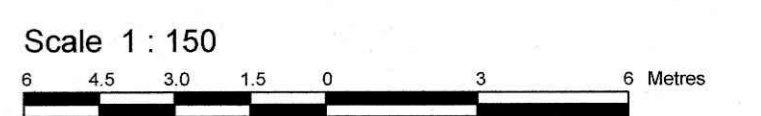


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SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of

LOT C
REGISTERED PLAN 282
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.



Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

- I CERTIFY THAT:
- This survey and plan are correct and in accordance with the Surveys Act and the Regulations made under them.
 - The survey was completed on the 28th day of June, 2021.

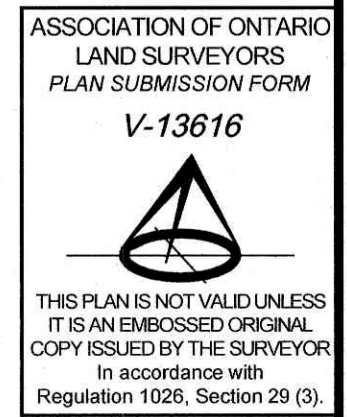
Date: July 13, 2021
Signature: [Signature]
Ottawa Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED July 13, 2021

ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to Keegan Gomes (The Client), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

Notes & Legend

Denotes	
□	Survey Monument Planted
■	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
CP	Concrete Pin
IB#	Round Iron Bar
(WIT)	Witness
Meas.	Measured
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(P)	Field Notes (725) November 7, 1979 (Ref. 476-79)
(P1)	Registered Plan 282
(P2)	(1287) Plan December 21, 1989
(P3)	(725) Plan July 17, 1987
(P4)	Plan 4R-14542
(P5)	(SG) Plan October 4, 2010
(P6)	Plan 5R-12153
(P7)	(1287) Plan October 27, 2011
(P8)	(AOG) Plan November 23, 2018
(P9)	Plan 4R-33370
○ FH	Fire Hydrant
⊗ WV	Water Valve
○ MH-ST	Maintenance Hole (Storm Sewer)
○ MH-S	Maintenance Hole (Sanitary)
⊗ VC	Valve Chamber (Watermain)
— OHW	Overhead Wires
□ CB	Catch Basin
□ CB	Catch Basin Inlet
△ S	Sign
CRW	Concrete Retaining Wall
T/G	Top of Grate
○ UP	Utility Pole
○ AN	Anchor
⊙	Diameter
○ C/L	Centreline
—	Property Line
○	Deciduous Tree
⊗	Coniferous Tree
+ 65.00	Location of Elevations
+ 65.00	Top of Concrete Curb/Wall Elevation
+ SP	Water Stand Post



Bearings are grid, derived from the southerly limit of Currell Avenue shown to be N66°17'20"E on Plan 4R-26376 and are referred to the Central Meridian of MTM Zone 9 (78°30' West Longitude) NAD-83 (original).

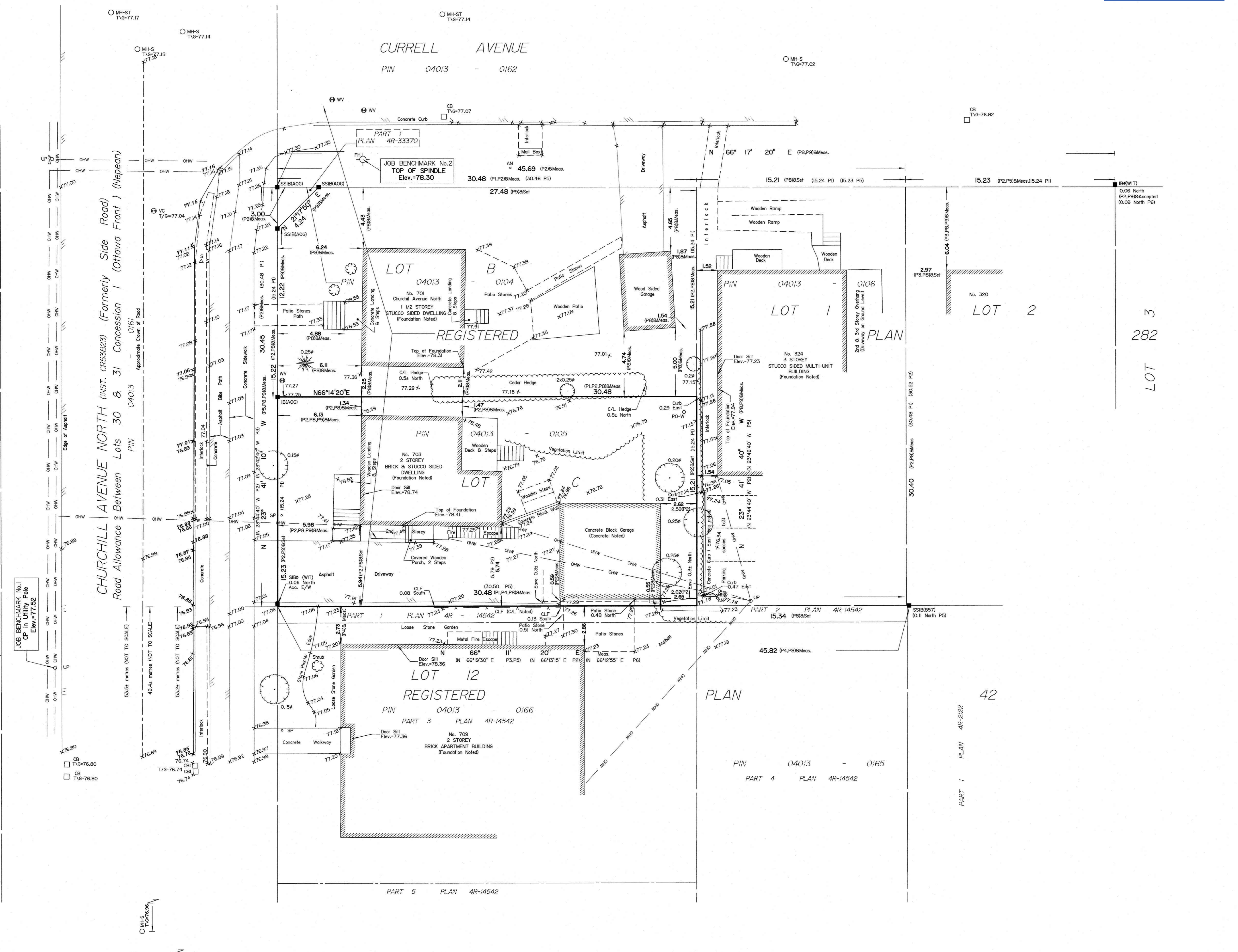
For bearing comparisons, a rotation of 00°12'25" counter-clockwise was applied to bearings on plan P2. 00°35'40" counter-clockwise was applied to bearings on plans P3 & P5.

ELEVATION NOTES

- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.



JOB BENCHMARK No. 1
CP in Utility Pole
Elev. 77.52

CHURCHILL AVENUE NORTH (INST. 4R-53823) (Formerly Side Road)
Road Allowance Between Lots 30 & 31 Concession 1 (Ottawa Front) (Nepean)

53.2 metres (NOT TO SCALE)
49.4 metres (NOT TO SCALE)
53.2 metres (NOT TO SCALE)
53.2 metres (NOT TO SCALE)

○ MH-S
T/G-76.80
○ MH-S
T/G-76.80





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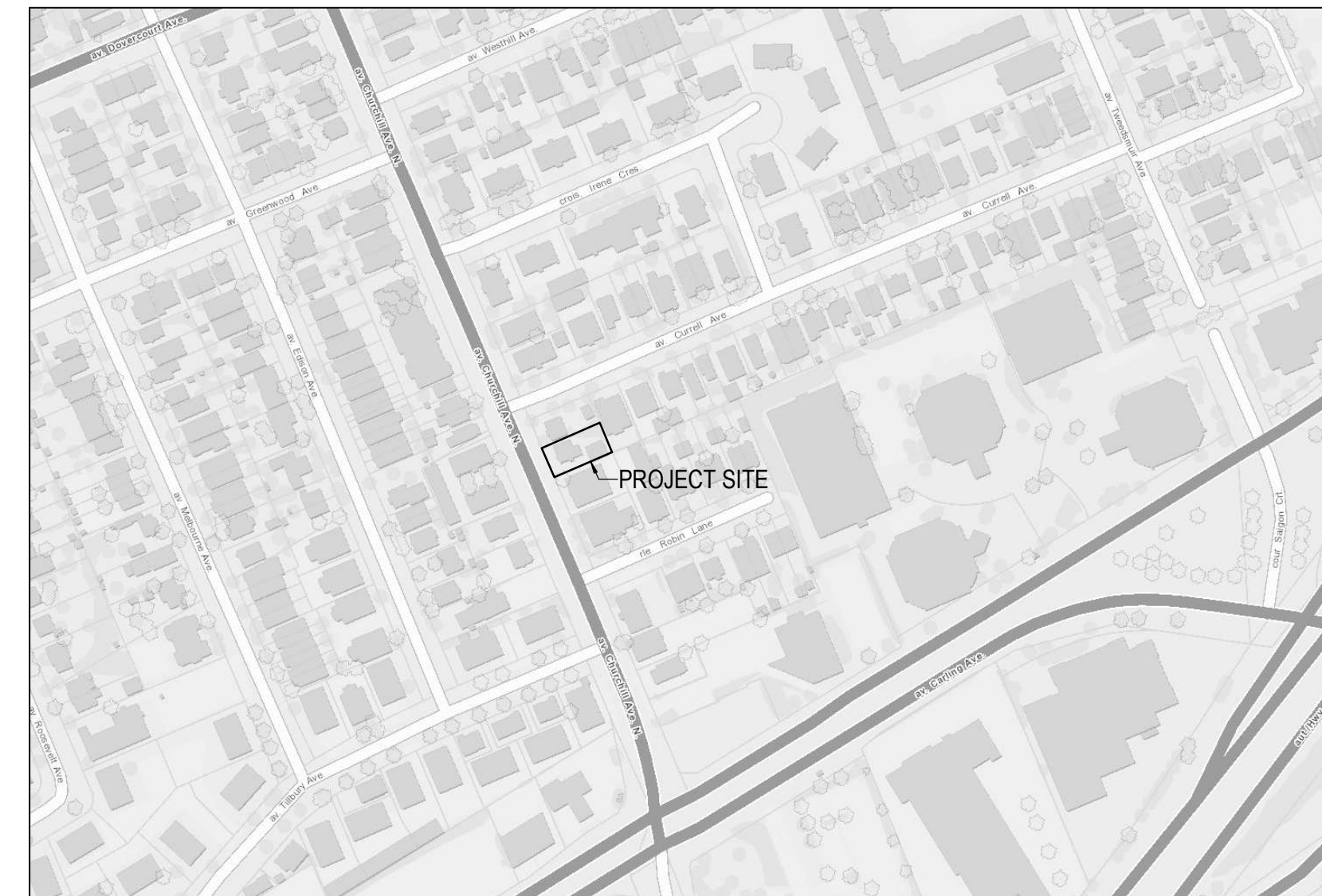
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Site Statistics		
Current Zoning Designation:	RAUC	
Lot Width:	15.23m	
Total Lot Area:	463.6m ²	
Average Existing Grade:	77.15m	
Gross Floor Area:	617m ²	
Building Area:	223m ²	
Floor Space Index:	1.89	

Proposed Development - 3 Storey Low-Rise Apartment Building		
No. of units:	10 Units	
Zoning Mechanism:	Required	Provided
Minimum Lot Width (152(a)):	15m	15.23m
Minimum Lot Area (152(a)):	450m ²	463.6m ²
Min. Front Yard Setback (152(a)):	4.5m	4.5m
Min. Interior Side Yard Setback (152(a)):	1.5m	1.5m
Min. Rear Yard Setback (152(a)):	9.1m	7.45m
Maximum Building Height (144(3)(a)(iv)):	30% of lot depth	10.6m
Parking Space Rates (Residents) (101(2)(b)(i) - Area X):	0 Spaces	0 Spaces
Minimum Visitor Parking Rates (102(2) (Sch. 1 - Area X)):	0 Spaces for first 10 units	0 Spaces
Bicycle Parking Rates (Residents) (Table 1114 (Sch. 1 - Area X)):	5 Spaces	6 Spaces
Front Yard Soft Landscaping (Table 181):	min. 40% of front yard area	43%
Rear Yard Soft Landscaping (181(15)(a)(iv)):	min. 50% of rear yard area	53%



SITE PLAN SYMBOLS LEGEND	
	BUILDING ENTRANCE
	BUILDING EXIT
	BICYCLE PARKING
	PROPERTY LINE
	SETBACK LINE
	OVERHEAD WIRES
	INTERLOCKING STONE PAVERS
	EXISTING TRAFFIC SIGNAL POST
	FDC FIRE DEPARTMENT CONNECTION
	FH FIRE HYDRANT
	NEW STREET LIGHT
	STREET LIGHT TO BE REMOVED
	EXISTING STREET LIGHT TO REMAIN
	EXISTING UTILITY POLE TO REMAIN
	UTILITY POLE TO BE REMOVED/RELOCATED

SITE PLAN SYMBOLS
SCALE: NTS

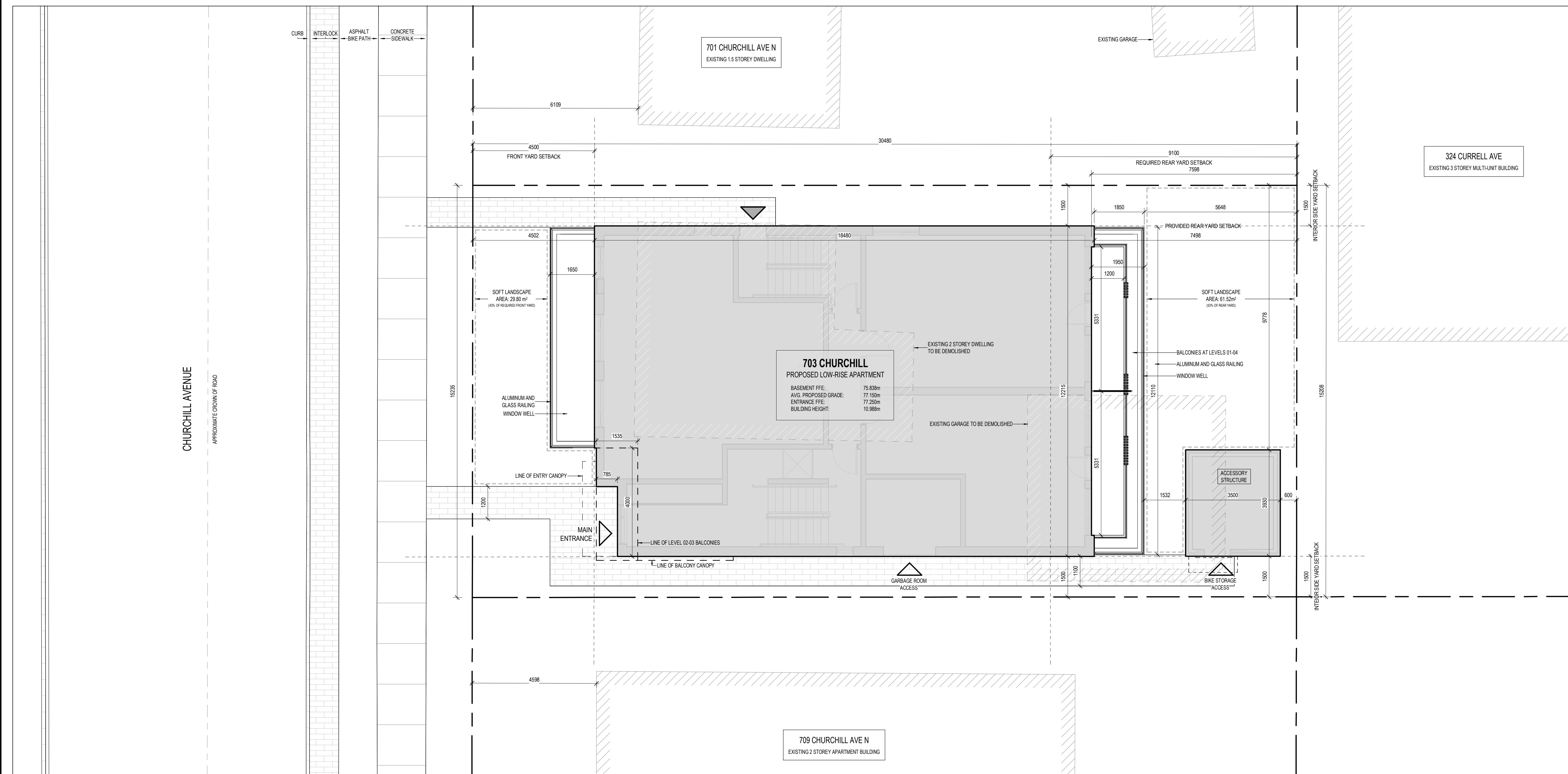
TOPOGRAPHIC PLAN OF SURVEY OF
LOT C
REGISTERED PLAN 282
CITY OF OTTAWA
BY ANNIS, O'SULLIVAN, VOLLEBECK LTD.

SURVEY INFO
SCALE: 1 : 100

3 SITE & PROJECT STATISTICS
SP-01 SCALE: 1 : 1

2 LOCATION PLAN
SP-01 SCALE: NTS

SURVEY INFO
SCALE: 1 : 100



GENERAL ARCHITECTURAL NOTES:

- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
- Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
- Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
- The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
- Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
- These documents are not to be used for construction unless specifically noted for such purpose.

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ISSUE	DESCRIPTION	DATE
6	ISSUED FOR MINOR VARIANCE	2024-10-25
5	ISSUED FOR COORDINATION	2024-09-09
4	ISSUED FOR COORDINATION	2024-08-29
3	ISSUED FOR COORDINATION	2024-08-20

ISSUE RECORD



project1 studio
Project1 Studio Incorporated
(613) 884-3939 | mail@project1studio.ca

703 Churchill
703 Churchill Ave
Ottawa, ON K1Z 5G6

PROJ	SCALE	DRAWN	REVIEWED
2406	NOTED	AR	RMK

SITE PLAN

1 SITE PLAN
SP-01 SCALE: 1 : 75

SP-01

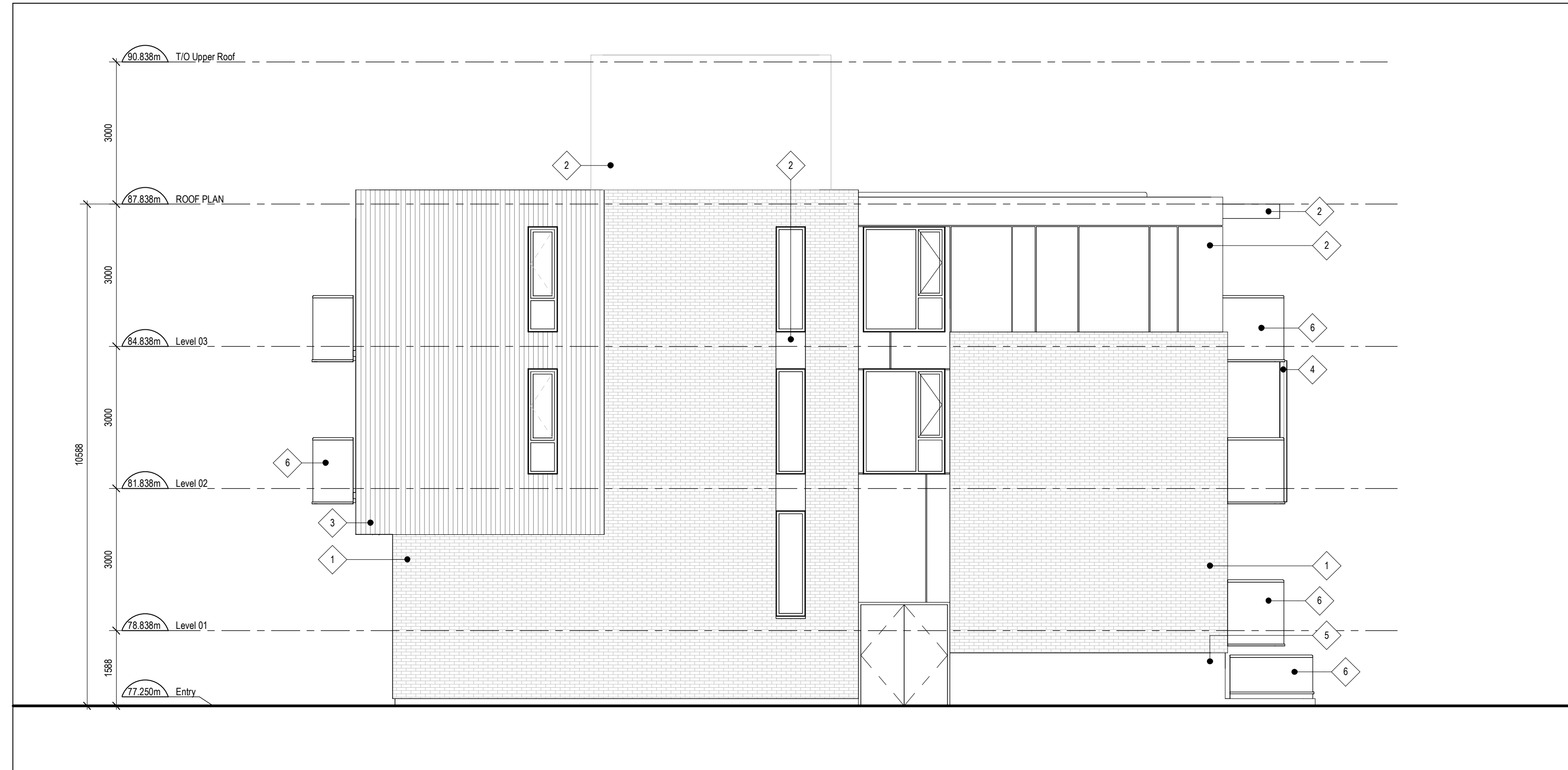
CLADDING LEGEND:

	1	BRICK MASONRY COLOUR: RED
	2	FIBRE CEMENT PANEL COLOUR: CHARCOAL
	3	WOOD SIDING COLOUR: CEDAR
	4	WOOD BATTEN SIDING COLOUR: CEDAR
	5	CONCRETE
	6	ALUMINUM AND GLASS RAILING

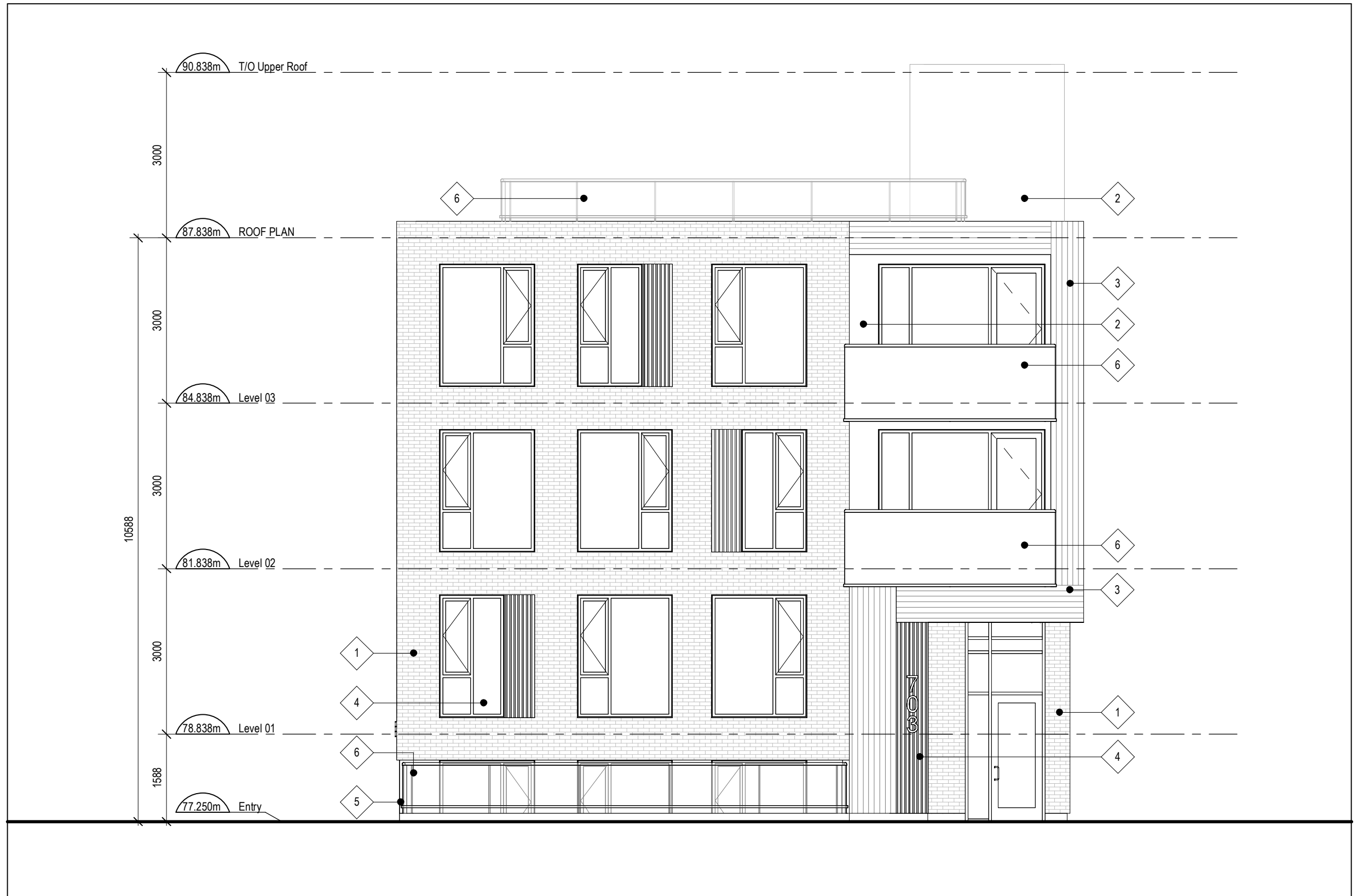
CLADDING LEGEND
SCALE: 1 : 100

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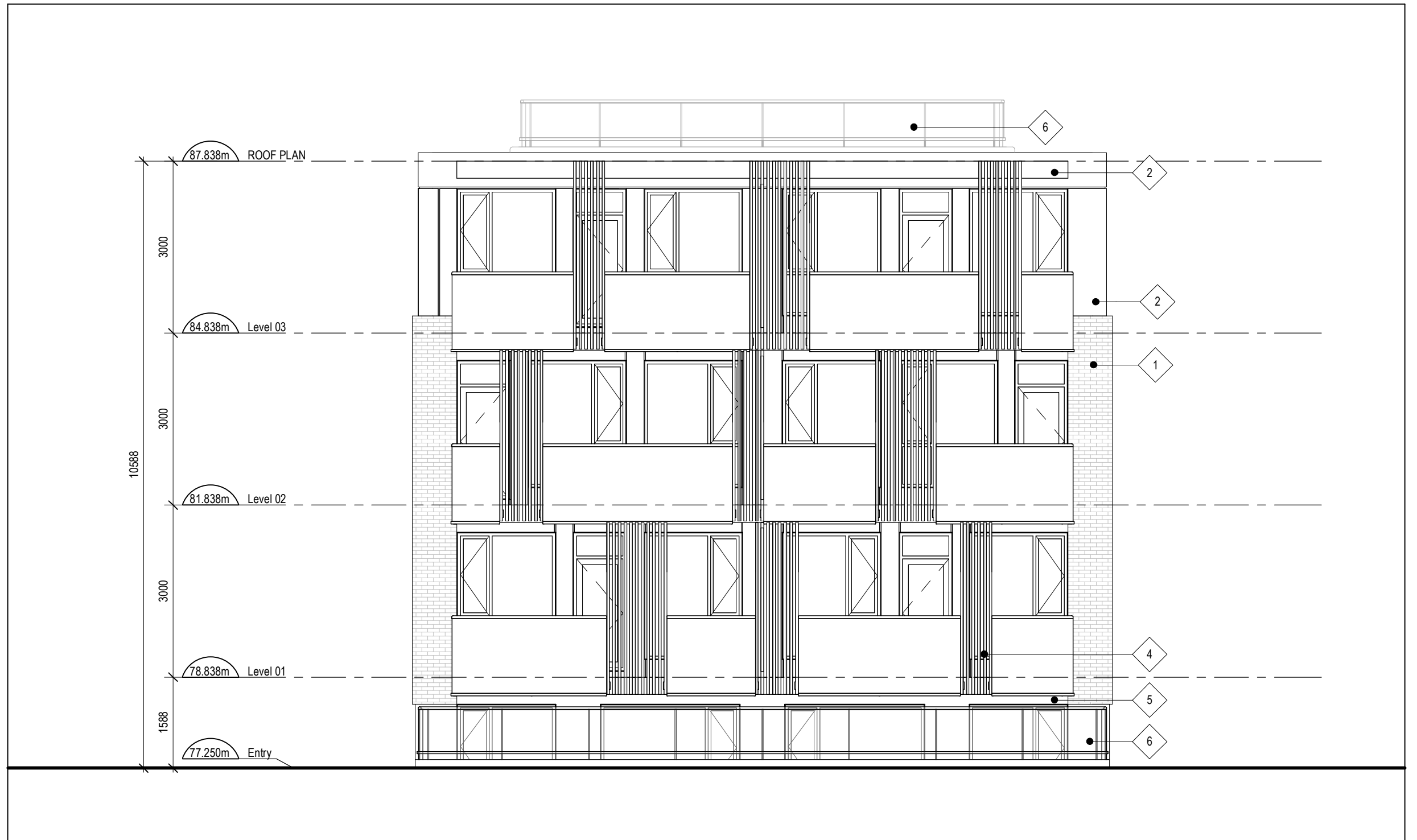
3 SOUTH ELEVATION
A201 SCALE: 1 : 75



1 WEST ELEVATION
A201 SCALE: 1 : 75



4 NORTH ELEVATION
A201 SCALE: 1 : 75



2 EAST ELEVATION
A201 SCALE: 1 : 75

6	ISSUED FOR MINOR VARIANCE	2024-10-25
5	ISSUED FOR COORDINATION	2024-09-09
4	ISSUED FOR COORDINATION	2024-08-29
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PROJ	SCALE	DRAWN	REVIEWED
2406	NOTED	AR	RMK

ELEVATIONS

A201