

**Subject: Zoning By-law Amendment – 1450-1468 Bankfield Road and 5479, 5485
Elijah Court**

File Number: ACS2025-PDB-PSX-0011

**Report to Agriculture and Rural Affairs Committee on 23 January 2025
and Council 29 January 2025**

**Submitted on January 17, 2025 by Derrick Moodie, Director, Planning Services,
Planning, Development and Building Services**

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Ward: Rideau-Jock (21)

**Objet : Modification du *Règlement de zonage* – 1450-1468, chemin Bankfield et
5479 et 5485, cour Elijah**

Dossier : ACS2025-PDB-PSX-0011

Rapport au Comité de l'agriculture et des affaires rurales

le 23 janvier 2025

et au Conseil le 29 janvier 2025

**Soumis le 17 janvier 2025 par Derrick Moodie, Directeur, Services de la
planification, Direction générale des services de la planification, de
l'aménagement et du bâtiment**

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REPORT RECOMMENDATIONS

1. That Agriculture and Rural Affairs Committee recommend Council approve an amendment to Zoning By-law 2008-250 for 1450-1468 (even numbers only) Bankfield Road and 5479 and 5485 Elijah Court, as shown in Document 1, to permit a two-storey automobile dealership and accessory automobile service garage, as detailed in Document 2.
2. That Agriculture and Rural Affairs Committee approve the Consultation Details Section of this report be included as part of the 'brief explanation' in the Summary of Written and Oral Public Submissions, to be prepared by the Office of the City Clerk and submitted to Council in the report titled, "Summary of Oral and Written Public Submissions for Items Subject to *the Planning Act* 'Explanation Requirements' at the City Council Meeting of January 29, 2025 subject to submissions received between the publication of this report and the time of Council's decision.

RECOMMANDATIONS DU RAPPORT

1. Que le Comité de l'agriculture et des affaires rurales recommande au Conseil d'approuver une modification du *Règlement de zonage* (n° 2008-250) pour les propriétés situées aux 1450-1468, chemin Bankfield (nombres pairs seulement) et aux 5479 et 5485, cour Elijah, comme le montre le document 1, afin de permettre l'aménagement d'un bâtiment de deux étages comprenant un concessionnaire automobile et un garage accessoire de services d'entretien et de réparation de voitures, comme l'explique en détail le document 2.
2. Que le Comité de l'agriculture et des affaires rurales donne son approbation afin que la section du présent rapport consacrée aux détails de la consultation soit incluse en tant que « brève explication » dans le résumé des observations écrites et orales du public, qui sera rédigé par le Bureau du greffe municipal et soumis au Conseil dans le rapport intitulé « Résumé des observations orales et écrites du public sur les questions assujetties aux "exigences d'explication" aux termes de la *Loi sur l'aménagement du territoire*, à la réunion du Conseil municipal prévue le 29 janvier 2025 », sous réserve des observations reçues entre le moment de la publication du présent rapport et la date à laquelle le Conseil rendra sa décision.

BACKGROUND

Learn more about [link to Development Application process - Zoning Amendment](#)

For all the supporting documents related to this application visit the [link to Development Application Search Tool](#).

Site location

1450, 1454, 1458, 1464, and 1468 Bankfield Road and 5479 and 5485 Elijah Court.

Owner

Zena Investment Corporation

Applicant

Novatech

Description of site and surroundings

The subject property is located at the northwest limit of the Village of Manotick, on the south side of Bankfield Road and the east side of Elijah Court, directly at the intersection of Bankfield Road and Prince of Wales Drive. The lands across the road to the north consist of single detached dwellings and farmland. Across the road to the west, also consists of mainly farmlands. The property directly to the south and east, is a vacant woodlot, however a large low-density residential subdivision is located slightly further to the south-east. This subject site is an approximately 1.9-hectare lot resulting from the consolidation of seven properties. The lot has frontage onto Bankfield Road and Elijah Court and contains existing residential and small-scale commercial structures. It should be noted that the Application Summary circulated for this proposal incorrectly stated that the subject property was 1.2 hectares, however, the correct parcels were identified in the location map provided as a part of the circulation.

Summary of proposed development

The applicant is seeking a Zoning By-law Amendment to remove all existing structures and establish a two-storey automobile dealership with an accessory service garage. The two-storey dealership is proposed to include a showroom, sales offices, a drive-through vehicle service area, and a multi-bay service garage. The site also includes a large surface parking area for vehicle inventory storage and customer parking. Three points of access to the site have also been identified as a part of the proposal, two from Bankfield Road and one from Elijah Court.

Summary of requested Zoning By-law amendment

The property is currently zoned as Development Reserve Subzone 1 (DR1). This zoning recognizes land for future village development and the subzone permits one detached dwelling as an additional use.

The application requested to rezone the property to a new Rural Commercial (RC) zone, which includes automobile dealerships and service stations as permitted uses. The new Rural Commercial Zone would include an exception to provision (i) in Table 217 that requires the front and corner side yards to be landscaped except for driveways leading to a parking area. The application proposed that the site-specific exception would reduce the required setbacks from 10 metres to 3 metres in the front yard along Elijah Court, and from 6 metres to 3 metres in the corner side yard along Bankfield Road. The reduced setback would allow inventory vehicle storage and vehicle display in the required front and corner side yards instead of the required landscaped setbacks.

Staff instead recommend an exception zone that permits reduced front and corner side yard setbacks for vehicle display for a portion of the respective frontages rather than in their entirety. The exception zone will also require a certain percentage of area within the required front and corner side yard to be fully soft landscaped.

The recommended exception would permit the following for the automobile dealership use only:

- Elevated vehicle displays to be setback 1 metre for a maximum of 10 per cent of the length of the front lot line.
- Elevated vehicle displays to be setback 1 metre for a maximum of 20 per cent of the length of the side lot line abutting a street.
- At grade vehicle displays to be setback 3 metres.
- The required front yard must be soft landscaped for a minimum of 35 per cent of the length of the front lot line.
- The required corner side yard must be soft landscaped for a minimum of 20 per cent of the length of the side lot line abutting a street.

DISCUSSION

Public consultation

Notification and public consultation were undertaken in accordance with the Public Notification and Consultation Policy approved by Council for development applications. A community heads up e-mail was sent on August 29, 2024, and an on-site sign was posted on the property. Staff received some requests for future notifications regarding the application and some comments regarding concerns about traffic, light pollution, and the loss of the existing residential uses.

For this proposal's consultation details, see Document 3 of this report.

Official Plan designation(s)

The subject site is located in the Village of Manotick within the Rural Transect, and carries the Village designation under the Official Plan (Schedule B9). The Official Plan recognizes that Villages should contain the majority of development within the Rural area to minimize conflicts with other uses such as agriculture, mineral extraction, Rural Industrial and Logistics area, and areas of natural significance (Section 9.4). Further, the City is to support the health and liveability of village communities with sustainable growth practices, by supporting small-medium enterprises that support local community and boost tourism, large industries in strategic locations and diversify housing where adequate services are available (Section 9.4).

Section 9.4.2 provides policies to ensure development maintains rural and village character. Section 9.4.2 1) lists the uses that are generally permitted within Villages including, residential uses, small-scale offices, retail and commercial uses, institutional uses, community gardens and farmer markets, small scale craft manufacturing of food, beverages and goods, and parks and community facilities. Uses that are prohibited in Villages unless otherwise prescribed by the secondary plan include heavy industrial uses, outdoor storage fronting a street, and new drive-through facilities and commercial parking lots in core areas.

Other applicable policies and guidelines

The Village of Manotick Secondary plan outlines a goals and objectives policy framework to support and implement the vision for the Village. The applicable goal and objective for the subject site is to maintain and enhance Manotick's village character.

The subject site is also designated Mixed Residential-Commercial under the Village of Manotick Secondary plan (Secondary Plan – Volume 2, Schedule A – Designation Plan). Section 3.5 of the Village of Manotick Secondary plan provide policies for the lands designated as Mixed Residential-Commercial. The policies applicable to the subject site are as follows:

16) Permitted uses include a variety of residential uses and a limited range of commercial uses which would not compete with uses located in the Village Core.

18) A hydrogeological study must be submitted at the time of a development application. The study will identify the limit of the hydrogeological constraint area and the feasibility of development due to the presence of the Kars Esker. Public water and wastewater are not foreseen for this area of the Village.

19) The Mud Creek Subwatershed Study (2015) will be used to evaluate any proposed development located at the south-west corner of Bankfield Road and First line Road.

As referenced in Policy 19) above, the Mud Creek Subwatershed Study (2015) also applies to the subject lands. The subwatershed study identifies the Kars Esker as a feature that is significant for the local ground water supply, the maintenance of Mud Creek's base water flows, and the water quality and aquatic habit conditions of the creek.

Section 5.4 provides recommendations for the protection of the Kars Esker, including limiting development and site alteration within and adjacent to significant groundwater features identified within the subwatershed, or where development cannot be avoided in areas of groundwater sensitivity, it is recommended that the pre-development recharge areas should be maintained through the completion of a water balance (Mud Creek Subwatershed Study, 2015). The entirety of the site in this case is identified as a significant groundwater feature in *figure 8* of the Mud Creek Subwatershed Study.

Planning rationale

Staff are recommending rezoning the property as Rural Commercial with a site-specific exception to permit a reduction to the required front yard and corner side yard setback for vehicle display for the following reasons:

- The proposed development is a commercial automobile use and aligns with the mixed residential-commercial designation. As required by Section 3.5, Policy 16) of the Village of Manotick Secondary Plan, the proposed use would not compete with the commercial uses located in the Village Core as similar automobile uses

would not be appropriate for the Village Core areas. Although residential uses are permitted within this designation, they are not required to be a part of the development of the site.

- Although the proposed development consists of a larger enterprise, the location of the site is considered to be suitable, as it is outside of the Village Core and towards the Village boundary.
- Given the proposed automobile dealership use, vehicle display and outdoor vehicle inventory storage in the front and corner side yards need to be considered. As such, in order to maintain the Rural and Village character, as required by Section 9.4.2 of the Official Plan and Section 1.1, 1) of the Village of Manotick Secondary Plan, Staff's recommended rezoning for this property will ensure that enhanced landscaping, including sufficient space for large tree plantings along Bankfield Road is achieved. This is a priority as the site is prominently located at one of the entrances to the Village. The recommended rezoning provides a sufficient landscaping buffer to ensure aesthetically appealing development of the site while contributing towards a more attractive streetscape at entrance to the village. Reducing the required landscaping buffer beyond what is proposed by Staff would emphasize the presence of the large vehicle display area and commercial building on the lot and detract from the village atmosphere.
- The environmental policies regarding the protection of the Kars Esker and Mud Creek are to be specifically addressed as a part of the Site Plan Control application required to establish the proposed use. Similarly, the concerns regarding impacts to traffic along Bankfield Road will also be addressed with the Site Plan Control application. Conceptually, it has been demonstrated that the site is appropriate for the use with respect to servicing, the esker, and transportation issues.

Provincial Policy Statement

Staff have reviewed this proposal and have determined that it is consistent with the 2024 Provincial Planning Statement.

RURAL IMPLICATIONS

The development aligns with the intent of focusing rural growth within the Villages to reduce conflict with agriculture, mineral extraction, and other rural land-uses.

COMMENTS BY THE WARD COUNCILLOR(S)

The Councillor is aware of the application related to this report.

ADVISORY COMMITTEE(S) COMMENTS

There are no Advisory Committee comments applicable to this application.

LEGAL IMPLICATIONS

There are no legal impediments to implementing the report recommendations.

RISK MANAGEMENT IMPLICATIONS

There are no risk management implications associated with the recommendation of this report.

ASSET MANAGEMENT IMPLICATIONS

There are no asset management implications associated with the recommendation of this report.

FINANCIAL IMPLICATIONS

There are no direct financial implications.

ACCESSIBILITY IMPACTS

There are no anticipated accessibility impacts associated with the recommendations of this report. The proposed development is subject to the requirements of the *Accessibility for Ontarians with Disabilities Act (AODA)* and the Ontario Building Code (OBC) as it pertains to accessibility standards. Accessibility will be reviewed and confirmed prior to Site Plan approval and the issuance of building permit.

ENVIRONMENTAL IMPLICATIONS

The proposed Zoning By-law Amendment may have potential for environmental implications resulting from the presence of the Kars Esker on-site. The Kars Esker is an environmentally sensitive feature functioning within the Mud Creek subwatershed. In accordance with the Secondary Plan policies for the subject lands, a hydrogeological assessment, and a septic impact assessment and terrain analysis were submitted as a part of the application. Staff also reviewed a phase I and II environmental site assessment, and an adequacy of services report submitted and are satisfied that these

reports demonstrate conceptual appropriateness. Staff will engage in a detailed review of the finalized site design during the mandatory Site Plan Control process to ensure the protection of this feature in accordance with the Secondary Plan policies and the Mud Creek Subwatershed Study.

TERM OF COUNCIL PRIORITIES

[2023-2026 Term of Council Priorities:](#)

This project addresses the following Term of Council Priorities:

- A city with a diversified and prosperous economy.

APPLICATION PROCESS TIMELINE STATUS

The statutory 90-day timeline for making a decision on this application (D02-02-24-0033) under the *Planning Act* expired on November 27, 2024. Staff delayed bringing a report to Committee at the applicant's request to ensure an agreeable recommendation was brought forth.

SUPPORTING DOCUMENTATION

Immediately follows the report.

Document 1 Location Map / Zoning Key Map

Document 2 Details of Recommended Zoning

Document 3 Consultation Details

CONCLUSION

The Planning, Development and Building Services Department recommends the approval of the Staff recommended Zoning By-law Amendment as it meets the intent of the Provincial Planning Statement and the City's Official Plan, and is consistent with the Zoning By-law and represents good planning.

DISPOSITION

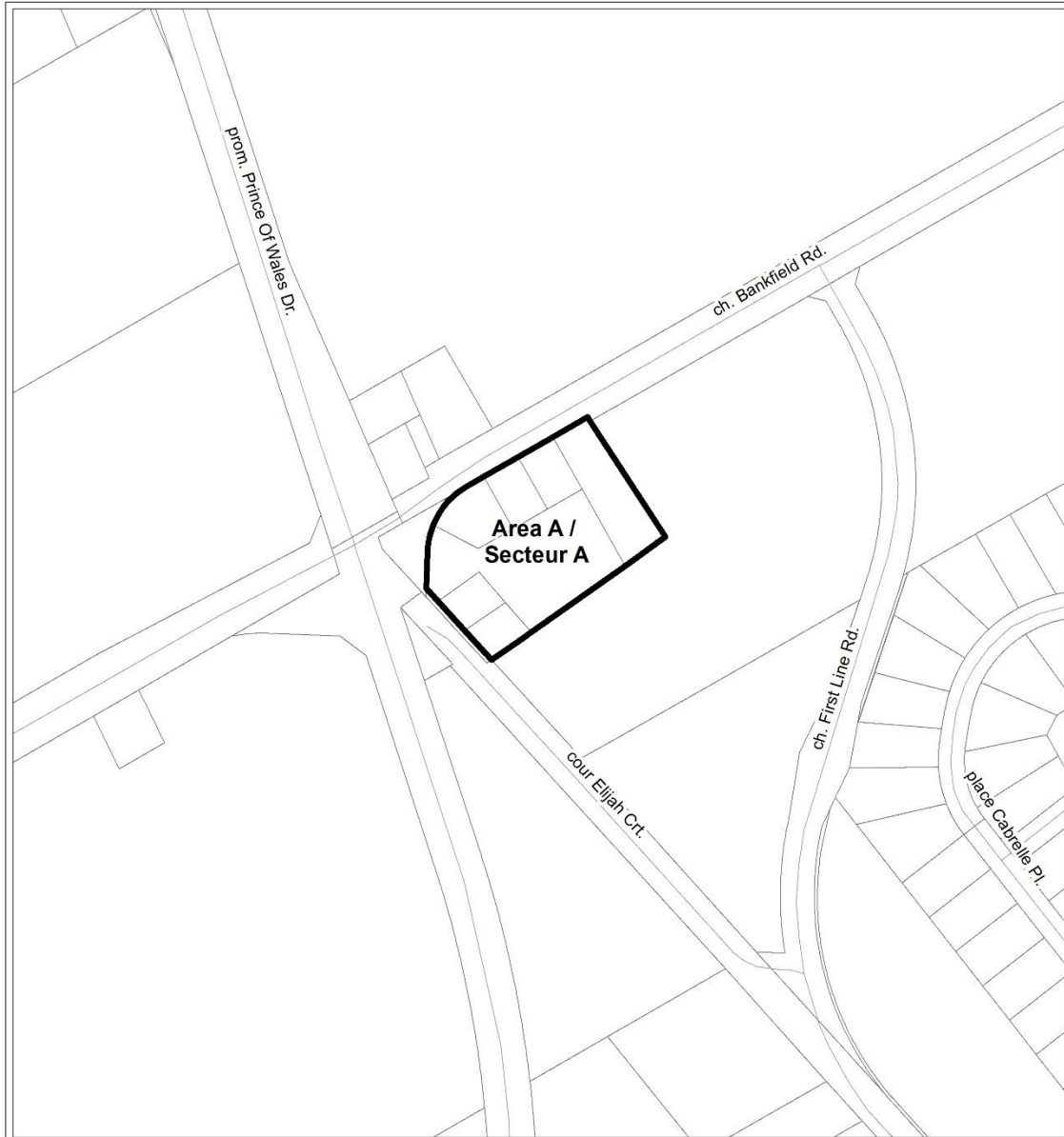
Office of the City Clerk, Council and Committee Services to notify the owner; applicant; Ottawa Scene Canada Signs, 13-1920 Merivale Road, Ottawa, ON K2G 1E8; Krista O'Brien, Program Manager, Tax Billing & Control, Finance and Corporate Services Department (Mail Code: 26-76) of City Council's decision.




The Planning, Development and Building Services Department will prepare an implementing by-law and forward it to Legal Services.

Legal Services, City Manager's Office to forward the implementing by-law to City Council.

Planning Operations, Planning Services to undertake the statutory notification.

Document 1 – Location Map / Zoning Key Map



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|--|-----------|---|---|
|  | | LOCATION MAP / PLAN DE LOCALISATION ZONING KEY PLAN / SCHÉMA DE ZONAGE | |
| D02-02-24-0033 | 24-0874-X |  | 1450, 1454, 1458, 1464, 1468 chemin Bankfield Road 5479, 5485 cour Elijah Court |
| I:\COI\2024\Zoning\Bankfield_1450_1454_1458 | | | Area A to be rezoned from DR1 to RC[xxxxr] Le zonage du secteur A sera modifié de DR1 to RC[xxxxr] |
| <small>©Parcel data is owned by Teranet Enterprises Inc. and its suppliers All rights reserved. May not be produced without permission THIS IS NOT A PLAN OF SURVEY</small> | | | |
| <small>©Les données de parcelles appartient à Teranet Entreprises Inc. et à ses fournisseurs. Tous droits réservés. Ne peut être reproduit sans autorisation. CECI N'EST PAS UN PLAN D'ARPENTAGE</small> | | | |
| REVISION / RÉVISION - 2024 / 08 / 12 | |  | |

Document 2 – Details of Recommended Zoning

The proposed change to the City of Ottawa Zoning By-law No. 2008-250 for 1450, 1454, 1458, 1464, and 1468 Bankfield Road and 5479 and 5485 Elijah Court:

Add a new exception with the provisions similar in effect to the following:

- Rezone lands as shown in Document 1 from DR1 to RC [xxxr]
- Add a new exception xxxr to Section 240 – Rural Exceptions with provisions similar in effect to the following:
 - a) In Column I, Exception Number, add the text “xxxr”
 - b) In Column II, Applicable Zones, add the text “RC[xxxr]”
 - c) In Column V, Exception Provisions – Provisions, add the text “The following provisions apply to an automobile dealership:
 - Despite Clause (i) in Table 217:
 - For a maximum of 20 per cent of the length of the side lot line abutting a street, elevated vehicle displays may be setback 1 metre;
 - For a maximum of 10 per cent of the length of the front lot line, elevated vehicle displays must be setback 1 metre;
 - At grade vehicle displays may be setback 3 metres from the front lot line and the side lot line abutting a street;
 - For a minimum of 20 per cent the length of the side lot line abutting a street, the required corner side yard must be soft landscaped;
 - For a minimum of 35 per cent the length of the front lot line, the required front yard must be soft landscaped.”

Document 3 – Consultation Details

Notification and Consultation Process

Notification and public consultation was undertaken in accordance with the Public Notification and Public Consultation Policy approved by City Council for Zoning By-law amendments. Staff received four notification requests and one comment during the formal circulation period, and three comments after the circulation period had ended. A summary of the comments received, and Staff responses are below. Public Comments and Responses

Comment:

Concerns regarding Bankfield being a busy road and the proposed use will further impact traffic flows.

Response:

The Zoning By-law Amendment application concerns the use of the property and any potential traffic impacts will be further examined during the required Site Plan Control application process.

Comment:

Concerns regarding increased noise and light pollution generated by the proposed use.

Response:

The subject lands are designated for mixed residential and commercial development, and the proposed use is aligned with this designation. Additionally, a site lighting certificate would be required as a part of any future Site Plan Agreement.

Comment:

Concerns related to the overall development layout and appearance.

Response:

Considerations concerning site layout and appearance of the site will mainly be addressed during the future Site Plan Control Application. Staff are satisfied that the recommendation requiring portions of the frontages be dedicated to soft landscaping will ensure the future development will be sensitive to the rural village character.

Comment:

Concerns related impacts on the environment resulting from the proposed development.

Response:

Staff recognize the presence of the Kars Esker on-site and the potential environmental sensitivity associated with its presence. A number of conceptual studies were submitted with the application including a hydrogeological assessment, septic impact and terrain analysis, phase I and II environmental site assessments, which have been reviewed to Staff's satisfaction. Further examination is required as a part of the subsequent Site Plan Control process where the finalized development plan and detailed design will need to demonstrate protection of the environmental feature.

Comment:

Concerns related to pedestrian and cycling safety.

Response:

Staff are satisfied that considerations for site layout including pedestrian and cycling safety will continue to be addressed as subsequent Site Plan Control process.

Comment:

Concerns related to the loss of existing housing.

Response:

The designation for the site under the Secondary Plan is mixed residential and commercial. The development would establish a commercial use which is aligned with the designation for the subject site.

Community Organization Comments and Responses

None Received

Technical Agency Comments and Responses:

Rideau Valley Conservation Authority

Comments:

Concerns primarily related to the proposed stormwater management strategy for the site and the request for further clarification and information related to design details prior to site plan approval.

Response:

Staff are satisfied that concerns regarding the detailed design for the stormwater management will need to be addressed as a part Site Plan control process when further investigation is completed. Staff agree with the Conservation Authority that these concerns will need to be addressed prior to Site Plan approval.