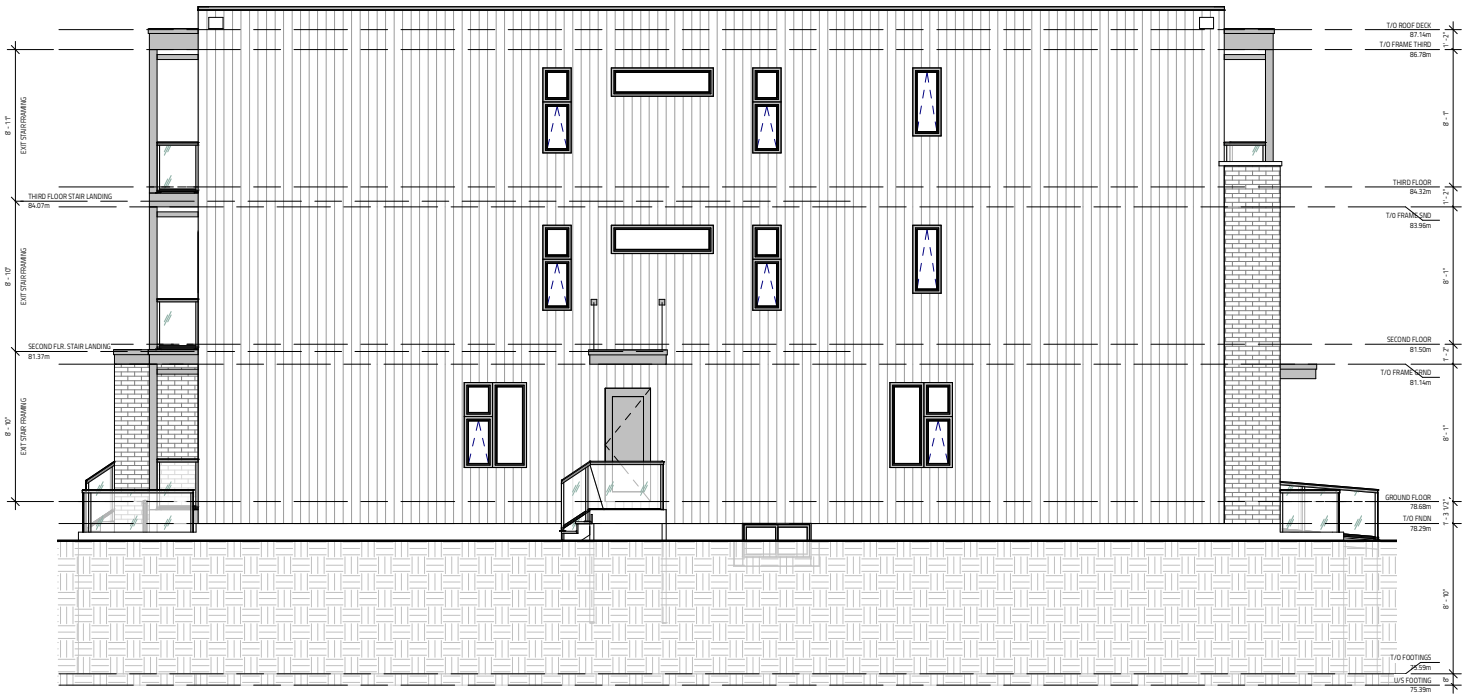


Committee of Adjustment
 Received | Reçu le
2024-11-19
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY THE WINDOW AND DOOR DIMENSIONS ALONG WITH WINDOW TYPE AND SIZING WITH THE DRAWING AND CONDITIONS ON SITE & REPORT ALL DISCREPANCIES TO DESIGNER PRIOR TO PUTTING WINDOW & DOOR ORDER INTO PRODUCTION.

MATERIALS USED IN CONSTRUCTION PROCEDURE MUST CONFORM TO 1. SPECIFICATIONS & NOTES SHOWN ON THIS DRAWING
 2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
 3. PROVISIONS IN PART 9 OF O.B.C. 2012.

METAL PANELING IS AL13 COMPOSITE PANEL CONFORMING TO CANULC 5734; CANULC 5102, NFPA 285 & ASTM E84	METAL FOLDED WALL PANEL IS LUX FOLDED WALL CONFORMING TO CMC 14197-L
2 PLY MOD BITUMINOUS FLAT ROOF MEMBRANE IS SOMPREMA RESISTO CONFORMING TO CMC 13280-L	EXTERIOR FINISH EIFS IS ADEX-MPS SYSTEM CONFORMING TO CMC 12913-R
	EXTERIOR FINISH CEMENT BOARD PANELING IS HARDE PANEL H25 CONFORMING TO CMC 12676-R

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AND DATED BY THE DESIGNER

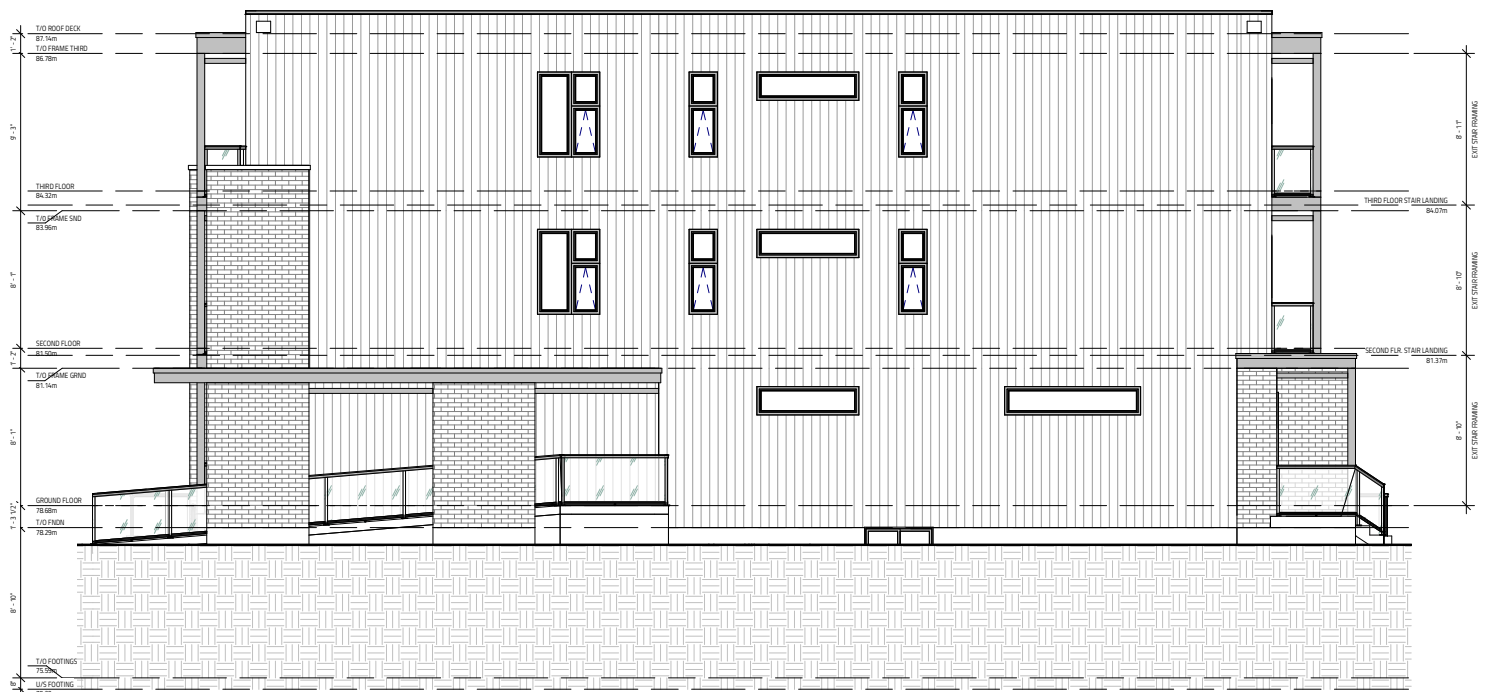
FIRM BCIN: 45801
 INDIVIDUAL BCIN: 41176

GENERAL NOTES:
 - E. & O.E.
 - THESE DRAWINGS ARE NOT FOR CONSTRUCTION UNTIL LOCAL AUTHORITIES ISSUE A PERMIT
 - DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL DISCREPANCIES
 - GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE w/ THE O.B.C. 2012 AND MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES

462 CHURCHILL AVE. N TWO - 8 UNIT LOW-RISE APARTMENT OTTAWA, ON		<p>Evolution DESIGN & DRAFTING 613-884-7068/613-808-7185</p>	ELEVATIONS 1 DATE: 2024-11-19 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: 1/4" = 1'-0" SHEET NO. 1 OF 1 A4.0
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1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY THE WINDOW AND DOOR DIMENSIONS ALONG WITH WINDOW TYPE AND SIZING WITH THE DRAWINGS AND CONDITIONS ON SITE & REPORT ALL DISCREPANCIES TO DESIGNER PRIOR TO PUTTING WINDOW & DOOR ORDER INTO PRODUCTION

MATERIALS USED & CONSTRUCTION PROCESSES MUST CONFORM TO 1. SPECIFICATIONS & NOTES SHOWN ON THIS DRAWING
2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
3. PROVISIONS IN PART 9 OF O.B.C. 2012.

METAL PANELING IS 3x13 COMPOSITE PANEL CONFORMING TO CANULC 5741, CANULC 5702, NFPA 285 & ASTM E84

METAL FOLDED WALL PANEL IS 1/2" FOLDED WALL CONFORMING TO CMCC 14137-4

2 PLY MOD BITUMINOUS FLAT ROOF MEMBRANE IS 'SOMPREMA RESISTO' CONFORMING TO CMCC 13088-4

EXTERIOR FINISH EPS IS 3DEX-MPS SYSTEM CONFORMING TO CMCC 12913-R

EXTERIOR FINISH CEMENT BOARD PANELING IS HARDE PANEL H25 CONFORMING TO CMCC 12478-R

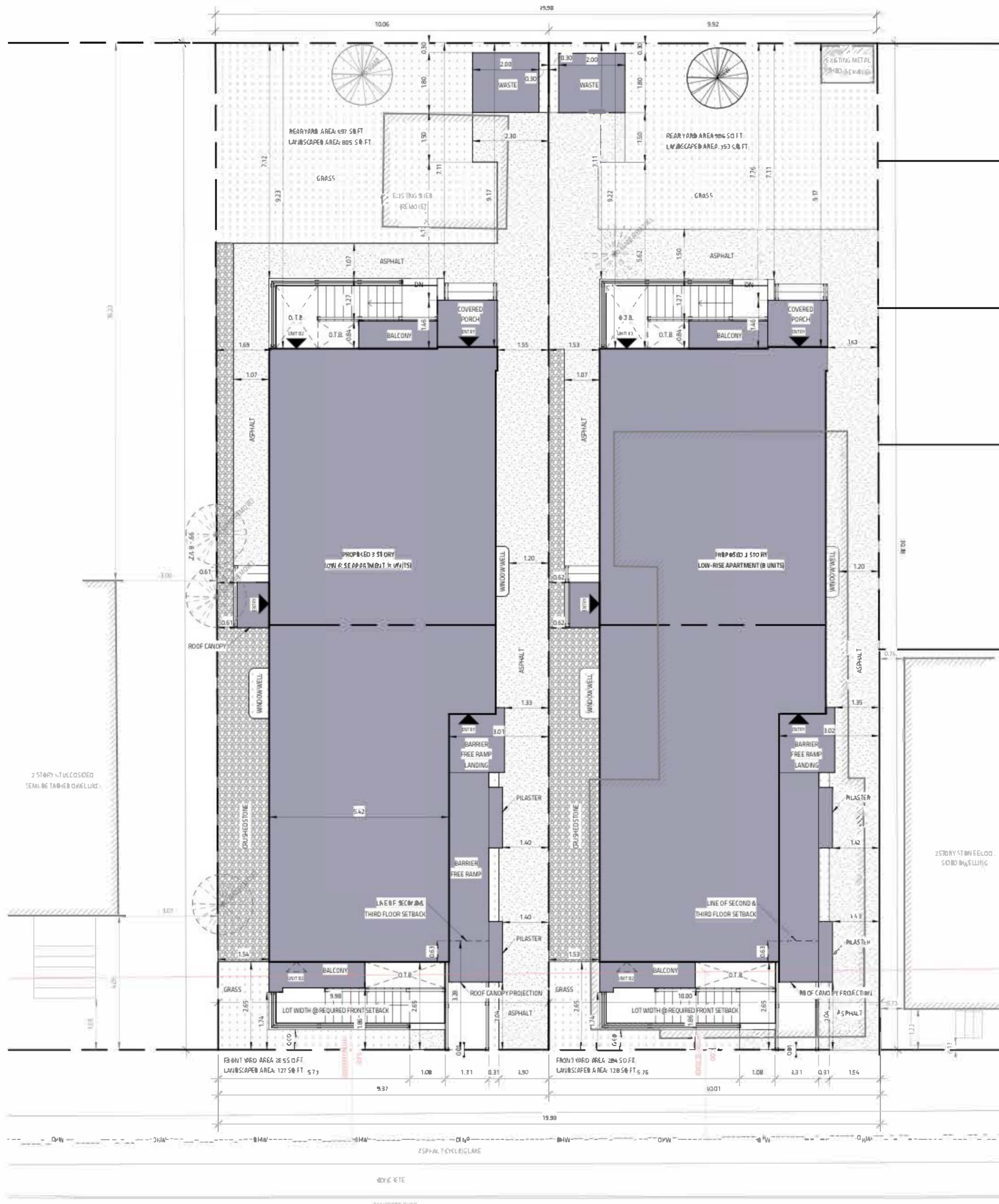
I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OSC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AND DATED BY THE DESIGNER

FIRM BCIN: 43801
INDIVIDUAL BCIN: 41176

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- E. & O.E.
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- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL DISCREPANCIES
- GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE W/ THE O.B.C. 2012 AND MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES

<p>462 CHURCHILL AVE. N</p> <p>TWO - 8 UNIT LOW-RISE APARTMENT</p> <p>OTTAWA, ON</p>		<p>Evolution DESIGN & DRAFTING</p> <p>613-884-7068/613-808-7185</p>	<p>ELEVATIONS 2</p> <p>DATE: 08/21/2024 BY: [Signature] CHECKED BY: [Signature]</p>
<p>NO. 000000</p> <p>DATE: 08/21/2024</p>	<p>NO. 000000</p> <p>DATE: 08/21/2024</p>		<p>A6.1</p>



462 CHURCHILL AVE. N

2018 ZONING BY-LAW

SECTION 20.01 - ZONING SCHEDULES

2018 ZONING BY-LAW

SECTION 20.01 - ZONING SCHEDULES

BY-LAW SECTION	DESCRIPTION	PROPOSED	NOTES
S-100	RESIDENTIAL SINGLE-FAMILY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-101	RESIDENTIAL MEDIUM-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-102	RESIDENTIAL HIGH-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-103	RESIDENTIAL MEDIUM-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-104	RESIDENTIAL HIGH-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-105	RESIDENTIAL MEDIUM-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-106	RESIDENTIAL HIGH-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-107	RESIDENTIAL MEDIUM-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-108	RESIDENTIAL HIGH-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-109	RESIDENTIAL MEDIUM-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-110	RESIDENTIAL HIGH-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-111	RESIDENTIAL MEDIUM-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-112	RESIDENTIAL HIGH-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-113	RESIDENTIAL MEDIUM-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-114	RESIDENTIAL HIGH-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-115	RESIDENTIAL MEDIUM-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-116	RESIDENTIAL HIGH-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-117	RESIDENTIAL MEDIUM-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-118	RESIDENTIAL HIGH-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-119	RESIDENTIAL MEDIUM-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED
S-120	RESIDENTIAL HIGH-DENSITY	RESIDENTIAL LOW-RISE APARTMENT	NOT PERMITTED

ARCHITECTURAL SITE PLAN PREPARED USING SURVEY PREPARED BY PAUL & SULLIVAN, INC. UNSEALED COPY BOTTED MAY 14, 2024

TRAVEL TIME VARIATION REPORT SUPPLIERS ALL TRAVEL INFORMATION SHOWN ON THIS SITE PLAN

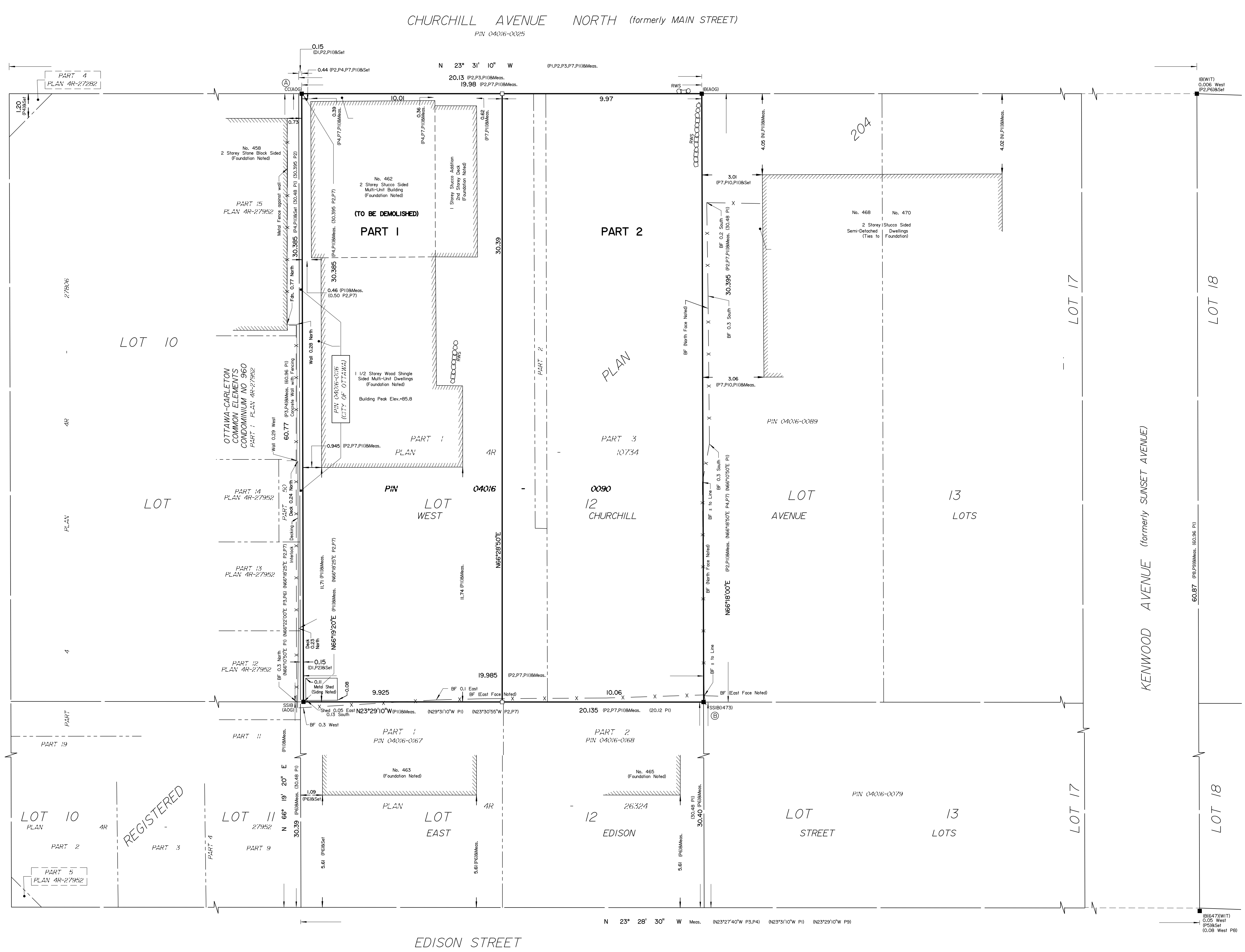
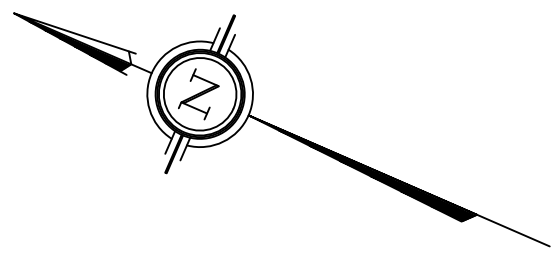
(REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT UNDER SECTION 3.2 OF THE O.C. 2012, 16M @ 1/4" = 1' & THE PLAN IS REGISTERED IN THE APPROPRIATE CLASSIFICATION

FIRM: B.C.A. 45 B.01
 PROJECT: 462 CHURCHILL AVE. N

GENERAL NOTES:

- E. & O.E.
- THESE DRAWINGS ARE NOT FOR CONSTRUCTION UNLESS LOCAL AUTHORITIES ISSUE A PERMIT
- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TAKE PRECEDENCE
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE & REPORT TO LANDSCAPE ARCHITECT
- GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE WITH THE O.C. 2012 AND MUNICIPAL BY-LAWS & ALL OTHER APPLICABLE CODES

462 CHURCHILL AVE. N TWO - 8 UNIT LOW-RISE APARTMENT OTTAWA, ON		<p>Evolution DESIGN & DRAFTING 613-884-7068 / 613-808-7185</p>	SITE PLAN DATE: 2024-05-14 SCALE: 1/8" = 1'-0" DRAWN BY: [Name] CHECKED BY: [Name] PROJECT NO.: 24-001 SHEET NO.: 13 OF 13 A0.1
NO. 01 REVISION DATE	NO. 01 REVISION DATE		



SCHEDULE				
AREA (Sq.m.)	PART	LOT	PLAN	PIN
302.9	1	PART OF 12		
304.3	2	WEST CHURCHILL AVENUE	204	ALL OF 04016-0090

DRAFT PLAN OF SURVEY OF PART OF LOT 12 WEST CHURCHILL AVENUE REGISTERED PLAN 204 CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 100
 The intended plot size of the plan is 914 mm in width by 610 mm in height when plotted at a scale of 1:100.

Metric
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
 I CERTIFY THAT:
 1. This survey and plan are correct and in accordance with the Surveys Act and the Land Titles Act and the regulations made under them.
 2. The survey was completed on the ___ day of _____, 2024.

MMM DD YYYY Date V. Andrew Shelp Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-

- Notes & Legend**
- | Denotes | |
|---------|---------------------------------------|
| — | Survey Monument Planted |
| — | Survey Monument Found |
| SIB | Standard Iron Bar |
| SSIB | Short Standard Iron Bar |
| IB | Iron Bar |
| CC | Cut Cross |
| (WIT) | Witness |
| Mess. | Measured |
| (AOG) | Annis, O'Sullivan, Vollebek Ltd. |
| (N) | (725) Field Notes, Ref. 22-204 |
| (P1) | Registered Plan 204 |
| (P2) | Plan 4R-10734 |
| (P3) | Plan 4R-27952 |
| (P4) | STANTEC Plan dated September 14, 2010 |
| (P5) | (1692) Plan dated July 17, 2023 |
| (P6) | (AOG) Plan dated September 5, 2012 |
| (P7) | (1319) Plan dated August 28, 1985 |
| (PB) | (JDB) Plan dated May 28, 2018 |
| (P9) | Plan 5R-9093 |
| (P10) | (725) Plan dated July 30, 1975 |
| (P11) | (AOG) Plan Dated May 21, 2024 |
| Fdn. | Foundation |
| RWS | Stone Retaining Wall |
| BF | Board Fence |

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999930.
 Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N33°02'10"E and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°30'40" counter-clockwise was applied to bearings on plans (P1), (P2), (P3), (P4) and (P7).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

- . 01919680005 Northing 5027191.26 Easting 361496.76
- . 01919680105 Northing 5024915.16 Easting 373971.65
- . Point A Northing 5028045.47 Easting 363324.60
- . Point B Northing 5028014.93 Easting 363304.74

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

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 14 Concourse Gate, Suite 500
 Nepean, Ont. K2E 7S6
 Phone: (613) 727-0850 / Fax: (613) 727-1079
 Email: Home@annisov.com
 Job No. 24723-24, Bostart Dev. Ltd. L12 P204 R D1

V:\2024\24723-24_Bostart Dev. Ltd. L12 P204 R D1.dwg, 400 Church St., 12th Floor, Toronto, Ontario M5G 1B3, Canada, Tel: (416) 593-8888, Fax: (416) 593-8889