

Committee of Adjustment  
Received | Reçu le  
**2024-10-18**  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

**LOT 5**  
**REGISTERED PLAN M-78**  
**CITY OF OTTAWA**  
FARLEY, SMITH & DENIS SURVEYING LTD. 2023

Scale 1: 100  
0 2.5 5 7.5 10 metres

**Metric Note**  
Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

**Distance Note**  
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

**Bearing Note**  
Bearings are grid bearings, referred to the southerly limit of Marier Street having a bearing of N 63° 17' 50" W as shown on Plan 4R-32515 and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).  
For bearing comparisons, a rotation of 9°38'50" counter-clockwise was applied to bearings on P1 & P4.

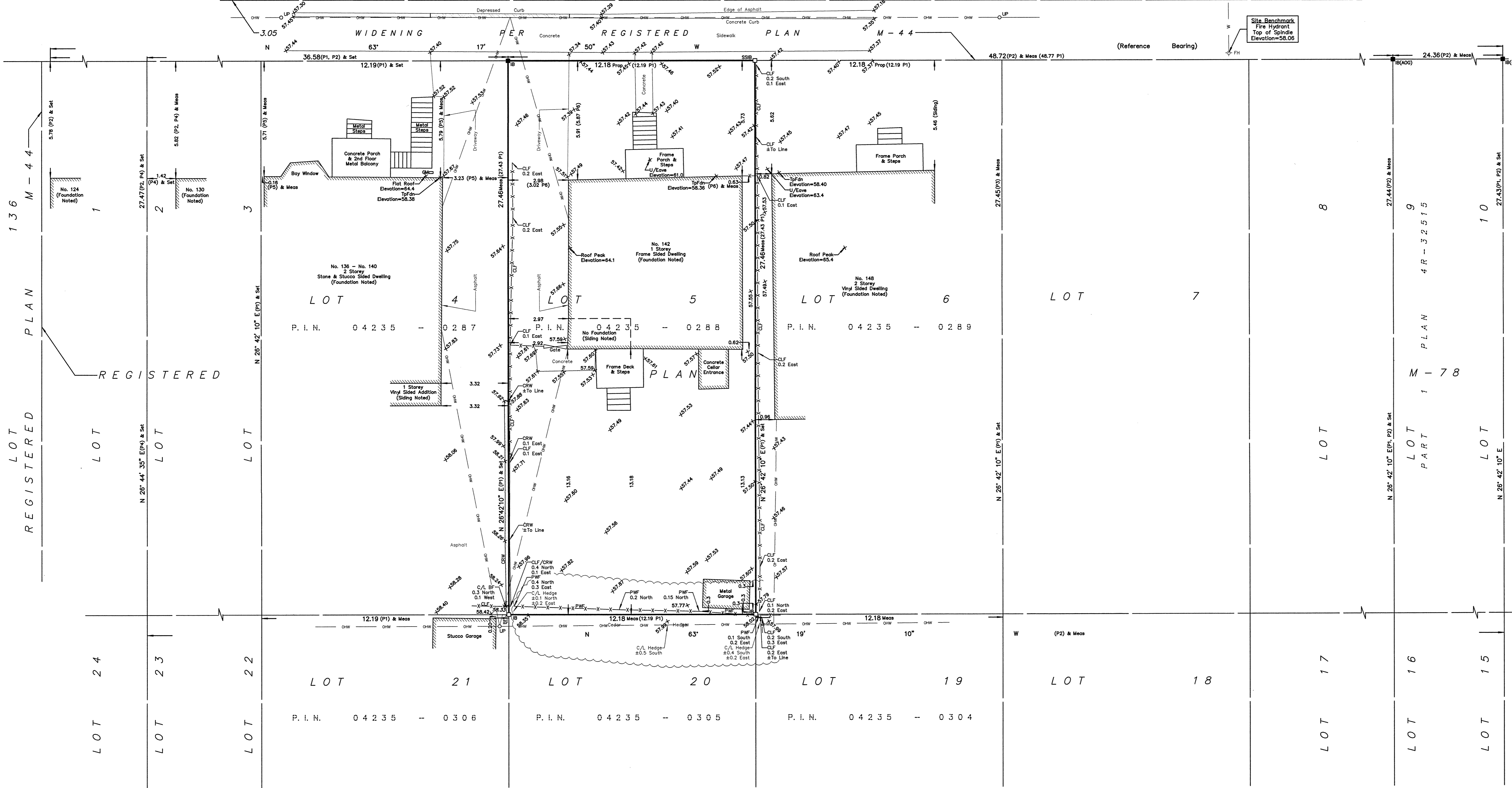
**Elevation Notes**  
1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 -1978. (Monument No. 128434761)  
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

**Utility Notes**  
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.  
2. Only visible surface utilities were located.  
3. Underground utility data derived from City of Ottawa utility sheet reference: C-17-10, C-17-11, H29c-15 & va122p&9.  
4. Sanitary and storm sewer grades and inverts were derived from: Field measurement.  
5. A field location of underground plan by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

**Notes & Legend**

	Denotes Survey Monument Planted
	" Survey Monument Found
	" Standard Iron Bar
	" Short Standard Iron Bar
	" Iron Bar
	" Measured
	" Registered Plan 4M-78
	" Plan 4R-32515
	" Plan by (1319) dated November 6, 1997 (Ref. No. 7-M78-Variar)
	" Plan by (990) dated June 10, 1987
	" Plan by (647) dated September 8, 1983
	" Plan by (647) dated August 11, 1944
	" Maintenance Hole (Storm)
	" Maintenance Hole (Sanitary)
	" Underground Storm Sewer
	" Underground Sanitary Sewer
	" Underground Water
	" Underground Gas
	" Underground Bell
	" Underground Fibre Optic
	" Overhead Wires
	" Utility Pole
	" Fire Hydrant
	" Gas Meter
	" Chain Link Fence
	" Board Fence
	" Post and Wire Fence
	" Concrete Retaining Wall
	" Invert
	" Top of Grate
	" Underside of Eave
	" Top of Foundation
	" Centreline
	" Location of Elevations
	" Top of Retaining Wall Elevation
	" Property Line

Site Area=334.5 sq.m.



**Surveyor's Certificate**  
I certify that:  
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.  
2. The survey was completed on the 20th day of October, 2023.  
Date Oct 20/2023  
Emad Alrefaai  
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-64437  
**FARLEY, SMITH & DENIS SURVEYING LTD.**

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ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS  
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6  
TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca



Eastview Cenotaph

faria freh Best Vanier

Vanier Little Free Library

Parlage Vanier

hotel manoir victoria

Medina GC INC

Kavanaugh Garage

The Purple Elephant Day Care

Marier Ave

Google Earth

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Image NOAA



I Sub-Zone	II Prohibited Uses	III Principal Dwelling Types	IV Minimum Lot Width (m) <sup>11</sup>	V Minimum Lot Area (m <sup>2</sup> ) <sup>12</sup>	VI Maximum Building Height (m)	VII Minimum Front Yard Setback (m)	VIII Minimum Corner Side Yard Setback (m)	IX Minimum Rear Yard Setback (m)	X Minimum Interior Side Yard Setback (m)	XI End-notes (see Table 162B)
R4-UA (By-law 2020-290)		Detached	7.5	225	10	4.5	4.5	varies <sup>4</sup>	1.2/0.6	10, 11, 12, 13
		Linked-detached	7.5	225	10	4.5	4.5	varies <sup>4</sup>	1.2/0.6	10, 11, 12, 13
		Semi-detached	6	180	10	4.5	4.5	varies <sup>4</sup>	1.2	10, 11, 12, 13
		Long Semi-detached	10	300	10	4.5	4.5	varies <sup>4</sup>	1.2/0.6	11, 12, 13
		Duplex	7.5	225	10	4.5	4.5	varies <sup>4</sup>	1.2/0.6	11,12,13
		Townhouse	4.5	135	10	4.5	4.5	varies <sup>4</sup>	1.2	10,11,12,13
		Three Unit	10	300	11	4.5	4.5	varies <sup>4</sup>	1.2	11, 12, 13
		Stacked	14	420	11	4.5	4.5	varies <sup>4</sup>	1.5	11,12,13
		Low-rise Apartment, maximum of 8 units	12	360	11	4.5	4.5	varies <sup>4</sup>	1.5	11,12,13
		PUD	NA	1,400	as per dwelling type	4.5	4.5	varies <sup>4</sup>	varies <sup>1</sup>	1,10,11,12,13

width 12.19 m (40.00 ft)  
 depth 27.43 m (90.00 ft)  
 Total Area: 334.40 m<sup>2</sup> (3599.49 ft<sup>2</sup>) (0.03 h)  
**variance required for lot area**





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Planning & Design  
51 Rothwell Drive  
Ottawa, On  
K1J 7G7

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Scale  
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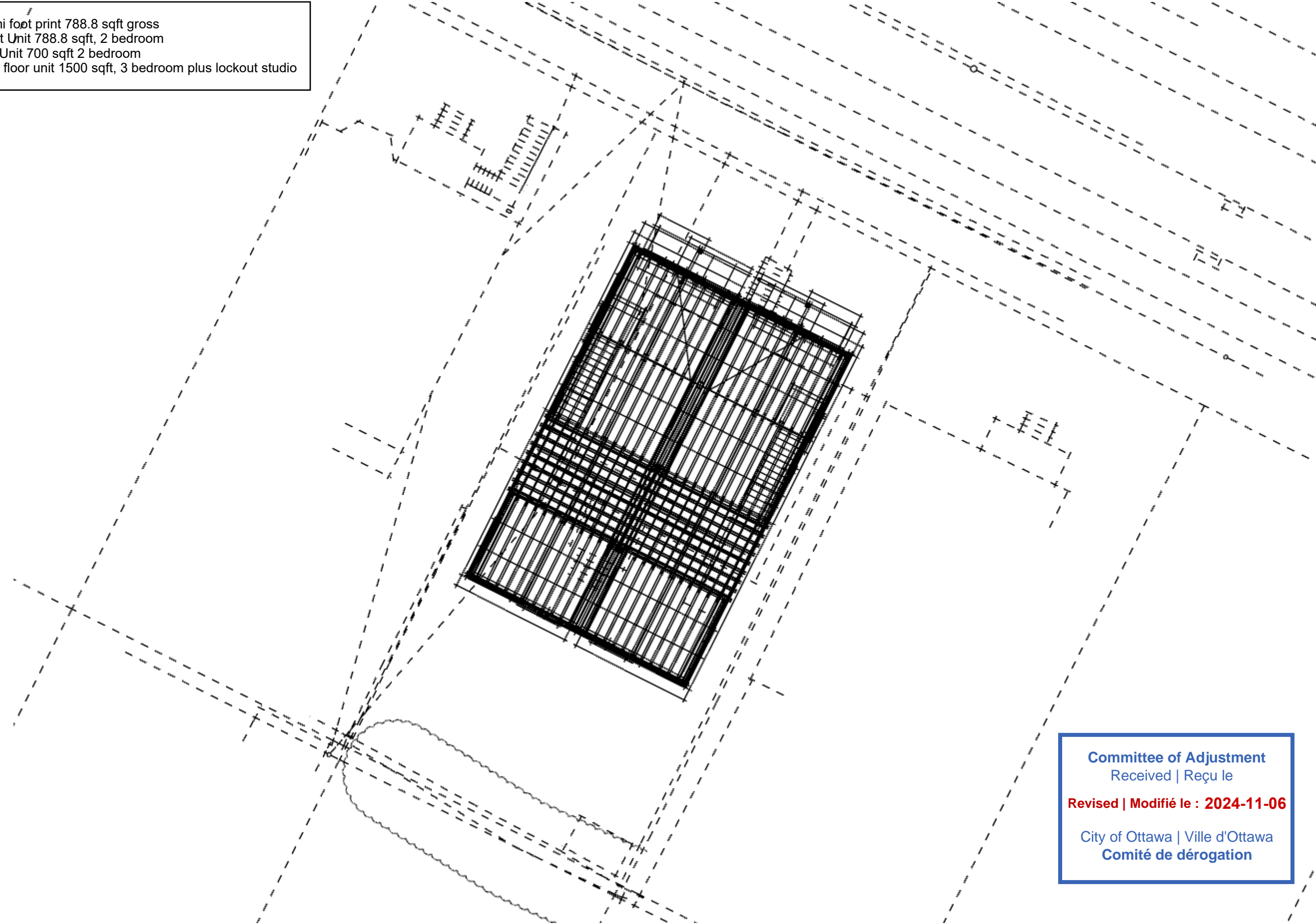
PROJECT  
142 MARIER AVE

ISSUE  
DRAWN BY  
CJ

PROJECT NO.  
2024

November 6,  
2024  
neighbourhood

Each semi foot print 788.8 sqft gross  
Basement Unit 788.8 sqft, 2 bedroom  
1st Floor Unit 700 sqft 2 bedroom  
2 and 3rd floor unit 1500 sqft, 3 bedroom plus lockout studio



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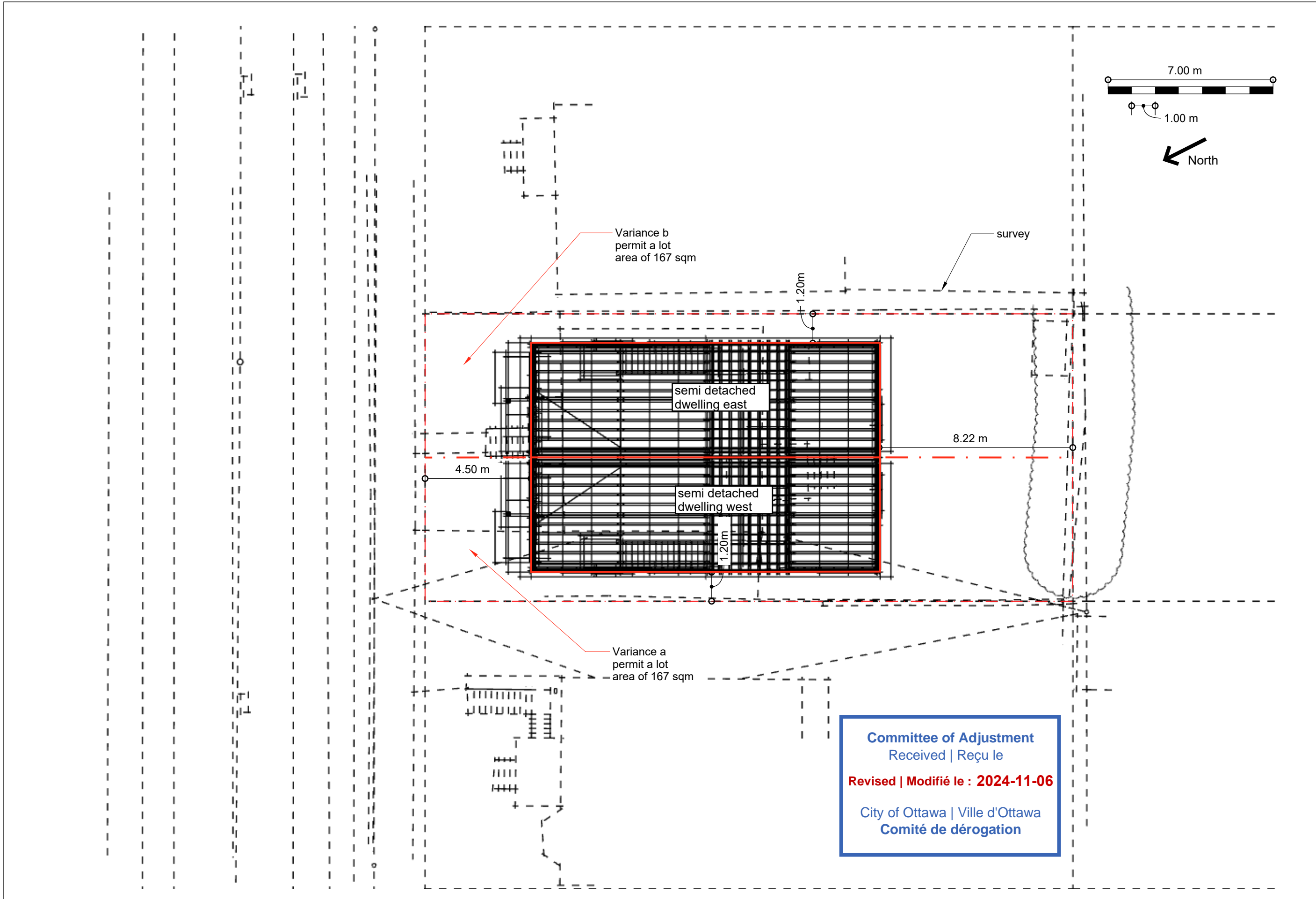
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November 6,  
2024  
N Site



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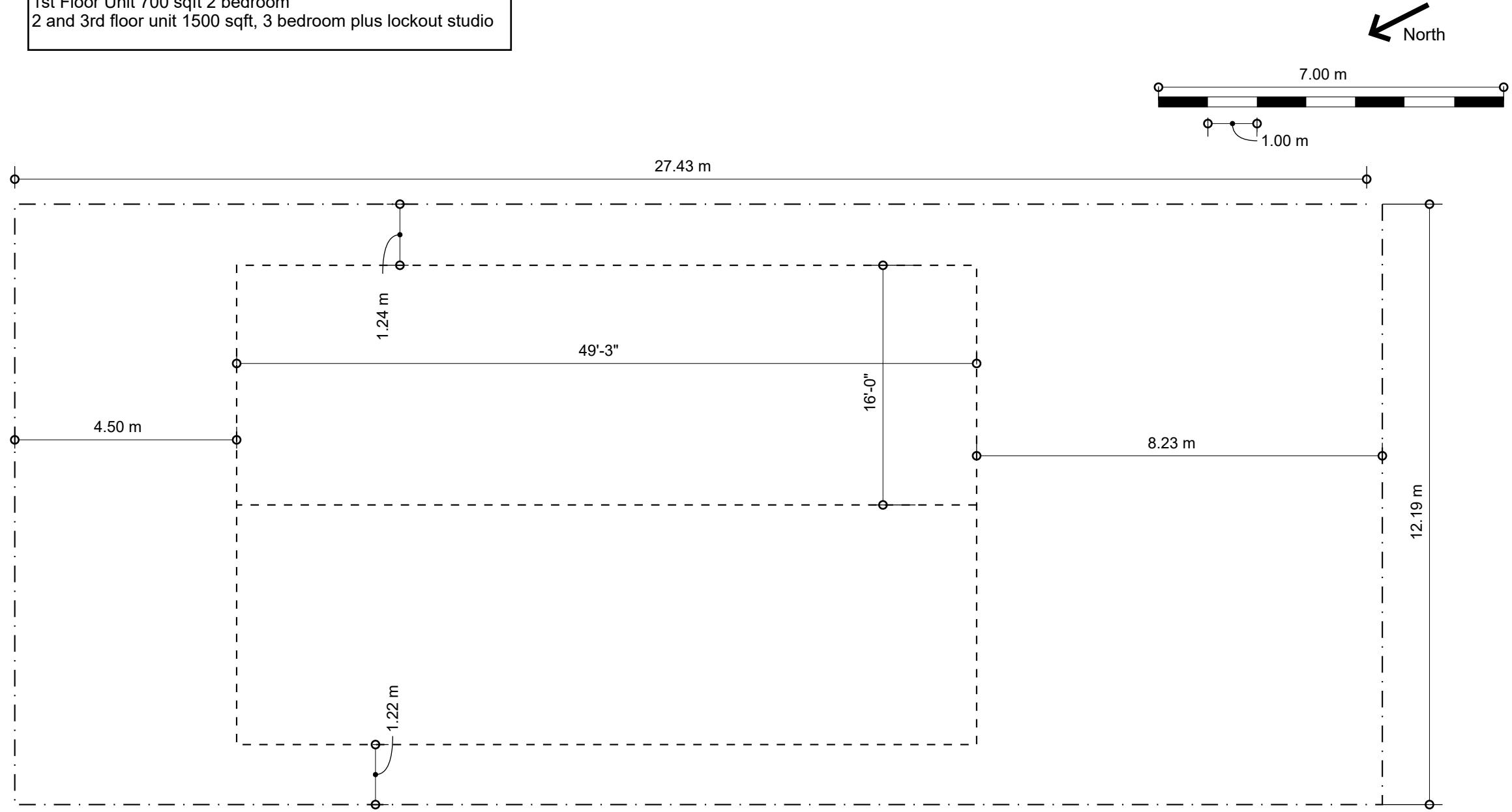
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PROJECT 142 MARIER AVE  
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ISSUE  
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November 6,  
2024  
Site

Each semi foot print 788.8 sqft gross  
 Basement Unit 788.8 sqft, 2 bedroom  
 1st Floor Unit 700 sqft 2 bedroom  
 2 and 3rd floor unit 1500 sqft, 3 bedroom plus lockout studio



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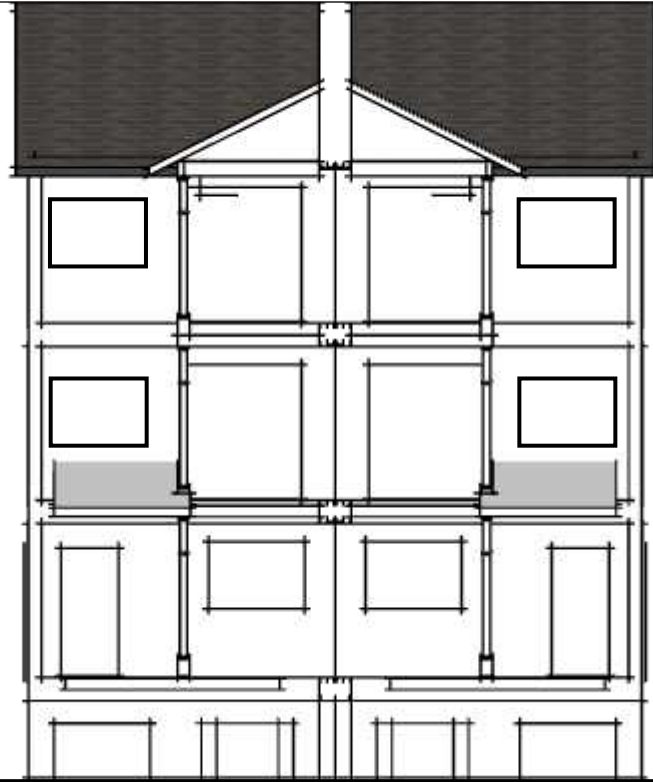
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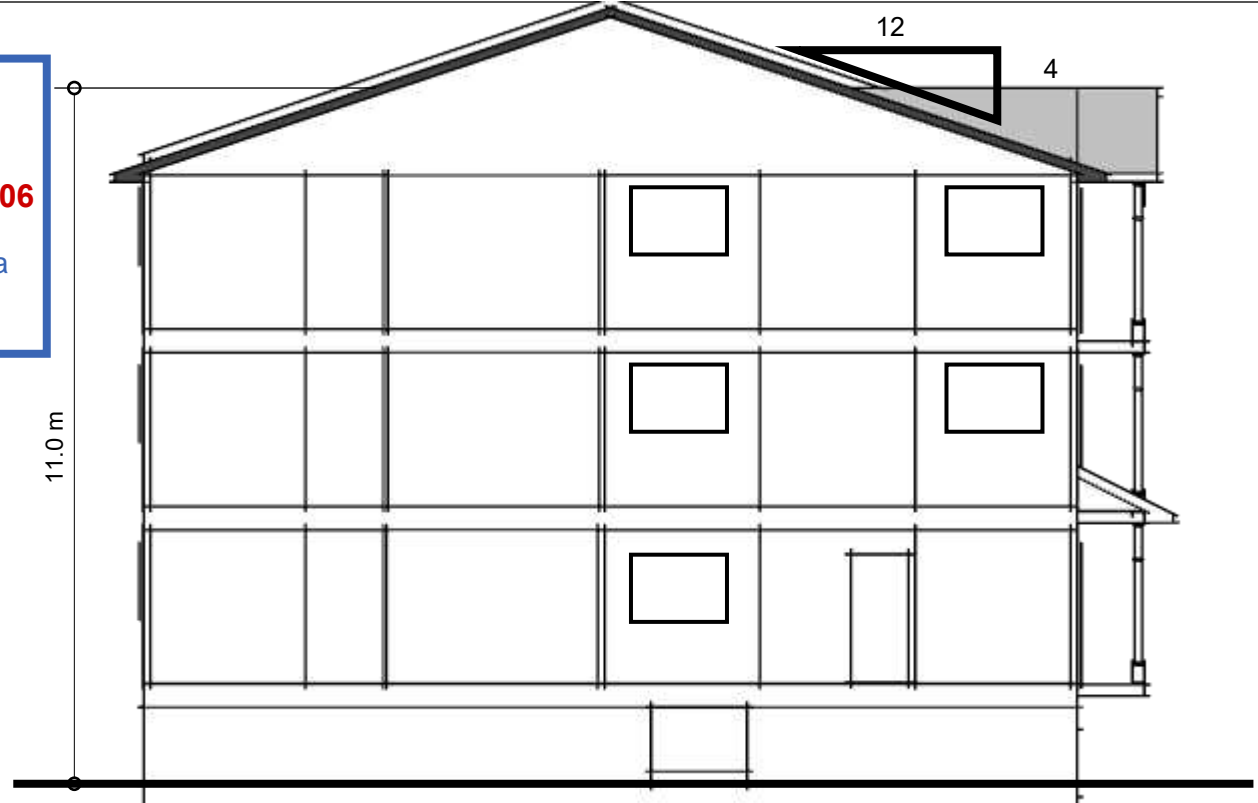
142 MARIER AVE  
 142 MARIER AVE  
 142 MARIER AVE  
 CJ  
 2024  
 2024  
 1:100

November 6,  
 2024  
 Preliminary site

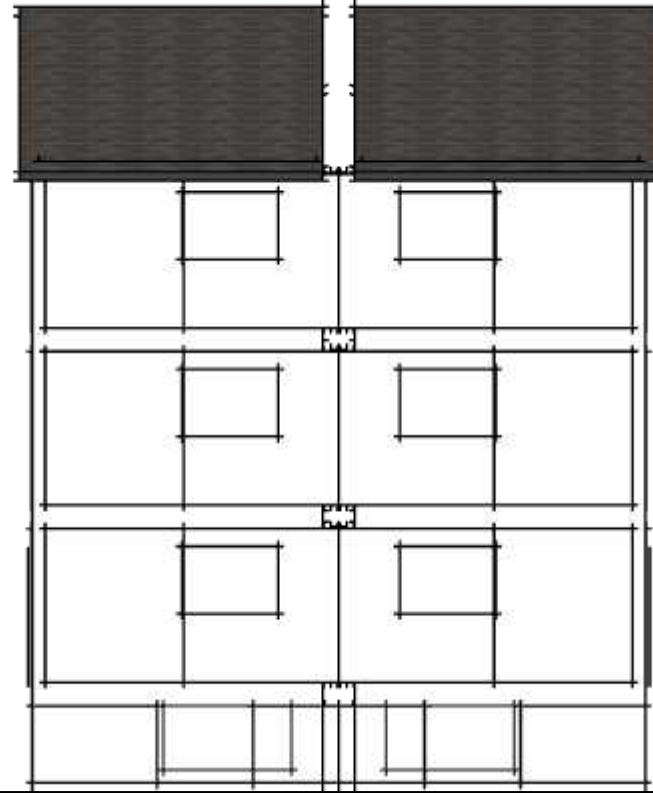


North Elevation

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East Elevation



South Elevation



West Elevation



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 Scale 1" = 10'0"

November 6,  
 2024  
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