

Committee of Adjustment

Received | Reçu le

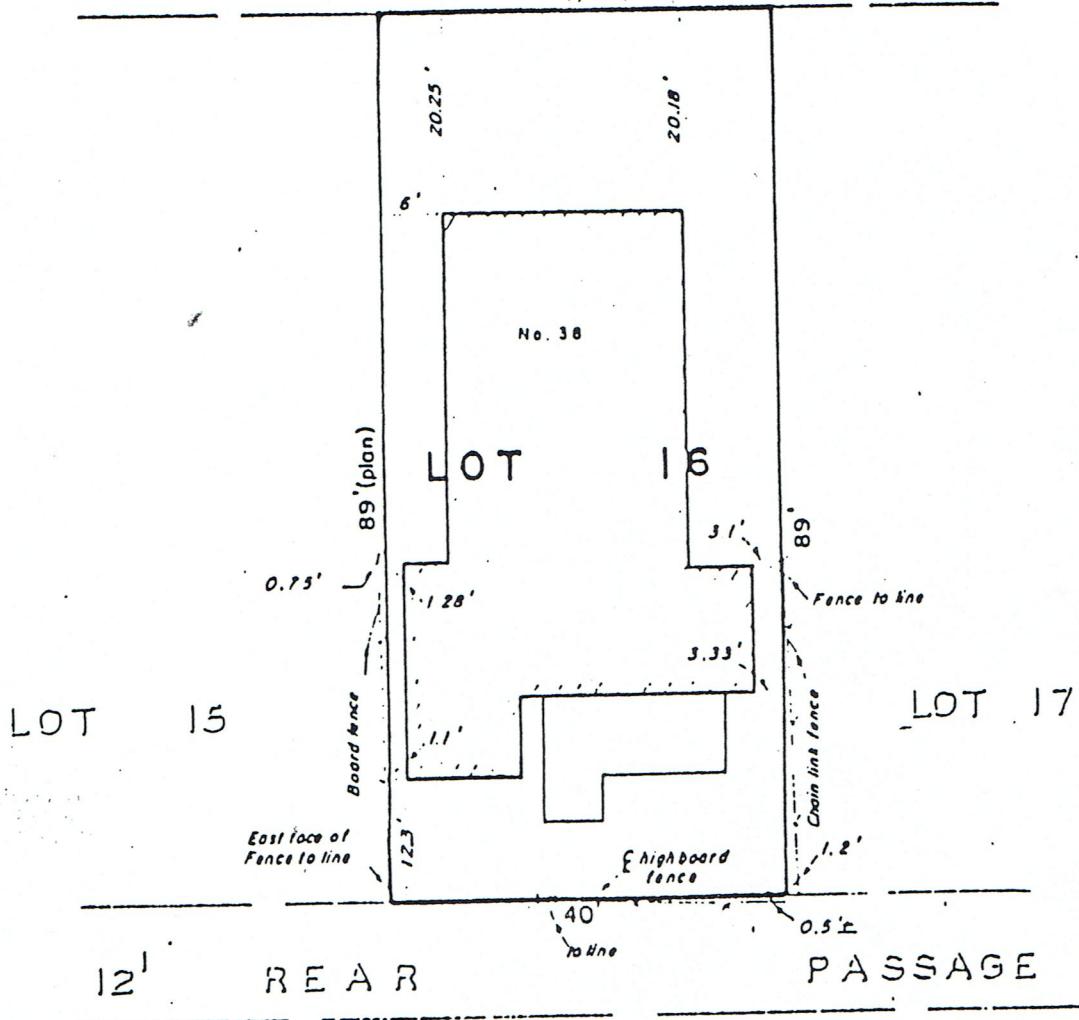
2024-11-26

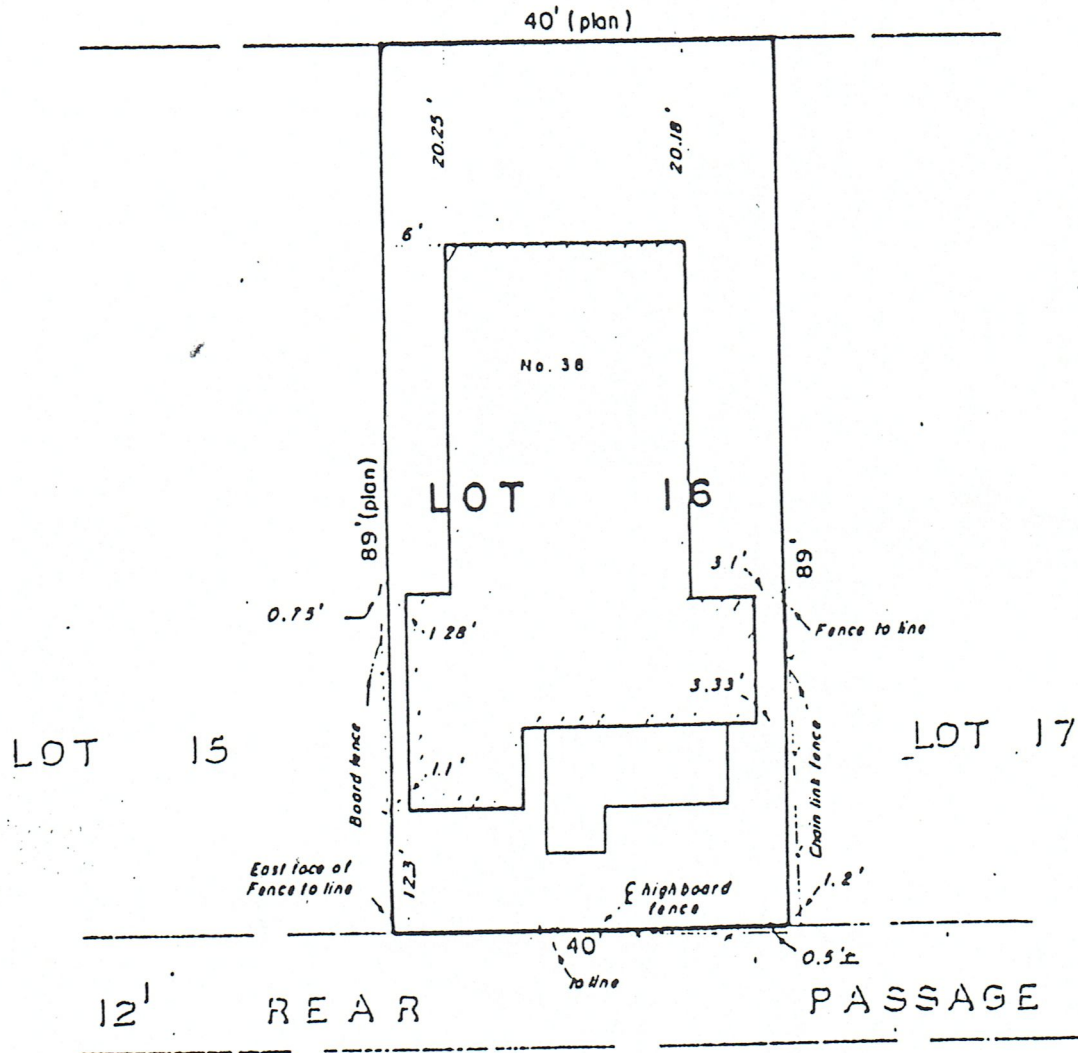
City of Ottawa | Ville d'Ottawa

Comité de dérogation

CLAREY AVENUE

40' (plan)





Note: Not For Registration Purposes

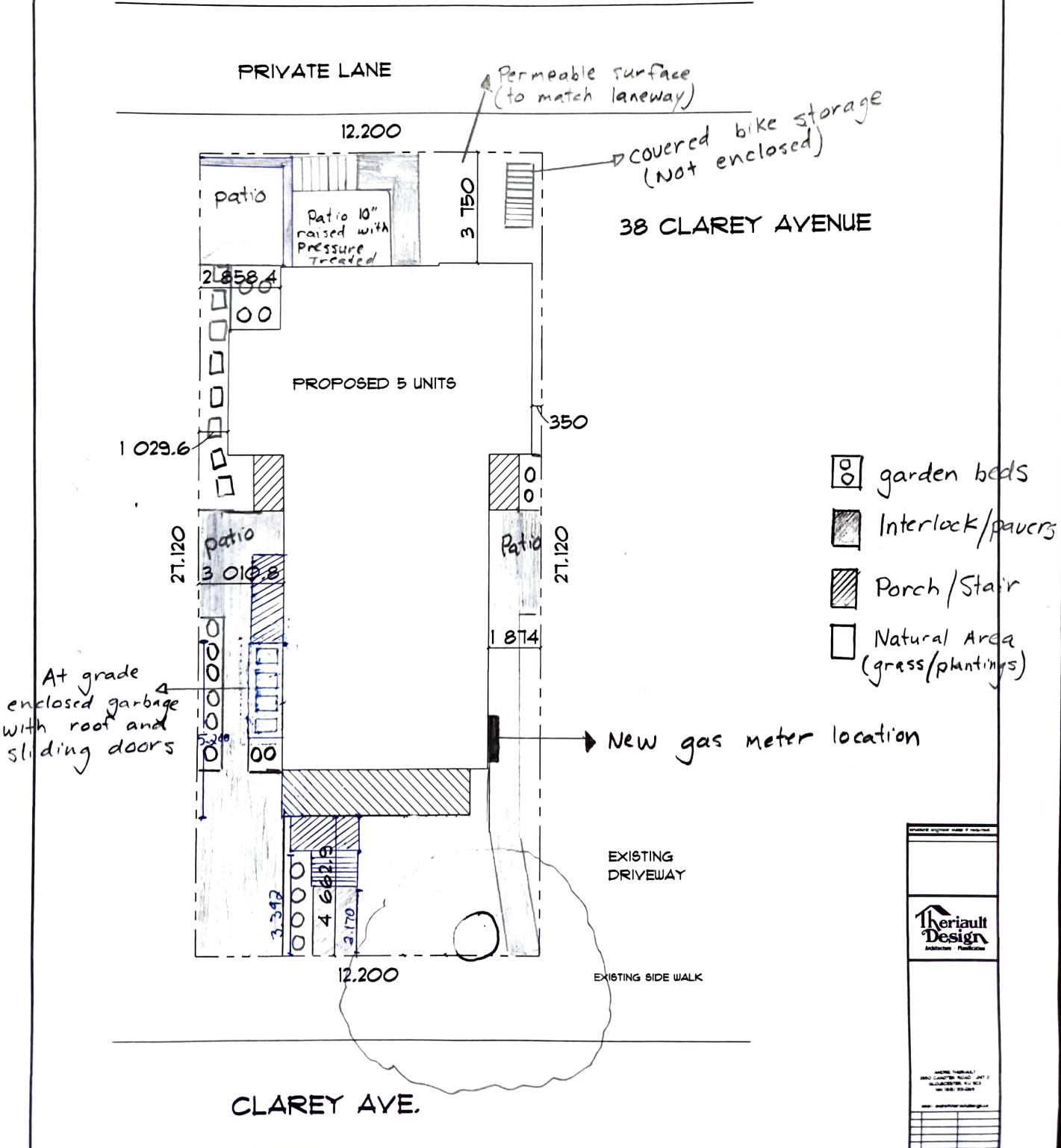
LEGEND
(If applicable)

- I.B. - ϕ - IRON BAR 24" x $\frac{3}{8}$ " ■
- S.I.B. - ϕ - STANDARD IRON BAR 4' x 1" ■
- X— INDICATES FENCE
- (Id.) - FOUND
- R.I.B. - ϕ $\frac{3}{4}$ " ROUND IRON BAR
- C.C. + - CUT CROSS
- N.B.W. ⊙ - NAIL & WASHER
- ▭ INDICATES HEDGE
- IdIn. - FOUNDATION

<p>FARLEY & MARTIN LTD. Professional Engineers — Ontario Land Surveyors OTTAWA, ONTARIO</p>		
<p>LOT 16 PLAN M - 13 South CLAREY AVENUE OTTAWA</p>		
Date: MAY 21 / 81	Scale: 1" = 20'	<p><i>H. R. Farley</i> D.L.S.</p>
Revised:		

2024-11-26

City of Ottawa | Ville d'Ottawa
Comité de dérogation



- garden beds
- Interlock/pavers
- Porch/stair
- Natural Area (grass/plantings)

SITE PLAN

SCALE 1:200

Therault Design
Architects & Planners

PROPOSED RENOVATION
38 CLAREY AVENUE

4

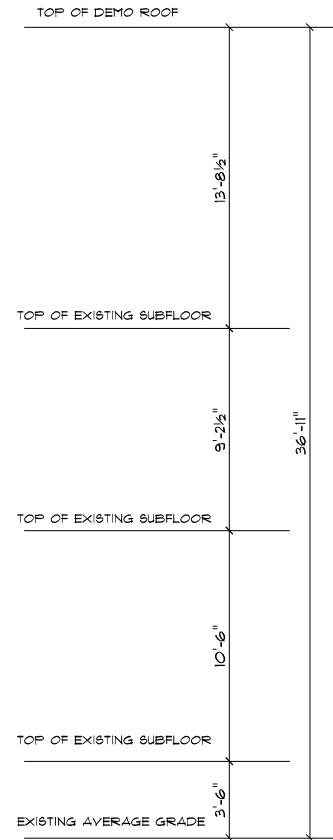
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2024-11-26

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Comité de dérogation



EXISTING FRONT ELEVATION



structural engineer stamp if required:



3	REVIEW	6 OCT 2024
2	P.ENG	21 SEPT 2024
1	PERMIT	7 SEPT 2024

project name

PROPOSED RENOVATION
FOR
38 CLAREY AVENUE

drawn by

A. THERIAULT

drawing no

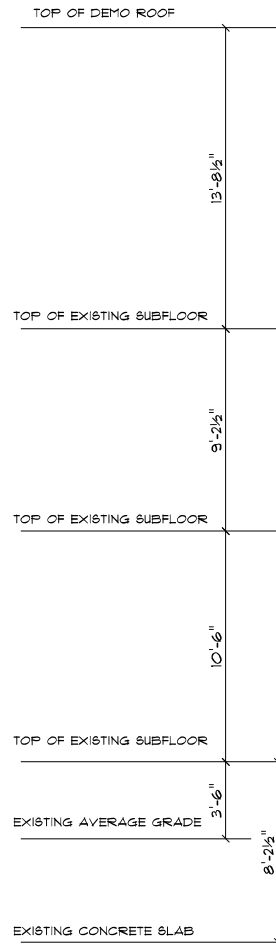
1

project no.

2024-463



EXISTING REAR ELEVATION



structural engineer stamp if required:



3	REVIEW	6 OCT 2024
2	P.ENG	21 SEPT 2024
1	PERMIT	7 SEPT 2024

project name

PROPOSED RENOVATION
FOR
38 CLAREY AVENUE

drawn by	drawing no
A. THERIAULT	2
project no.	14
2024-463	



EXISTING RIGHT ELEVATION

structural engineer stamp if required:



3	REVIEW	6 OCT 2024
2	P.ENG	21 SEPT 2024
1	PERMIT	7 SEPT 2024

project name
 PROPOSED RENOVATION
 FOR
 38 CLAREY AVENUE

drawn by	drawing no
A. THERIAULT	3
project no.	14
2024-463	



EXISTING LEFT ELEVATION

structural engineer stamp if required:

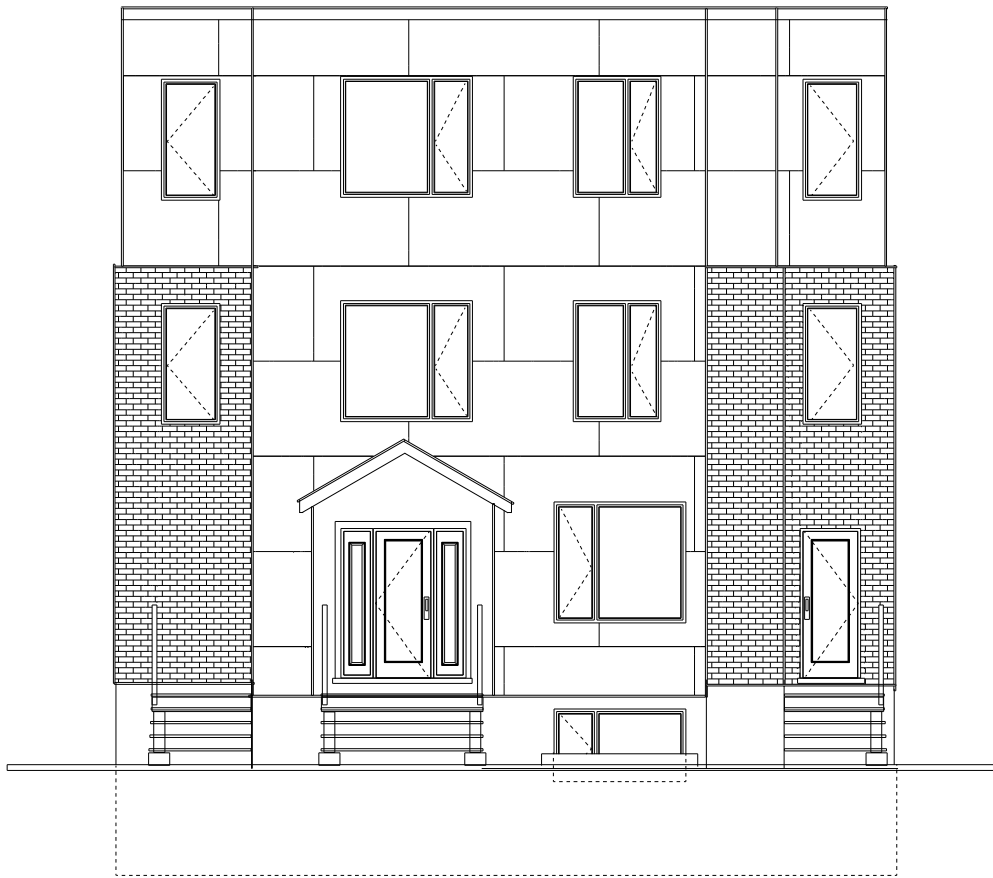


3	REVIEW	6 OCT 2024
2	P.ENG	21 SEPT 2024
1	PERMIT	1 SEPT 2024

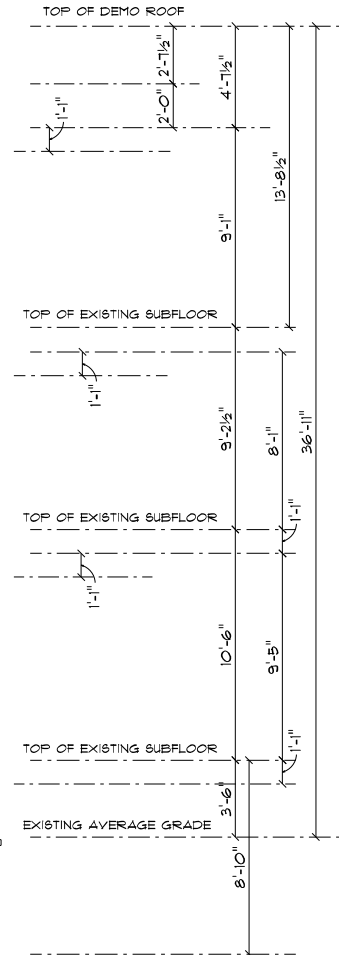
project name

PROPOSED RENOVATION
FOR
38 CLAREY AVENUE

drawn by	drawing no
A. THERIAULT	4
project no.	14
2024-463	



PROPOSED FRONT ELEVATION



structural engineer stamp if required:



3	REVIEW	6 OCT 2024
2	P.ENG	21 SEPT 2024
1	PERMIT	7 SEPT 2024

project name

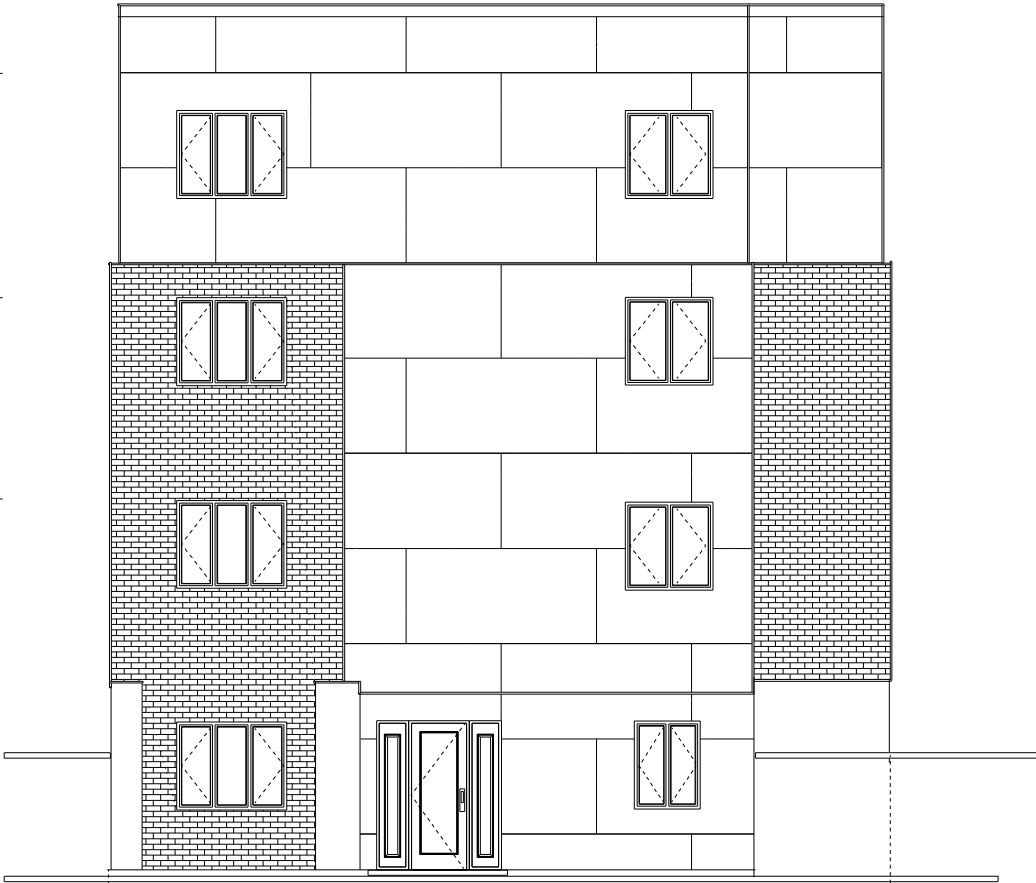
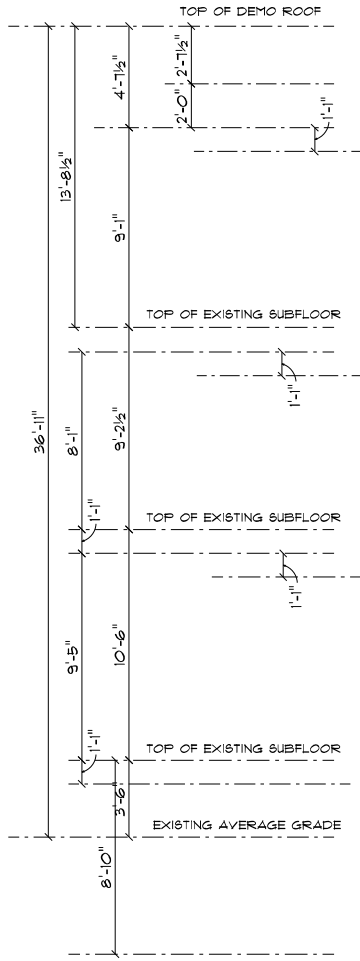
PROPOSED RENOVATION
FOR
38 CLAREY AVENUE

drawn by

A. THERIAULT

project no.
2024-463

drawing no.
9
14



PROPOSED REAR ELEVATION

HORIZONTAL 2" HI-40 INSULATION TO EXTEND PAST THE FOOTING EDGE

4'-0"

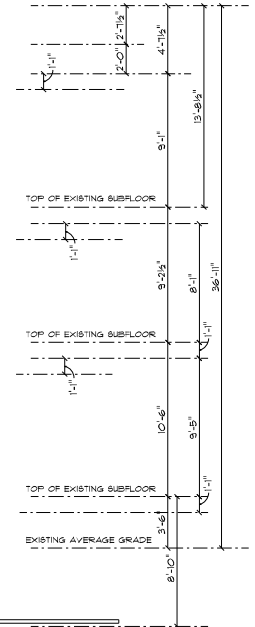
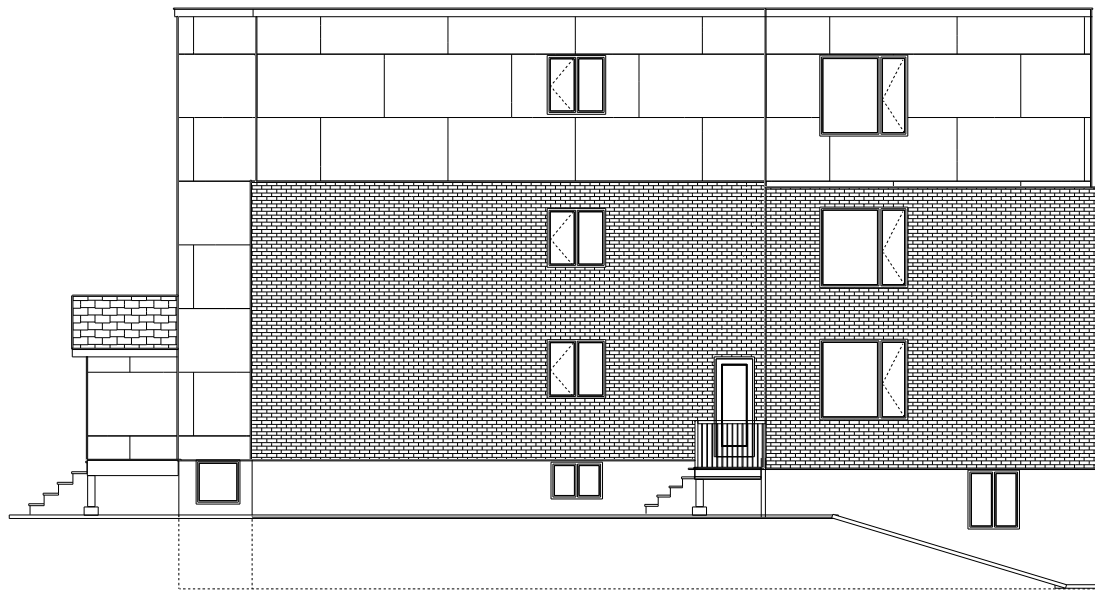
structural engineer stamp if required:



3	REVIEW	6 OCT 2024
2	P.ENG	21 SEPT 2024
1	PERMIT	1 SEPT 2024

project name
 PROPOSED RENOVATION FOR
 38 CLAREY AVENUE

drawn by	drawing no
A. THERIAULT	10
project no.	14
2024-463	



PROPOSED RIGHT ELEVATION

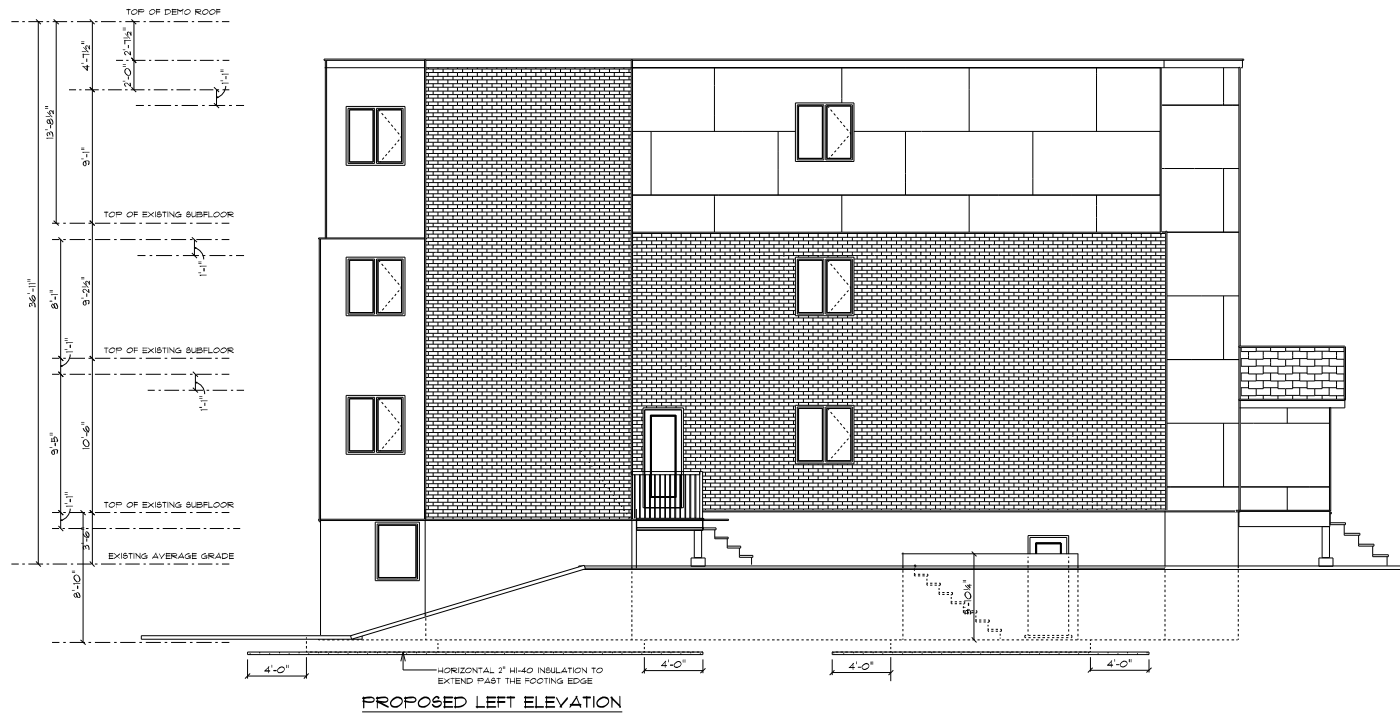
structural engineer stamp if required



ANDRE THERIAULT
 3880 CANOTEC ROAD, UNIT 21
 GLOUCESTER, K1G 4G3
 TEL: (613) 913-2869
 EMAIL: andre@theriaultdesign.ca

3	REVIEW	6 OCT 2024
2	P. ENG.	28 SEPT 2024
1	PERMIT	1 SEPT 2024

PROJECT NAME	
PROPOSED RENOVATION FOR 38 CLAREY AVENUE	
DRAWN BY	DRAWING NO.
A. THERIAULT	11
PROJECT NO.	2024-463



PROPOSED LEFT ELEVATION

Structural engineer stamp if required

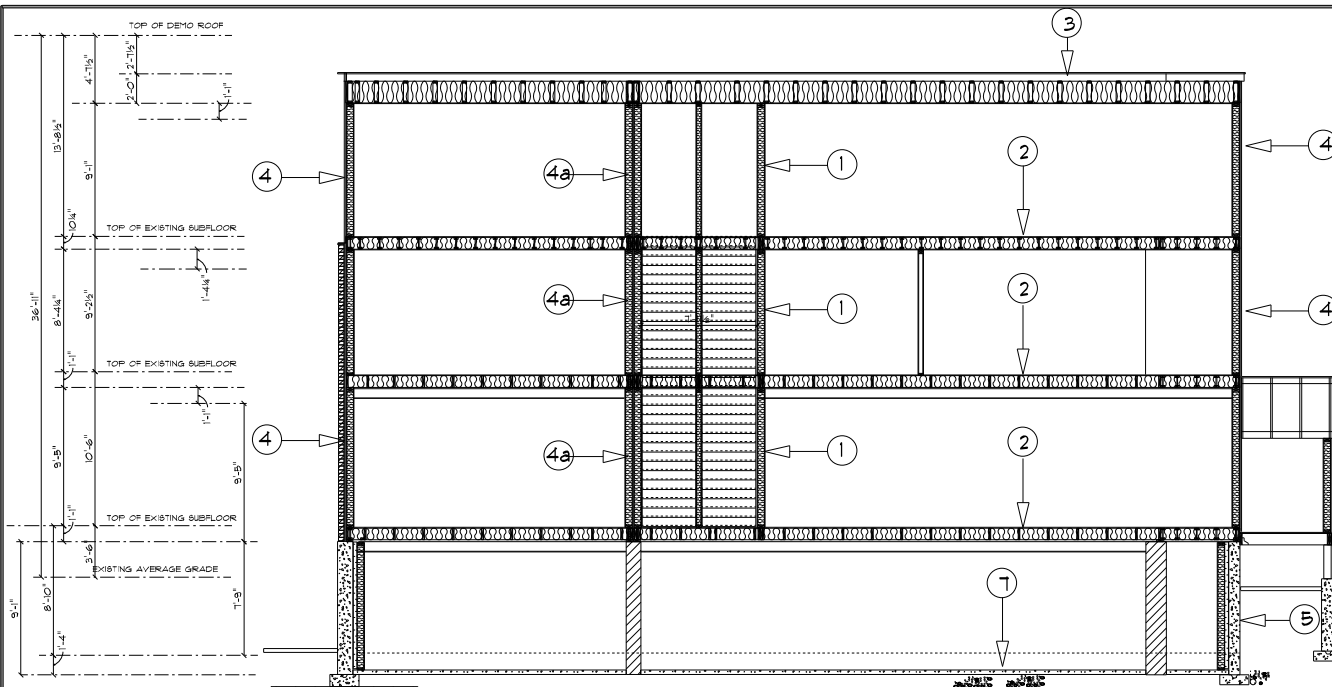


ANDRE THERIAULT
 3880 CANOTEC ROAD, UNIT 21
 GLOUCESTER, ON N2C 3C3
 TEL: (613) 93-2669
 EMAIL: andre@theriaultdesign.ca

3	REV/EU	16 OCT 2024
2	DESIGN	21 SEPT 2024
1	PERMIT	1 SEPT 2024

PROJECT NAME
 PROPOSED RENOVATION
 FOR
 38 CLAREY AVENUE

DRAWN BY A. THERIAULT	DRAWING NO. 12
PROJECT NO. 2024-463	14



REFER TO MANUFACTURER FLOOR AND ROOF LAYOUT

CARRY ALL POINTLOADS DOWN TO FOOTINGS/FOUNDATION

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ADEQUATE TEMPORARY SUPPORT DURING CONSTRUCTION

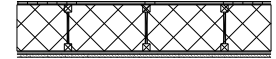
VERIFY ALL EXISTING DIMENSIONS BEFORE THE START OF CONSTRUCTION

1 INTERIOR WALL CORRIDOR & STAIRWELL

- W4a FFR 1 HR STC 51**
- 1/2" DRYWALL TYPE "X"
- 2X4 STUDS @ 16" O.C. OR 2X6 BEARING OR MECHANICAL WALL
- 1/2" DRYWALL TYPE "X"

2 FLOOR FINISH (FIRE RATED)

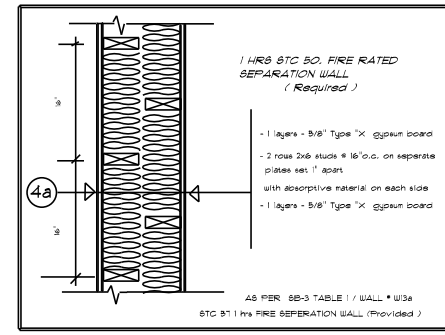
- F3c FFR 1 HR STC 52**
- EXISTING 5/8" T. 4 G. O.S.B.
- EXISTING JOIST TO REMAIN AS IS
- ABSORPTIVE MATERIAL IN CAVITY
- RESILIENT METAL CHANNELS @ 16" O.C.
- 2 LAYER 5/8" TYPE-X DRYWALL ON CEILING SIDE TO BE CONTINUOUS



- 5 FOUNDATION WALL**
- FARGING (SAND FINISH) ABOVE GRADE
- drainage layer see detail
- 2 COATS OF DAMPROOFING BELOW GRADE
- 9" FPOURED CONC. FOUNDATION WALL (SEE FDN PLAN)
- 1/4" bridg paper below grade
- 2" rigid insulation
- 2X4 STUDS @ 24" O.C.
- R 12 BATT INSULATION
- 6 MIL V.B.
- 1/2" DRYWALL

- 6 INTERIOR WALL**
- 1/2" DRYWALL
- 2X4 STUDS @ 16" O.C. OR 2X6 BEARING OR MECHANICAL WALL
- 1/2" DRYWALL

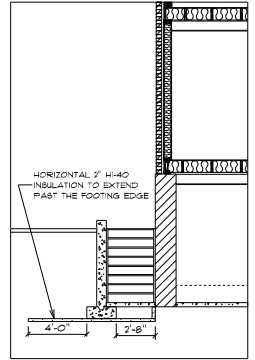
- 7 BASEMENT FLOOR**
- 3" CONC. FLOOR MIN. 28 MPA
- 6 MIL VAPOUR/BARRIER
- 8" OF 5/8" CLEAR CRUSHED STONE, COMPACTED TO 95% PROCTOR STANDARD



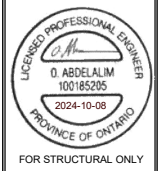
SECTION A - A

SPECIFICATIONS:

- 3 ROOF**
- 2 PLY MODIFIED BITUMEN FLAT ROOF INSTALLED ON CLEAN SURFACE
- SOPRABOARD 1/8" (TAPED AT JOINTS FOR FIRE PROTECTION, MECHANICALLY INSTALLED)
- SOPRALAM 180 (BASE SHEET, TORCHED)
- SOPRALAM FLAM 350 GR (CAP SHEET, TORCHED)
- 1/2" EXT-SHEETING C/W 1" CLIPS (PLYWOOD)
- 2X4 SLEEPERS @ 16" O.C. C/W 2% SLOPE
- PRE-FAB. ENG. DESIGN TRUSSES @ 24" O.C. (as shown on section and plans)
- R-31 SPRAY FOAM
- 6 MIL VAPOUR BARRIER
- X4 STRAPPING AT @ 16" O.C.
- 1/2" DRYWALL
- 4 EXTERIOR WALL**
- STONE C/W 1" AIR SPACE
- GALVANIZED VENEER TIES, FLASHING, WEEPHOLES & STEEL ANGLE AS PER 9.20.5B
- OR
- ACRYLIC STUCCO VENEER C/W RIGID INSULATION (SEE MANUFACTURER'S SPECIFICATIONS)
- Housewrap - weather protection system (i.e. Tyvek or tyvek)
- FROM TOP PLATE TO INSIDE BASEMENT
- 1/8" EXTERIOR SHEETING (O.S.B.)
- 2x6 STUDS @ 16" O.C.
- ONLY IF APPLICABLE, WITH WALLS THAT ARE HIGHER THAN 11'-0" STUDS ARE @ 12" O.C. C/W HORIZONTAL BLOCKING @ 48" O.C.
- R 22 BATT INSULATION
- 6 MIL VAPOUR/AIR BARRIER
- 1/2" DRYWALL



SECTION C - C



FOR STRUCTURAL ONLY

Structural engineer stamp if required

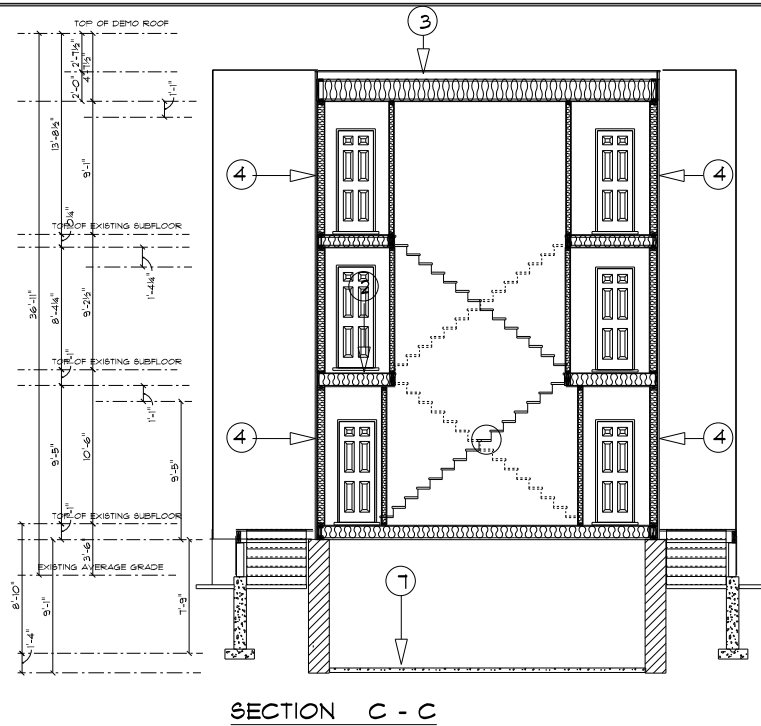
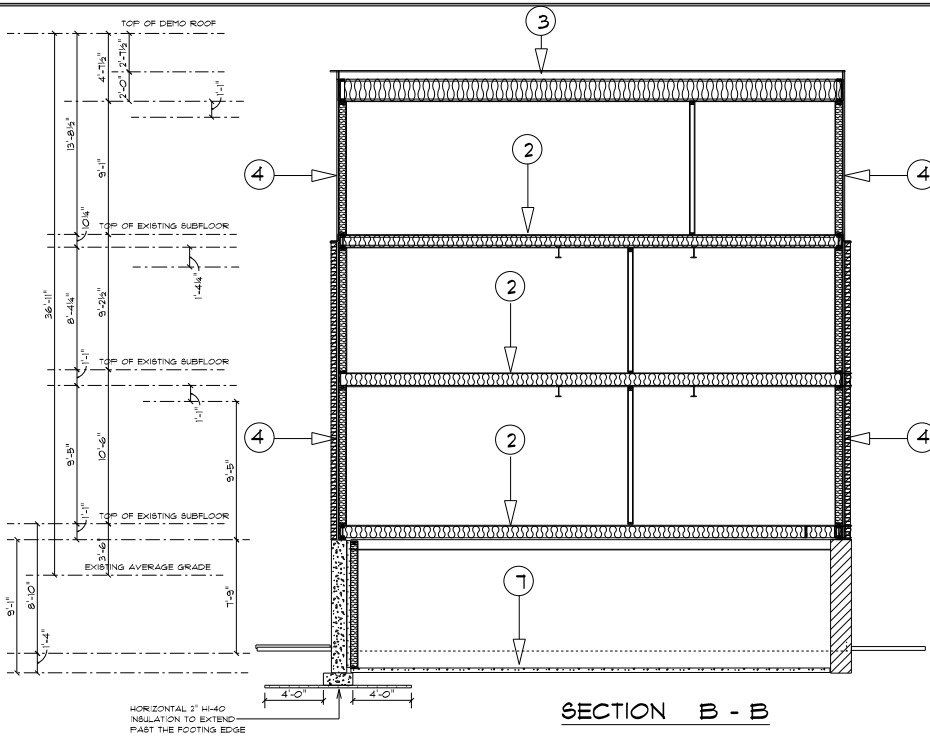


ANDRÉ THERIAULT
3880 GANOTHE ROAD, UNIT 21
GLACIÉRIER, Q.C. J0J 1K3
tel: (613) 933-2569
email: andre@theriaultdesign.ca

3	REVIEW	16 OCT 2024
2	P. ENG.	21 SEPT 2024
1	PERMIT	1 SEPT 2024

PROPOSED RENOVATION FOR 38 CLARNEY AVENUE

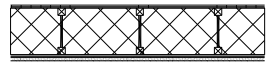
Drawn by:	13
A. THERIAULT	
Project No:	2024-463



SECTION B - B

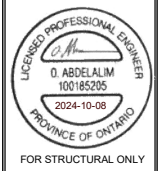
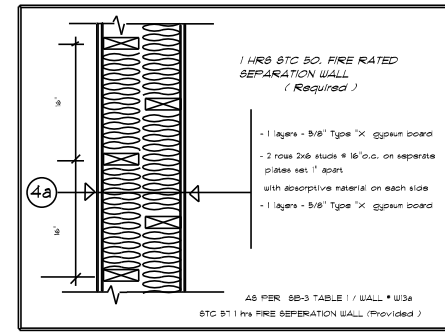
SECTION C - C

- 1 INTERIOR WALL CORRIDOR & STAIRWELL**
W4a FFR 1 HR STC 51
 -1/2" DRYWALL type "X"
 -2x4 STUDS @ 16" O.C. OR 2x6 BEARING OR MECHANICAL WALL
 -1/2" DRYWALL TYPE "X"
- 2 FLOOR FINISH (FIRE RATED)**
F9c FFR 1 HR STC 52
 -EXISTING 5/8" T. & G. O.S.B.
 -EXISTING JOIST TO REMAIN AS IS
 -ABSORPTIVE MATERIAL IN CAVITY
 -RESILIENT METAL CHANNELS @ 16" O.C.
 -2 LAYER 5/8" TYPE-X DRYWALL ON CEILING SIDE TO BE CONTINUOUS



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 -SOPRALAM 180 (BASE SHEET, TORCHED)
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 -1/2" EXT-SHEETING C/W 1" CLIPS (PLYWOOD)
 -2x4 SLEEPERS @ 16" O.C. C/W 2% SLOPE
 -PRE-FAB. ENG. DESIGN TRUSSES @ 24" O.C. (as shown on section and plans)
 -R-31 SPRAY FOAM
 -6 MIL VAPOUR BARRIER
 -2x4 STRAPPING AT @ 16" O.C.
 1/2" DRYWALL
- 4 EXTERIOR WALL**
 -STONE C/W 1" AIR SPACE
 GALVANIZED VENEER TIES, FLASHING, WEEPHOLES & STEEL ANGLE AS PER 9.20.5B
 OR
 -ACRYLIC STUCCO VENEER C/W RIGID INSULATION (SEE MANUFACTURER'S SPECIFICATIONS)
 Housewrap - weather protection system (i.e. Tyvek or tyvek)
 FROM TOP PLATE TO INSIDE BASEMENT
 -1/16" EXTERIOR SHEETING (O.S.B.)
 -2x6 STUDS @ 16" O.C.
 -ONLY IF APPLICABLE, WITH WALLS THAT ARE HIGHER THAN 11'-0" STUDS ARE @ 12" O.C. C/W HORIZONTAL BLOCKING @ 48" O.C.
 -R 22 BATT INSULATION
 -6 MIL VAPOUR/AIR BARRIER
 -1/2" DRYWALL

- 5 FOUNDATION WALL**
 -FARGING (SAND FINISH) ABOVE GRADE
 -drainage layer see detail
 -2 COATS OF DAMPROOFING BELOW GRADE
 -9" FURRED CONC. FOUNDATION WALL (SEE FDN PLAN)
 -1/4" rigid paper below grade
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Structural engineer stamp if required



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email: andre@theriaultdesign.ca

3	REVIEW	6 OCT 2024
2	DESIGN	21 SEPT 2024
1	PERMIT	1 SEPT 2024

PROPOSED RENOVATION FOR 38 CLARNEY AVENUE

Drawn by:	Project no:
A. THERIAULT	14
Project no:	2024-463