

Committee of Adjustment
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City of Ottawa | Ville d'Ottawa
Comité de dérogation

Variance Rational

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Parking Ramp Enclosure, Planning & Design

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1.0 INTRODUCTION & PROJECT OVERVIEW

This document has been prepared to support the application for a minor variance to 2 setbacks to allow the construction of an enclosure over an existing ramp to a parking garage.

The property is located at the North-East corner of Bay Street and Gloucester Street in the Somerset ward.

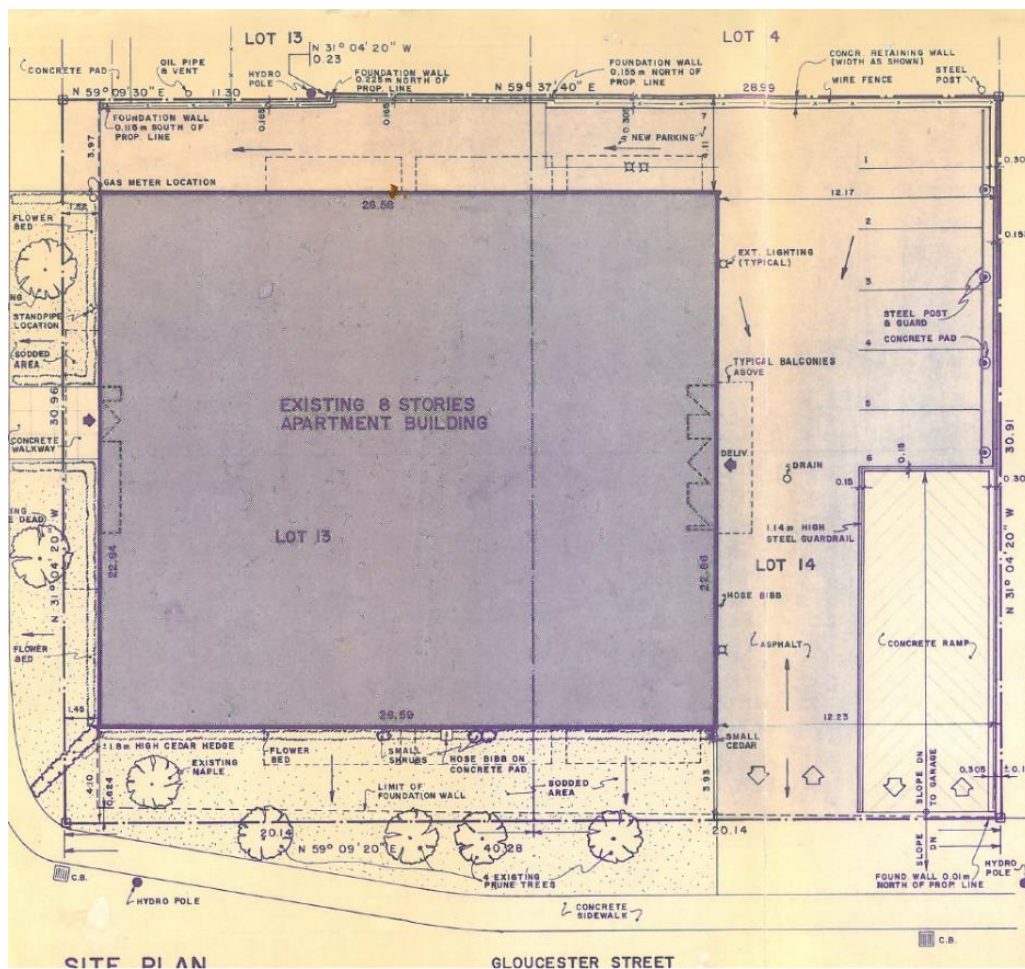
The variances requested are for the reduction in the setbacks to zero for the rear lot line and the corner side lot line.

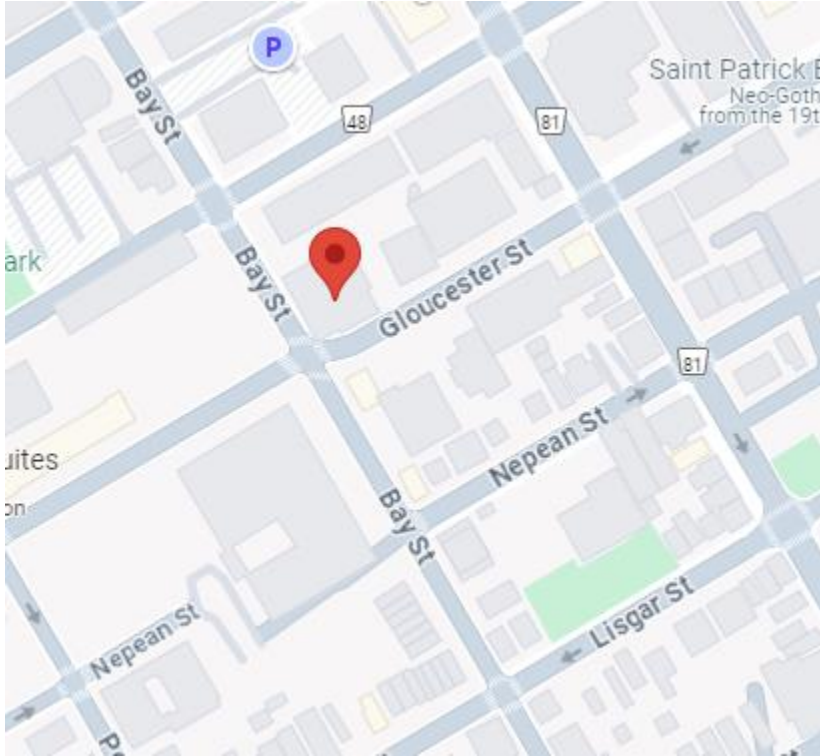
2.0 SITE OVERVIEW & COMMUNITY CONTEXT

The property located at 235 Bay Street is an existing 8 storey apartment building (Circa 1965) with underground parking for 23 cars and above ground parking for 6 cars.

The lot has a frontage of 30.96 m and a depth of 40.29 m and an area of 0.125 ha.

The Zoning is R5Q N(64)





Site Location Map

SURROUNDING LAND USES



Subject Property known as the Crystal Arms Apartments. N-E corner of Bay & Gloucester.



Centennial Public School. S-W corner of Bay & Gloucester.



Corner store and apartment buildings. N-W corner of Bay & Gloucester.



Parking garage and apartment buildings. S-E corner of Bay & Gloucester.

The area around 235 Bay Street (Crystal Arms Apartments) is mainly residential with some commercial and a Public School.

3.0 DEVELOPMENT PROPOSAL & VARIANCES

The proposed variances to the 2 lot line setbacks will allow for the construction of an enclosure above the existing parking garage ramp. The enclosure is required as a safety measure to existing condition.

Background (Existing Conditions)

The existing electric heating cables in the parking ramp concrete structural slab have failed and the construction procedure reconstruct the slab is prohibitive, due to the following reasons:

1. In order to replace the electric cables, the structural slab would have to be demolished and repoured...not only is this time prohibitive, it would eliminate the access to and from the parking garage for an extended time period.
2. Timing for the possible repairs would not be feasible until next spring. That leaves the ramp subject to more harsh salt maintenance for another winter season.
3. This is also a safety issue for the building occupants.

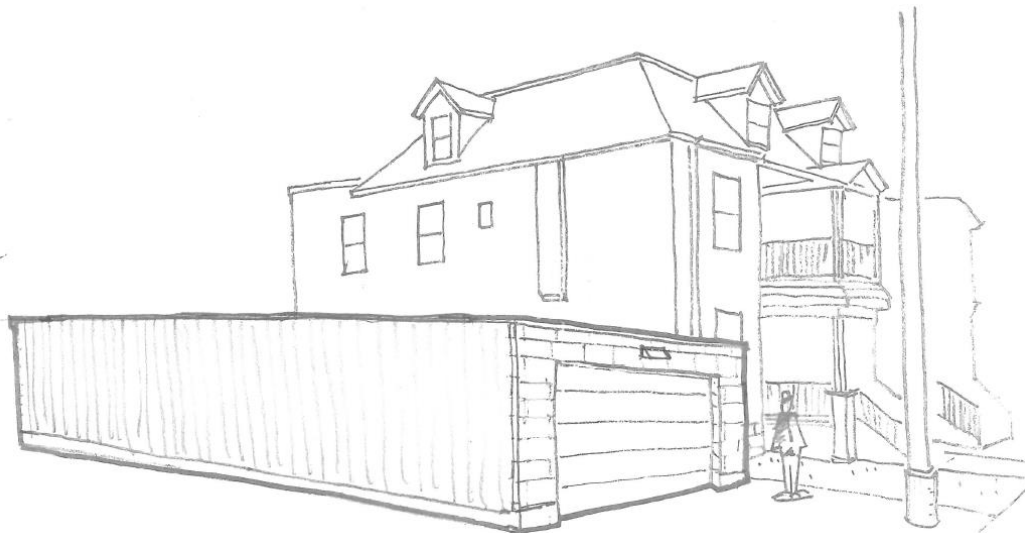
Proposed Remedial Action

The existing ramp foundation walls would serve as the foundation for a new wood framed structure. The outside dimensions proposed are 5.87 m wide x 15.10 m long x 3.60 m high max. (20'w x 50'l x 12'h max.)

We propose to construct an insulated wood framed structure, and propose to clad with metal siding and a masonry south façade, c/w a flat Mod-bit roof.

A new automatic garage door would be installed at the top of the ramp (South Wall).

An internal heat source would be provided inside the new enclosure.

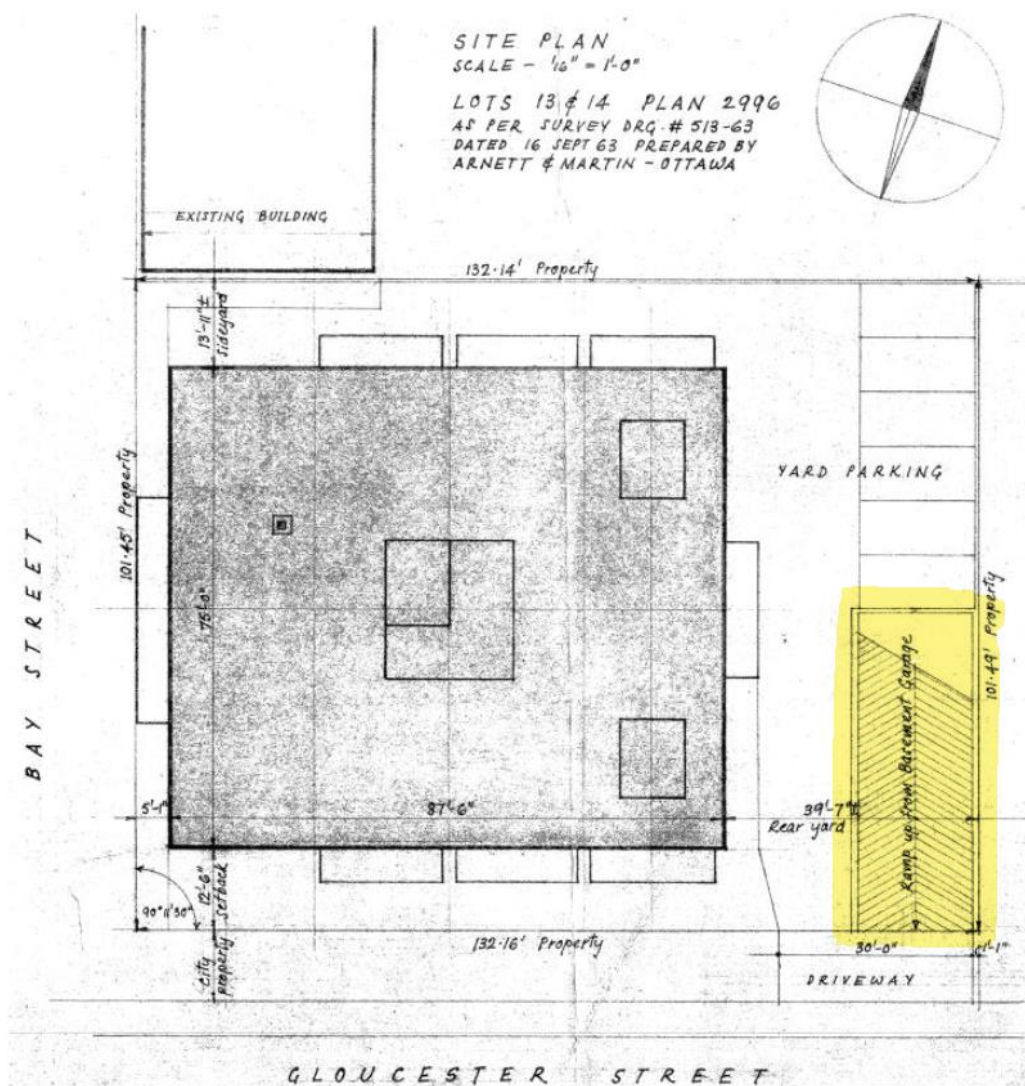


PROPOSED PARKING RAMP ENCLOSURE
235 BAY STREET - OTTAWA - ONTARIO.

The 2 phases of the Minor Variance Application have the following requested variances:

1. To allow a reduction in the By-law required set back of 0.6 m at the rear lot line per By-law Section 55 to a 0.19m-lot line measurement. This will allow the existing ramp foundation to be utilized for supporting the new enclosure above.
2. To allow a reduction in the By-law required set back of 1.2 m at the corner side lot line per By-law Section 55 to a zero-lot line measurement. This will allow the existing ramp foundation to be utilized for supporting the new enclosure above.

Variances for the 1. Rear & 2. Corner Side setbacks should be considered minor, as the foundations for the parking ramp are existing and the new structure can only be constructed in that location.



PARKING RAMP LOCATION MAP

Existing parking ramp is shown highlighted in yellow.



View of existing parking ramp abutting the Rear and Corner Side lot lines.

4.0 POLICY & REGULATORY FRAMEWORK

City of Ottawa Official Plan

The Ottawa Official Plan has been reviewed. The site is designated R5Q H(64) Table 55-Provision for Accessory Uses, Buildings or Structures.

The proposed structure being built on an existing foundation system is allowed at this location. The main building will not be affected or modified as part of this proposal.

5.0 CONCLUSIONS

The proposed structure has been designed to meet the City of Ottawa Official Plan.

The proposed variances should be considered minor for the following reasons:

1. The variances are minor.
 - a) The requested setbacks are minor as they will match the present ramp location and foundation layout to be utilized in this proposal.
2. The general intent and purpose of the Zoning By-law is maintained.
 - a) The intent of the By-law is to permit accessory buildings or structures on this site.
3. The general intent and purpose of the By-law is maintained.
 - a) Table 55-Provision for Accessory Uses, Buildings or Structures, supports this kind of development as this has a direct effect on the safety of the residents using this ramp.
4. The general intent of the Official Plan is maintained.
 - a) The work proposed on this site does not adversely affect the intent of the Official Plan, which is housing and growth management; long-term planning for employment and infrastructure; protect water resources, natural heritage and agricultural areas; manage non-renewable resources; plan for climate change; and safeguard public health and safety.