAWA, ONT

CLIENT
 MR. & MRS. DROLET

DRAWING
 ELEVATIONS

SHEET NO. A2

SCALE 1/8" = 1'-0"

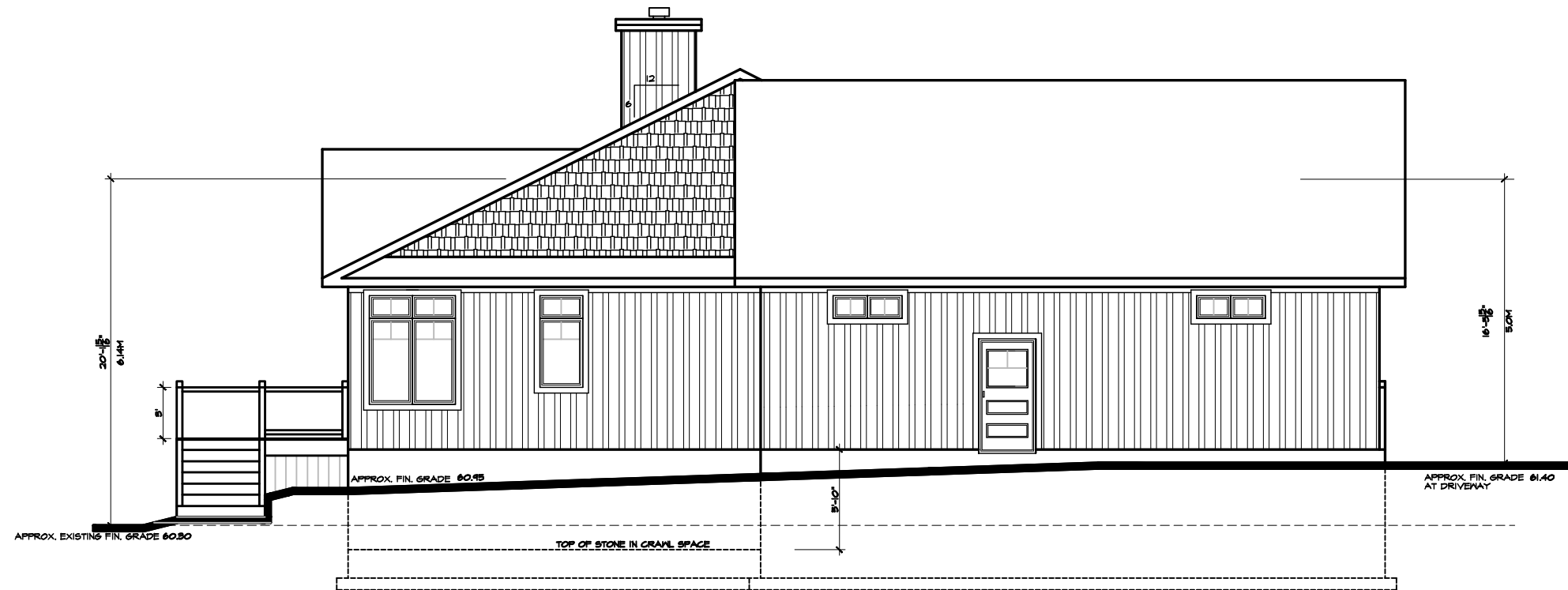


PROPOSED WATER SIDE ELEVATION

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PROPOSED LEFT SIDE ELEVATION

PROJECT
 PROPOSED HOME
 952 BAYVIEW DRIVE
 OTTAWA, ONT

CLIENT
 MR. & MRS. DROLET

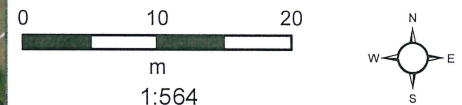
DRAWING
 ELEVATIONS

SHEET NO. A3

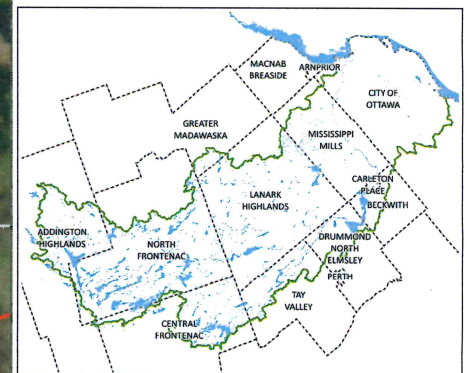
SCALE 1/8" = 1'-0"

Legend

- Parcels - Assessment
- MVCA Safe Access
- 1:100 yr Flood Plain
- Floodway
- 1m Contours
- Lot - Conc.
- Township Wards
- Waterbodies
- Constance Bay HWM



Projection: UTM Zone 18- NAD 83 Datum



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