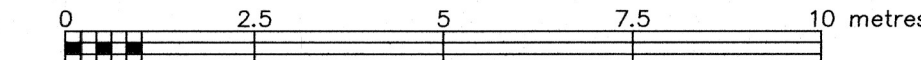


PART OF LOTS 2 & 3 (WEST GWYNNE AVENUE) BLOCK 6 REGISTERED PLAN 111 CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2024

Scale 1: 100



Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note

Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°49'16" counter-clockwise was applied to bearings on P1 & P2.

For bearing comparisons, a rotation of 0°20'15" counter-clockwise was applied to bearings on P3 & P4.

Elevation Notes

- 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1978 :1978. (Monument No. 19680092)
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes

- 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data derived from City of Ottawa utility sheet reference: 2276p&p1, 2276p&p2, F-08-23 & F-08-25.
4. Sanitary and storm sewer grades and inverts were compiled from: City of Ottawa Utility Sheets.
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend

Table with 2 columns: Symbol and Description. Includes symbols for Survey Monument Planted, Survey Monument Found, Standard Iron Bar, Short Standard Iron Bar, Iron Bar, Concrete Pin, Witness, Measured, Registered Plan 111, Plan 5R-14374, Plan by (AOG) dated August 30, 1991, Plan 5R-13819, Plan by (647) dated August 18, 1970, Notes by (723) dated April 9, 1990, Inst CR62974, Inst CR584861, Maintenance Hole (Storm), Maintenance Hole (Sanitary), Underground Storm Sewer, Underground Sanitary Sewer, Underground Water, Underground Gas, Overhead Wires, Utility Pole, Catch Basin, Fire Hydrant, Gas Meter, Sign, Air Conditioner, Diameter, Chain Link Fence, Board Fence, Concrete Retaining Wall, Timber Retaining Wall, Shopping Cart Storage, Invt Derived from City of Ottawa Utility Sheets, Top of Grate, Underside of Eave, Top of Foundation, Centreline, Location of Elevations, Top of Concrete Curb/Retaining Wall Elevation, Property Line, Deciduous Tree, and Coniferous Tree.

Site Area=936.1 sq.m.

TOPOGRAPHIC DATA WAS COLLECTED UNDER WINTER CONDITIONS. SNOW COVER AND ICE PRECLUDE DETERMINING LOCATION AND ELEVATION OF SOME TOPOGRAPHICAL DATA THAT IS OTHERWISE VISIBLE.

WARNING: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2024.

Surveyor's Certificate

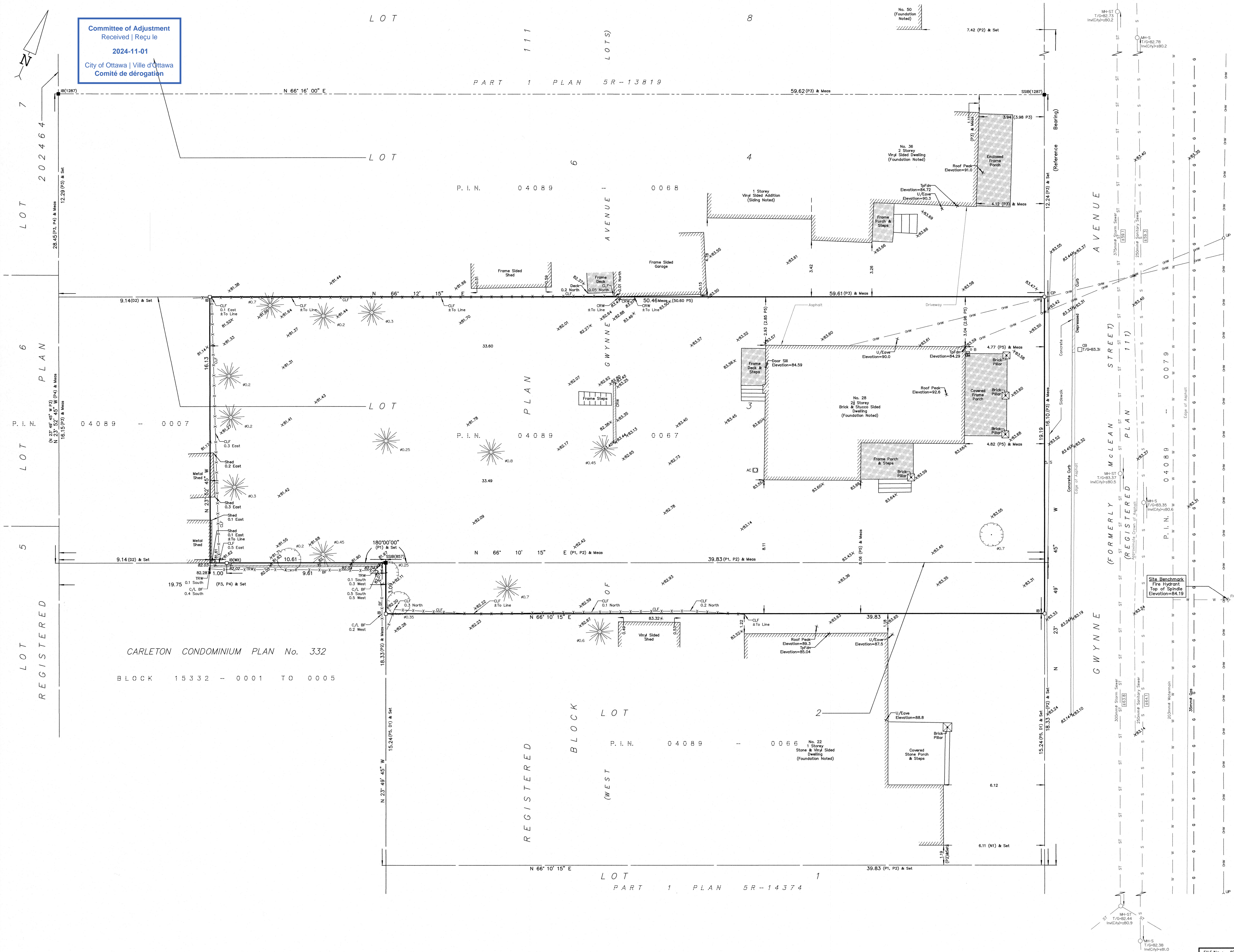
- I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
2. The survey was completed on the 30th day of January, 2024.

Date Feb 06/2024, Signature of Emad Alrefaai, Ontario Land Surveyor.

This plan of survey relates to AOLS Plan Submission Form Number V-73379

FARLEY, SMITH & DENIS SURVEYING LTD.

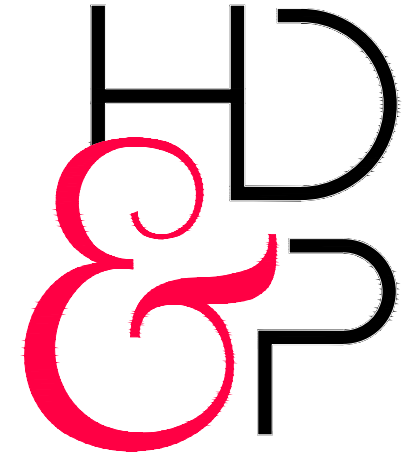
ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS. Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6. TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca



Committee of Adjustment
Received | Reçu le

2024-11-01

City of Ottawa | Ville d'Ottawa
Comité de dérogation



MODERN DESIGNS | INTELLIGENT PLANNING
HAMEL DESIGN AND PLANNING
170 MAIN STREET,
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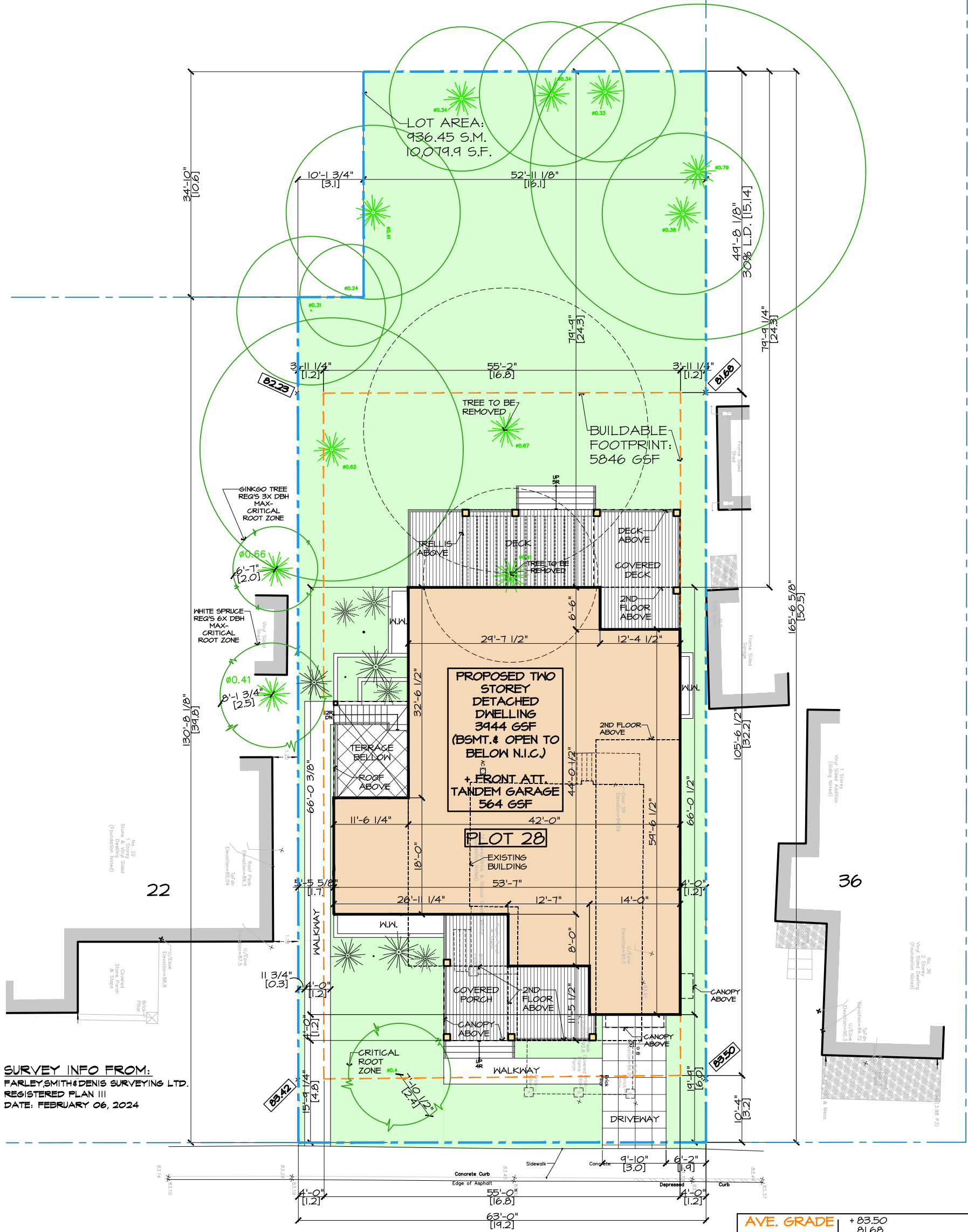
DETACHED CUSTOM HOME

ZAHRA KIANI

R1QQ, MNO
12
2024-02
2024-10-24
28 GWYNNE AVENUE

ZONING
REV. NO.
PR. NO.
DATE
LOCATION





SURVEY INFO FROM:
 FARLEY SMITH & DENIS SURVEYING LTD.
 REGISTERED PLAN III
 DATE: FEBRUARY 06, 2024

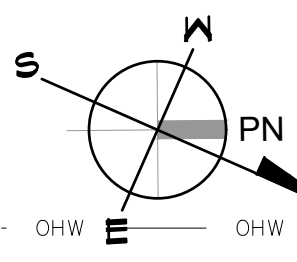
AVE. GRADE	+83.50
	81.68
	82.23
	83.42
	=330.83/4= 82.71

SITE PLAN

SCALE: 1/16" = 1'-0"

MAIN FLOOR AREA: 1994 SQF
 SECOND FLOOR AREA: 1950 SQF
 GARAGE AREA: 564 SQF

FRONT TANDEM GARAGE
 (MINOR VARIANCE REQUIRED)



AI
 DWG No.:

PROJECT No.:	2024-02
DATE:	2024-10-24
CHECKED:	JH
DWG BY:	JK

1	CLIENT REVIEW	08-28
2	CLIENT REVIEW	07-12
3	CLIENT REVIEW	07-16
4	CLIENT REVIEW	07-23
5	CLIENT REVIEW	07-24
6	CLIENT REVIEW	07-24
7	CLIENT REVIEW	08-20
8	CLIENT REVIEW	08-26
9	CLIENT REVIEW	08-30
10	CLIENT REVIEW	09-03
11	CLIENT REVIEW	09-11
12	PRE-CONSUL.	10-24

28 Gwynne Avenue

PROJECT TITLE

176 Main Street, Suite 101
 Ottawa, ON K1S 1Z2
 (416) 332-9081 Fax: (416) 332-9082
 info@fardenis.com Planning



170 Main Street HAMEL
Ottawa, ON, K1S 1C2 DESIGN
(613) 232 9081 Tel. AND
info@HdandF.com FLANNING

PROJECT TITLE

28 GWYNNE AVENUE



EAST ELEVATION
SCALE : 1/8" = 1'-0"

12	PRE-CONSUL.	2024-10-24
11	CLIENT REVIEW	2024-09-11
10	CLIENT REVIEW	2024-09-03
9	CLIENT REVIEW	2024-08-30
8	CLIENT REVIEW	2024-08-26
7	CLIENT REVIEW	2024-08-20
6	CLIENT REVIEW	2024-07-24
5	CLIENT REVIEW	2024-07-24
4	CLIENT REVIEW	2024-07-23
3	CLIENT REVIEW	2024-07-16
2	CLIENT REVIEW	2024-07-12
1	CLIENT REVIEW	2024-06-28

PROJECT No. :
2024-02

DATE:	2024-10-24
CHECKED:	JH
DWG BY:	JK

DWG No:
A2



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PROJECT TITLE

28 GWYNNE
AVENUE



12	PRE-CONSUL.	2024-10-24
11	CLIENT REVIEW	2024-09-11
10	CLIENT REVIEW	2024-09-03
9	CLIENT REVIEW	2024-08-30
8	CLIENT REVIEW	2024-08-26
7	CLIENT REVIEW	2024-08-20
6	CLIENT REVIEW	2024-07-24
5	CLIENT REVIEW	2024-07-24
4	CLIENT REVIEW	2024-07-23
3	CLIENT REVIEW	2024-07-16
2	CLIENT REVIEW	2024-07-12
1	CLIENT REVIEW	2024-06-28

PROJECT No. :

2024-02

DATE: 2024-10-24

CHECKED: JH

DWG BY: JK

DWG No:

A3

SOUTH ELEVATION
SCALE : 1/8" = 1'-0"



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PROJECT TITLE

28 GWYNNE
AVENUE



WEST ELEVATION
SCALE : 1/8" = 1'-0"

12	PRE-CONSUL.	2024-10-24
11	CLIENT REVIEW	2024-09-11
10	CLIENT REVIEW	2024-09-03
9	CLIENT REVIEW	2024-08-30
8	CLIENT REVIEW	2024-08-26
7	CLIENT REVIEW	2024-08-20
6	CLIENT REVIEW	2024-07-24
5	CLIENT REVIEW	2024-07-24
4	CLIENT REVIEW	2024-07-23
3	CLIENT REVIEW	2024-07-16
2	CLIENT REVIEW	2024-07-12
1	CLIENT REVIEW	2024-06-28

PROJECT No. :

2024-02

DATE: 2024-10-24

CHECKED: JH

DWG BY: JK

DWG No:

A4



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PROJECT TITLE

28 GWYNNE
AVENUE



NORTH ELEVATION
SCALE : 1/8" = 1'-0"

12	PRE-CONSUL.	2024-10-24
11	CLIENT REVIEW	2024-09-11
10	CLIENT REVIEW	2024-09-03
9	CLIENT REVIEW	2024-08-30
8	CLIENT REVIEW	2024-08-26
7	CLIENT REVIEW	2024-08-20
6	CLIENT REVIEW	2024-07-24
5	CLIENT REVIEW	2024-07-24
4	CLIENT REVIEW	2024-07-23
3	CLIENT REVIEW	2024-07-16
2	CLIENT REVIEW	2024-07-12
1	CLIENT REVIEW	2024-06-28

PROJECT No. :

2024-02

DATE: 2024-10-24

CHECKED: JH

DWG BY: JK

DWG No:

A5



170 Main Street HAMEL
 Ottawa, ON, K1S 1C2 DESIGN
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PROJECT TITLE

28 GWYNNE
 AVENUE

12	PRE-CONSUL.	2024-10-24
11	CLIENT REVIEW	2024-09-11
10	CLIENT REVIEW	2024-09-03
9	CLIENT REVIEW	2024-08-30
8	CLIENT REVIEW	2024-08-26
7	CLIENT REVIEW	2024-08-20
6	CLIENT REVIEW	2024-07-24
5	CLIENT REVIEW	2024-07-24
4	CLIENT REVIEW	2024-07-23
3	CLIENT REVIEW	2024-07-16
2	CLIENT REVIEW	2024-07-12
1	CLIENT REVIEW	2024-06-28

PROJECT No. :

2024-02

DATE: 2024-10-24

CHECKED: JH

DWG BY: JK

DWG No:

A6



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info@HdandF.com FLANING

PROJECT TITLE

28 GWYNNE
AVENUE

12	PRE-CONSUL.	2024-10-24
11	CLIENT REVIEW	2024-09-11
10	CLIENT REVIEW	2024-09-03
9	CLIENT REVIEW	2024-08-30
8	CLIENT REVIEW	2024-08-26
7	CLIENT REVIEW	2024-08-20
6	CLIENT REVIEW	2024-07-24
5	CLIENT REVIEW	2024-07-24
4	CLIENT REVIEW	2024-07-23
3	CLIENT REVIEW	2024-07-16
2	CLIENT REVIEW	2024-07-12
1	CLIENT REVIEW	2024-06-28

PROJECT No. :

2024-02

DATE: 2024-10-24

CHECKED: JH

DWG BY: JK

DWG No:

A7