

**SOUTH - ELEVATION AT SIDEYARD**

PERCENTAGE OF EXPOSED BUILDING FACE AT SOUTH ELEVATION FOR SPATIAL SEPARATION AS PER O.B.C. SECTION 3.2.3.1

PROPOSED AREA OF BUILDING FACE AT 1.2m LIMIT = 167 m<sup>2</sup> (1,797.63 SQ.FT.)  
 PROPOSED GLAZING PERCENTAGE AT THIS FACE = 5.0% (8.4 m<sup>2</sup>)

ALLOWABLE GLASS AREA AT BLDG FACE BASED ON 1.2m (11.7m<sup>2</sup>) AT ACTUAL LIMITING DISTANCE = MAX 14%

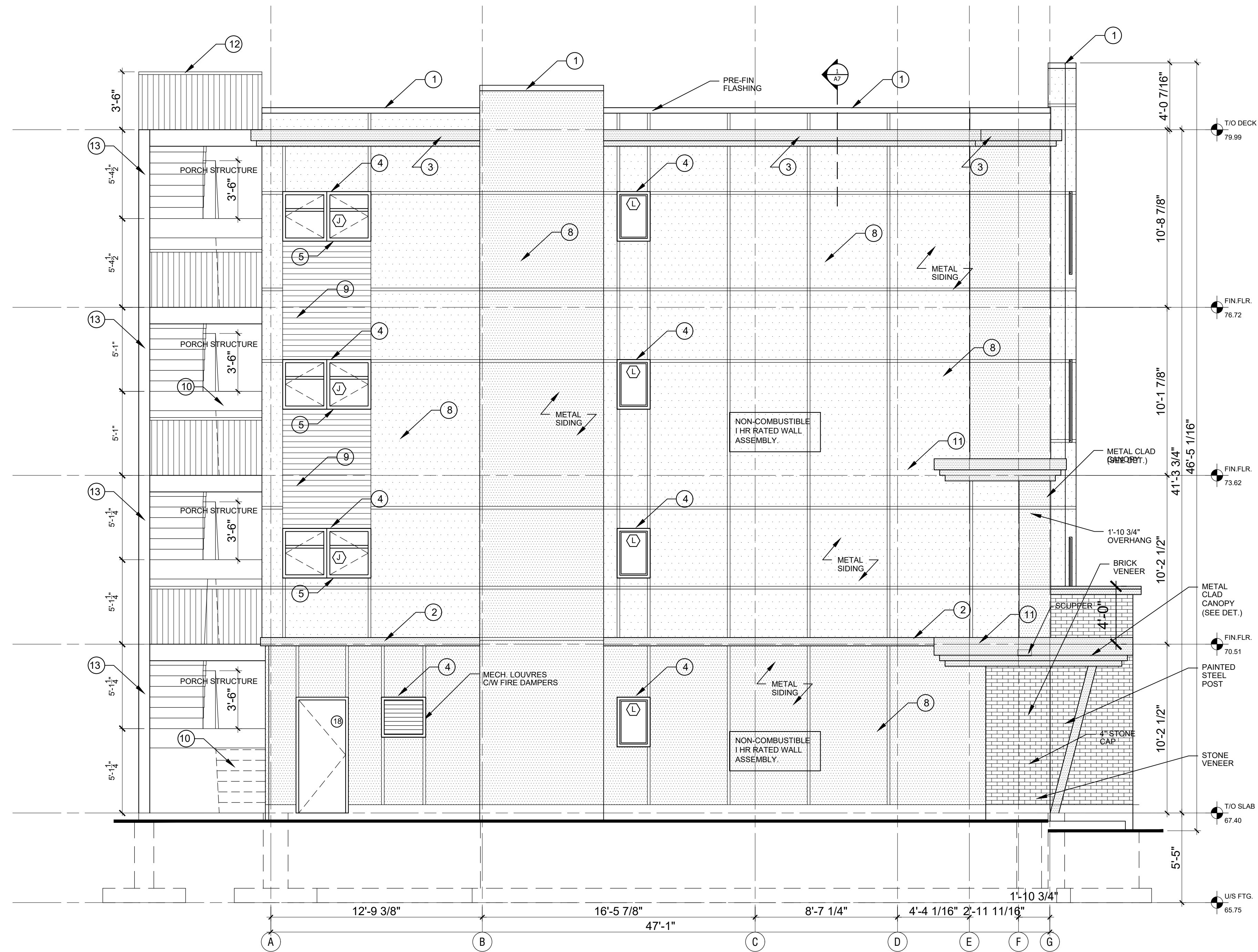
THEREFORE THE EXTERIOR WALLS AT THIS BUILDING FACE IS ALLOWED TO BE GLAZED UP TO 14% IN ACCORDANCE WITH O.B.C. 3.2.3.1.D 14% IS WELL WITHIN THE O.B.C. LIMITATION BUT THE WALL ASSEMBLY ADJACENT TO THE PROTECTED OPENINGS SHALL BE RATED 1HR. AS PER O.B.C. 3.2.3.7.(3) AS COMBUSTIBLE CONSTRUCTION WITH NON-COMBUSTIBLE CLADDING

TOTAL SURFACE AREA = 167 m<sup>2</sup>  
 UNPROTECTED OPENINGS = 8.4 m<sup>2</sup>  
 5.0 %

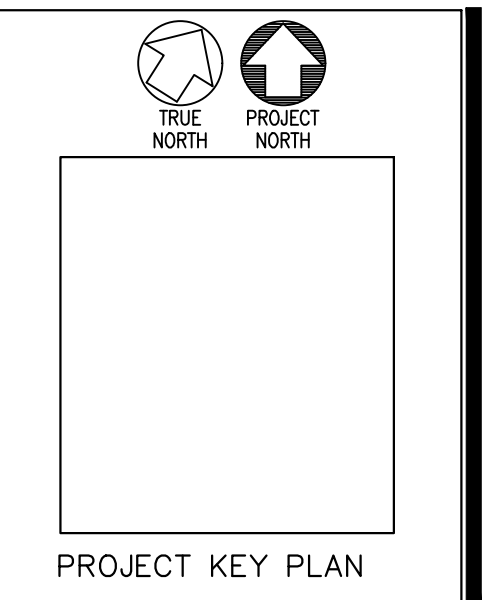
**RATIO L/H**  
**2 : 1**

**LEGEND**

- 1 PROVIDE 4" CAP FLASHING AS SHOWN.
- 2 PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
- 3 PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
- 4 PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
- 5 PRE-FIN METAL WRAP AROUND SPANDREL TO MATCH WINDOW FRAME COLOUR & FINISH.
- 6 SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.  
 THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.  
 STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
- 7 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.).
- 8 PRE-PAINTED GALV. STEEL SIDING BY IDEAL ROOFING INDUSTRIAL METRO 26 Ga (TYP.).
- 9 PRE-FORMED METAL PANELS C/W GALVALUME FINISH (TYP.).
- 10 SEE SHEET A22 FOR PORCH STAIR DETAILS
- 11 PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
- 12 PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
- 13 PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



Committee of Adjustment  
 Received | Reçu le  
 2024-11-12  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation



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REVISIONS:	DATE:
Revised for permit	15/09/21
Issued for permit	09/01/22
Issued for permit	15/08/22
Issued for Variance	12/11/24

DRAWN BY:  
 DEXTOR EDWARDS  
 DATE:  
 AUG 2021  
 SCALE:  
 AS SHOWN ON DETAIL

PROJECT:  
 346 ROOSEVELT APARTMENT BLOCK  
 OTTAWA, ONT.  
 CLIENT:  
 KURT, SHAWN AND GREG WESTWELL  
 OTTAWA, ONTARIO

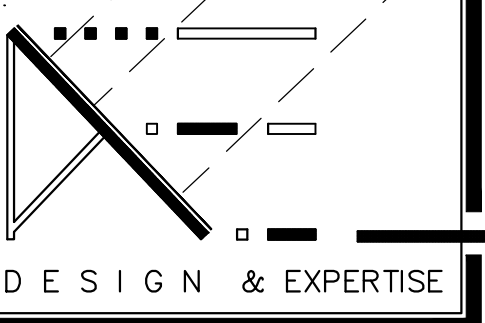
**A14**  
 JOB NO: 1006 - 09



DEXTOR A. EDWARDS  
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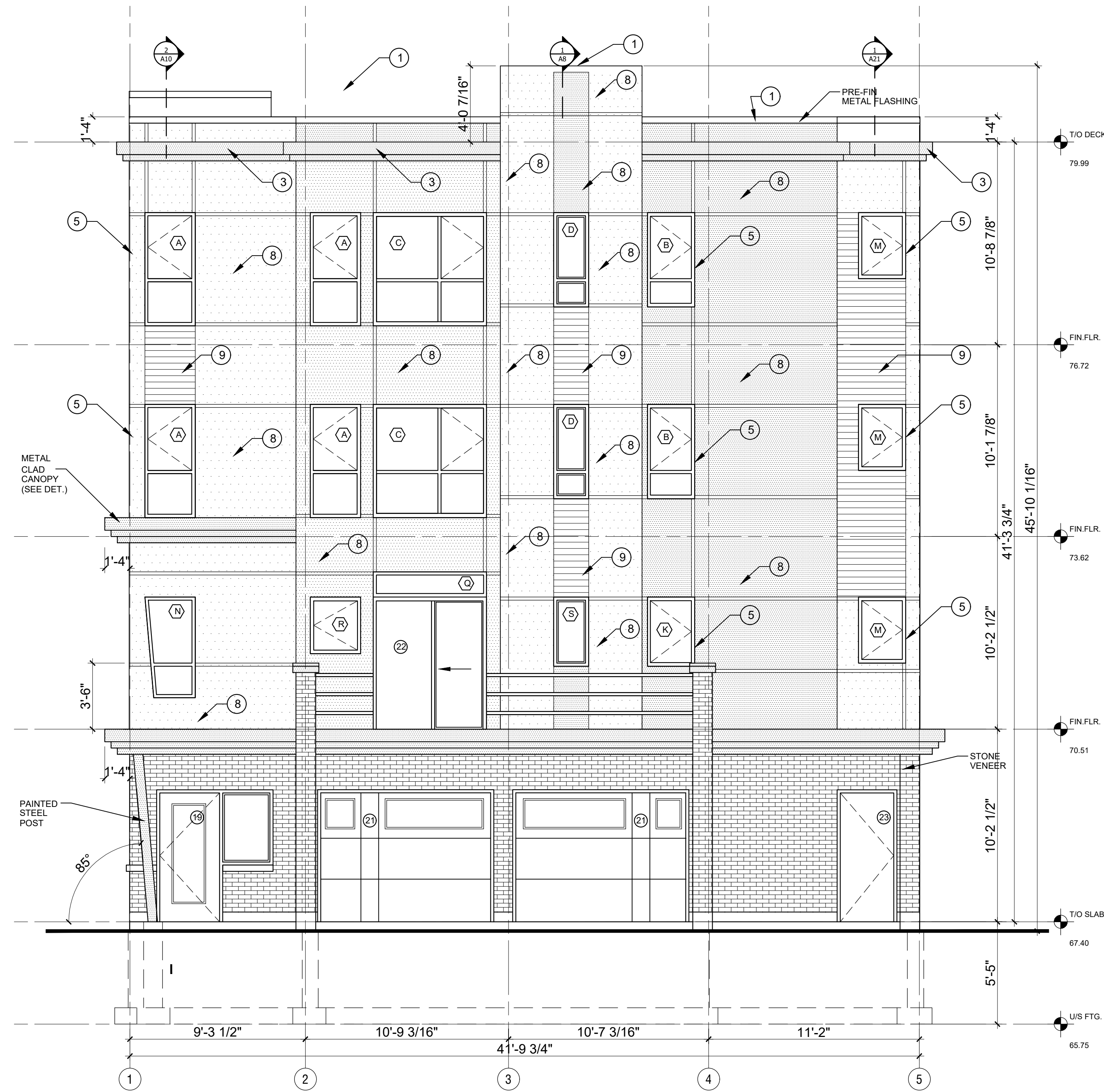
**2 SOUTH/LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

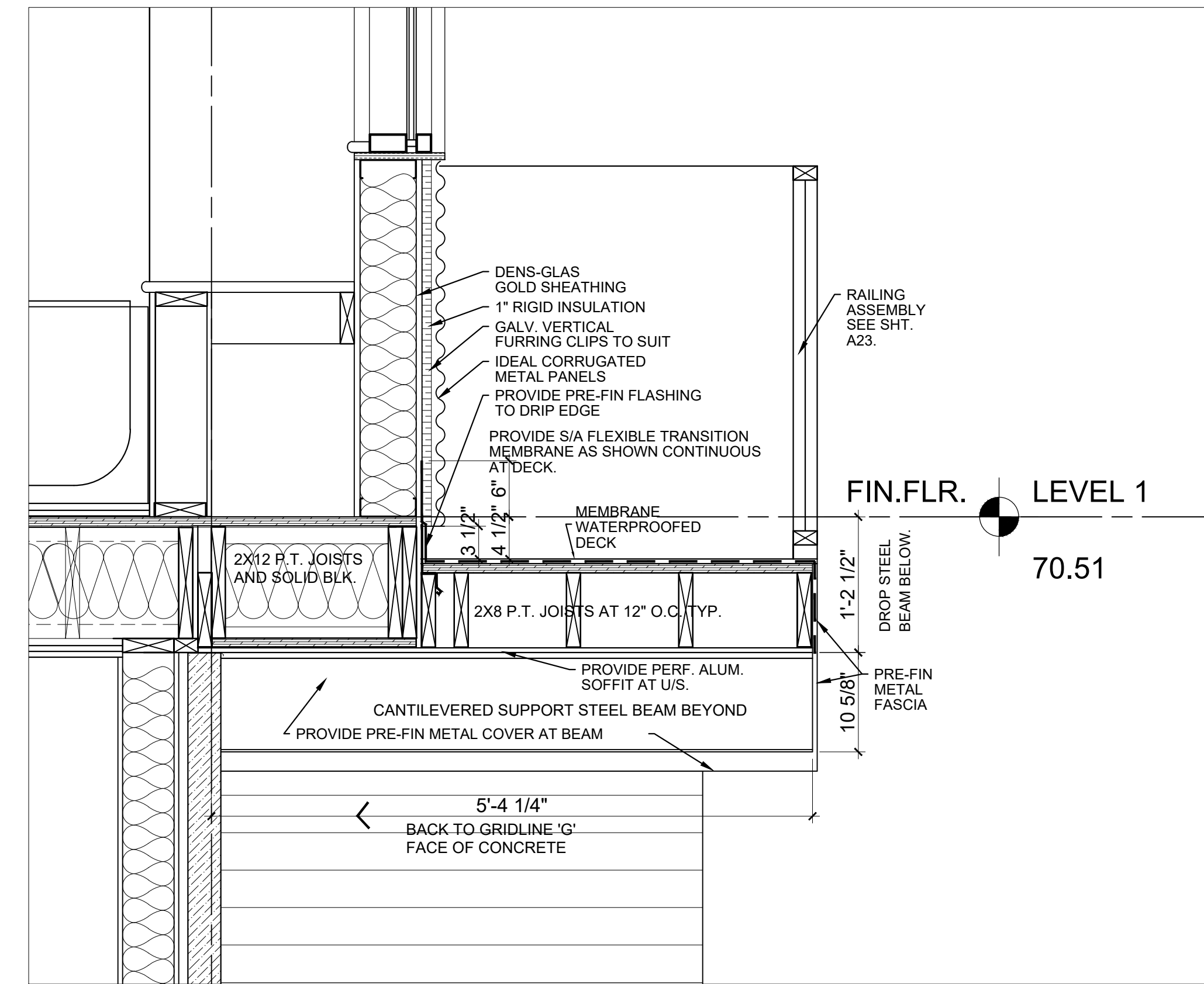


LEGEND

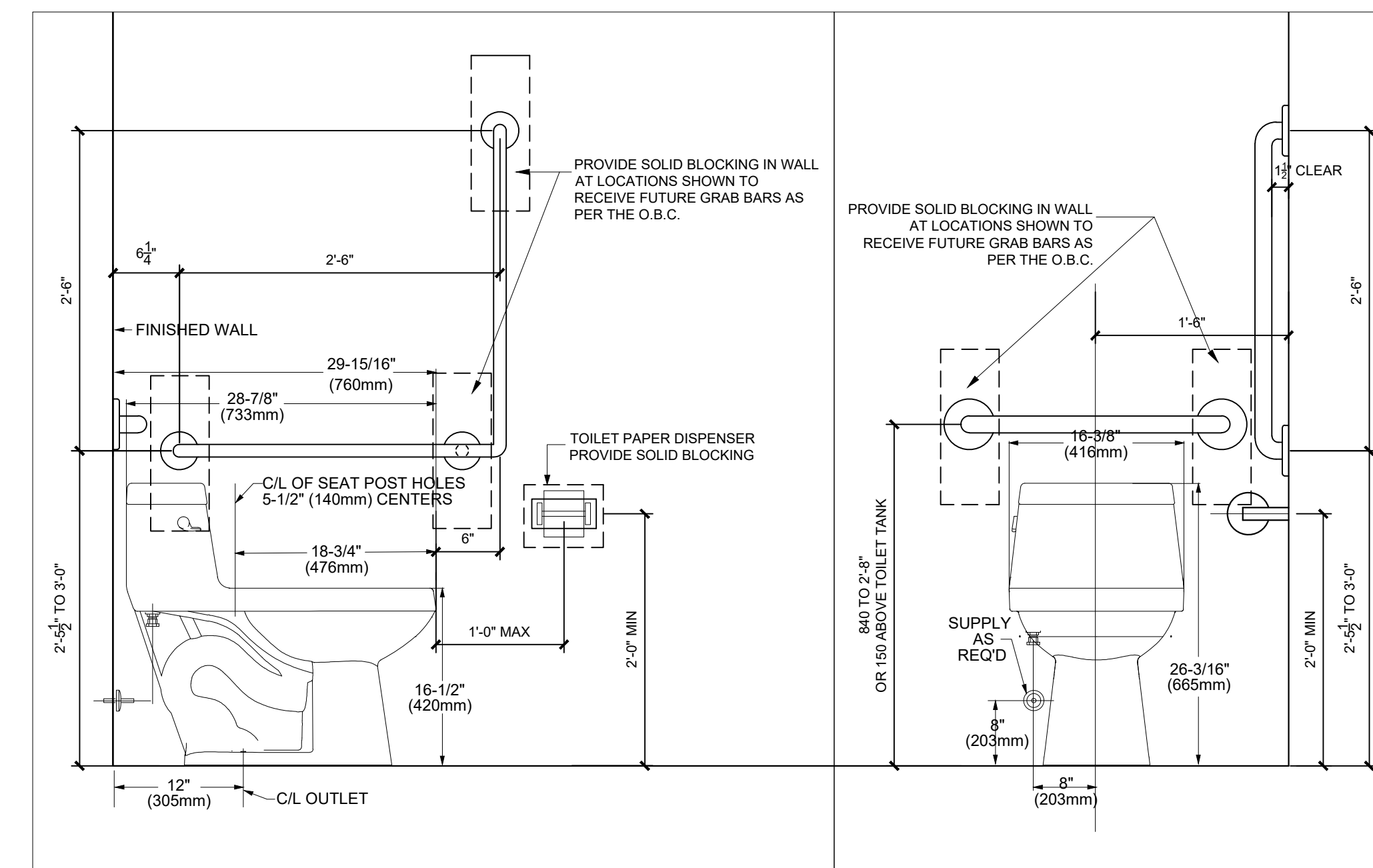
- 1 PROVIDE 4" CAP FLASHING AS SHOWN.
- 2 PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
- 3 PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
- 4 PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
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- 6 SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.  
THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.  
STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
- 7 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.)
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- 11 PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
- 12 PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
- 13 PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



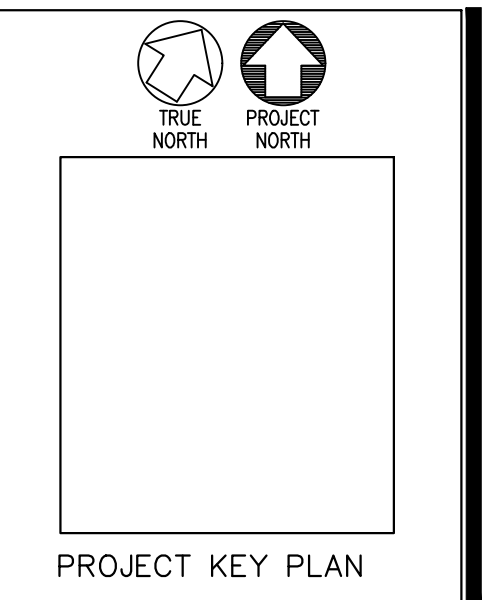
2 FRONT - STREET ELEVATION  
SCALE: 1/4" = 1'-0"



3 SECTION DETAIL  
SCALE: 1" = 1'-0"



4 ACCESSIBLE WASHROOM DETAILS AT GRAB BARS FOR TOILET BLOCKING FOR FUTURE INSTALLATION.



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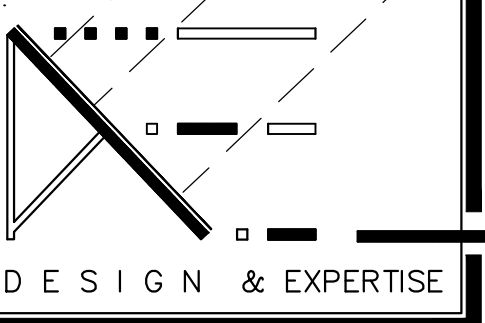
DRAWN BY:  
DEXTOR EDWARDS  
DATE:  
AUG 2021  
SCALE:  
AS SHOWN ON DETAIL

PROJECT:  
346 ROOSEVELT APARTMENT BLOCK  
OTTAWA, ONT.  
CLIENT:  
KURT, SHAWN AND GREG WESTWELL  
OTTAWA, ONTARIO

A15  
JOB NO: 1006 - 09



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**NORTH - ELEVATION AT SIDEYARD**

PERCENTAGE OF EXPOSED BUILDING FACE AT NORTH ELEVATION FOR SPATIAL SEPARATION AS PER O.B.C. SECTION 3.2.3.1

PROPOSED AREA OF BUILDING FACE AT 1.2m LIMIT = 142 m<sup>2</sup> (1,528.6 SQ.FT.)  
 PROPOSED GLAZING PERCENTAGE AT THIS FACE = 2.7% (3.9 m<sup>2</sup>)

ALLOWABLE GLASS AREA AT BLDG FACE BASED ON 1.2m (3.9m<sup>2</sup>) AT ACTUAL LIMITING DISTANCE = MAX 14%

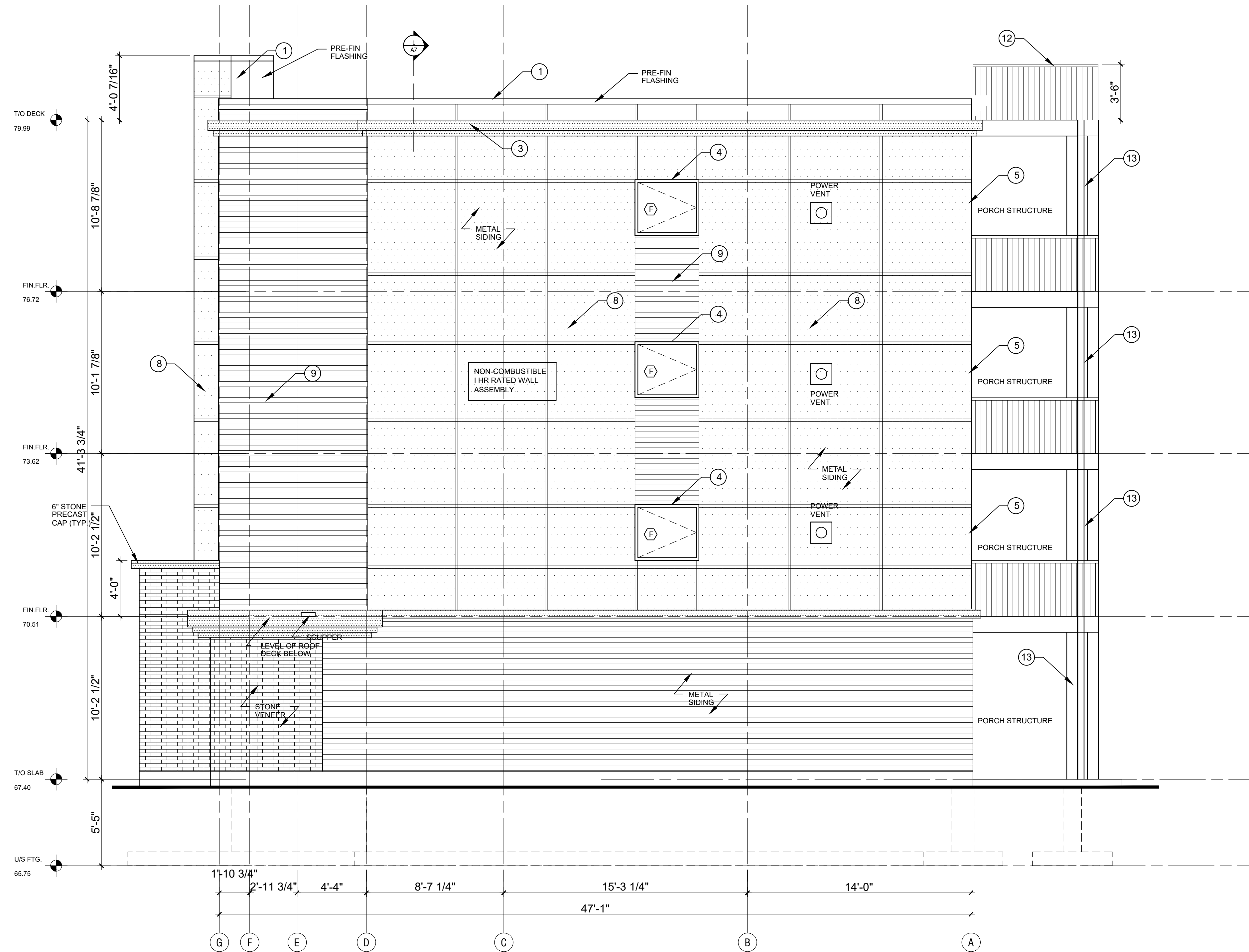
THEREFORE THE EXTERIOR WALLS AT THIS BUILDING FACE IS ALLOWED TO BE GLAZED UP TO 14% IN ACCORDANCE WITH O.B.C. 3.2.3.1.D 14% IS THE ACTUAL O.B.C. LIMITATION BUT THE WALL ASSEMBLY ADJACENT TO THE PROTECTED OPENINGS SHALL BE RATED 1HR. AS PER O.B.C. 3.2.3.7.(3) AS COMBUSTIBLE CONSTRUCTION WITH NON-COMBUSTIBLE CLADDING

TOTAL SURFACE AREA = 142 m<sup>2</sup>  
 UNPROTECTED OPENINGS = 3.9 m<sup>2</sup>  
 2.7 %

**RATIO L/H**  
**2 : 1**

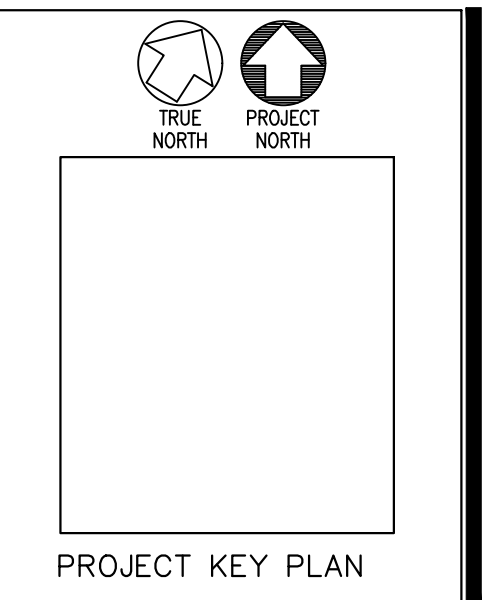
**LEGEND**

- 1 PROVIDE 4" CAP FLASHING AS SHOWN.
- 2 PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
- 3 PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
- 4 PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
- 5 PRE-FIN METAL WRAP AROUND SPANDREL TO MATCH WINDOW FRAME COLOUR & FINISH.
- 6 SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.  
 THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.  
 STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
- 7 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.).
- 8 PRE-PAINTED GALV. STEEL SIDING BY IDEAL ROOFING INDUSTRIAL METRO 26 Ga (TYP.).
- 9 PRE-FORMED METAL PANELS C/W GALVALUME FINISH (TYP.).
- 10 SEE SHEET A22 FOR PORCH STAIR DETAILS
- 11 PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
- 12 PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
- 13 PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



**1 NORTH/RIGHT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

Committee of Adjustment  
 Received | Reçu le  
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 Comité de dérogation



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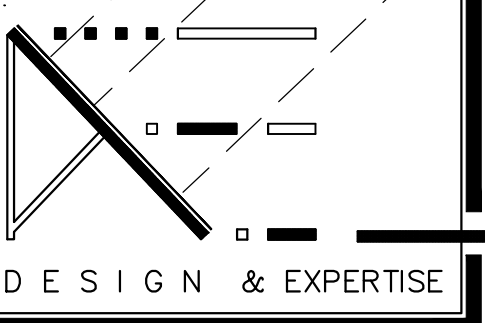
DRAWN BY:  
 DEXTOR EDWARDS  
 DATE:  
 AUG 2021  
 SCALE:  
 AS SHOWN ON DETAIL

PROJECT:  
 346 ROOSEVELT  
 APARTMENT BLOCK  
 OTTAWA, ONT.  
 CLIENT:  
 KURT, SHAWN AND  
 GREG WESTWELL  
 OTTAWA, ONTARIO

**A16**  
 JOB NO: 1006 - 09



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REAR - ELEVATION

PERCENTAGE OF EXPOSED BUILDING FACE AT NORTH ELEVATION FOR SPATIAL SEPARATION AS PER O.B.C. SECTION 3.2.3.1

PROPOSED AREA OF BUILDING FACE AT 7.4m LIMIT = 109 m<sup>2</sup> (1,178.57 SQ.FT.)  
 PROPOSED GLAZING PERCENTAGE AT THIS FACE = 21% (23.25 m<sup>2</sup>)

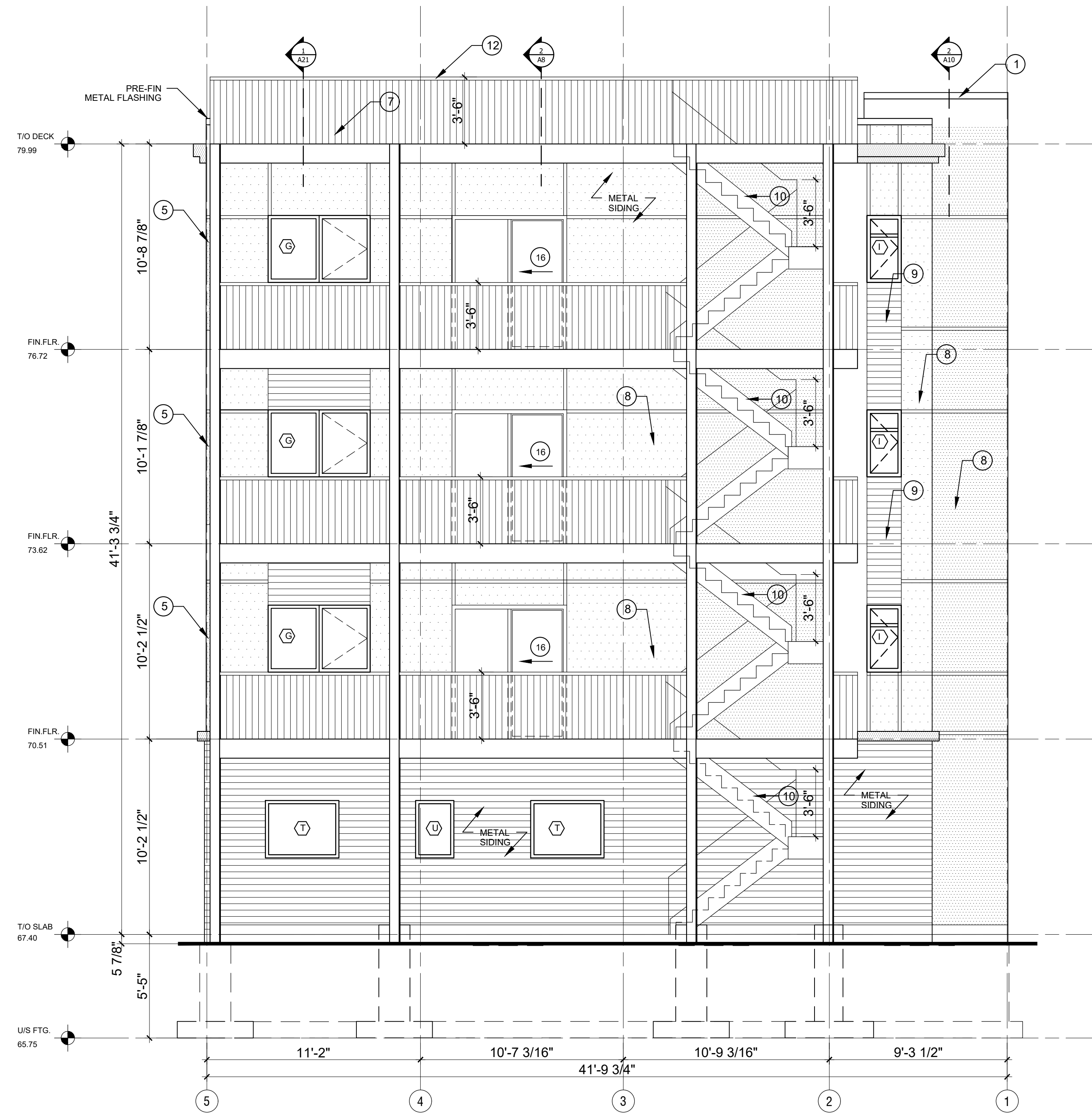
ALLOWABLE GLASS AREA AT BLDG FACE BASED ON 7.4m (23.25m<sup>2</sup>) AT ACTUAL LIMITING DISTANCE = MAX 88%

THEREFORE THE EXTERIOR WALLS AT THIS BUILDING FACE IS ALLOWED TO BE GLAZED UP TO 88% IN ACCORDANCE WITH O.B.C. 3.2.3.1.D 88% IS THE ACTUAL O.B.C. LIMITATION BUT THE WALL ASSEMBLY ADJACENT TO THE PROTECTED OPENINGS SHALL BE RATED 1HR. AS PER O.B.C. 3.2.3.7.(3) AS COMBUSTIBLE CONSTRUCTION ESPECIALLY SINCE THE DISTANCE IS GREATER THAN 5m AND THE BUILDING IS SPRINKLERED.

TOTAL SURFACE AREA = 109 m<sup>2</sup>  
 UNPROTECTED OPENINGS = 23.25 m<sup>2</sup>  
 22 %

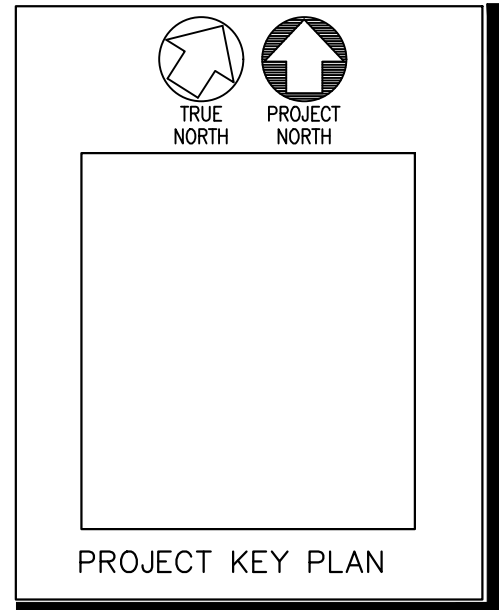
RATIO L/H  
 2 : 1

- LEGEND**
- PROVIDE 4" CAP FLASHING AS SHOWN.
  - PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
  - PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
  - PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
  - PRE-FIN METAL WRAP AROUND SPANDREL TO MATCH WINDOW FRAME COLOUR & FINISH.
  - SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.  
 THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.  
 STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
  - 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.).
  - PRE-PAINTED GALV. STEEL SIDING BY IDEAL ROOFING INDUSTRIAL METRO 26 Ga (TYP.).
  - PRE-FORMED METAL PANELS C/W GALVALUME FINISH (TYP.).
  - SEE SHEET A22 FOR PORCH STAIR DETAILS
  - PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
  - PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
  - PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



1 REAR ELEVATION  
 A18 SCALE: 1/4" = 1'-0"

Committee of Adjustment  
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 2024-11-12  
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 Comité de dérogation



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REVISIONS:	DATE:
Revised for permit	15/09/21
Issued for permit	09/01/22
Issued for permit	15/08/22
Issued for Variance	12/11/24

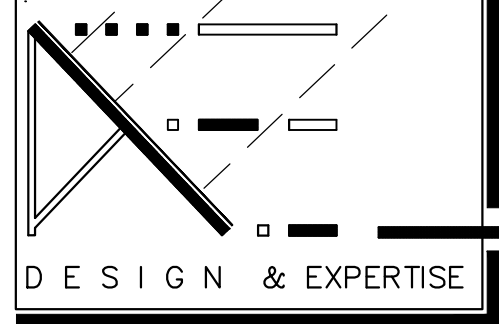
DRAWN BY:  
 DEXTOR EDWARDS  
 DATE:  
 AUG 2021  
 SCALE:  
 AS SHOWN ON DETAIL

PROJECT:  
 346 ROOSEVELT APARTMENT BLOCK  
 OTTAWA, ONT.  
 CLIENT:  
 KURT, SHAWN AND GREG WESTWELL  
 OTTAWA, ONTARIO

A18  
 JOB NO: 1006 - 09

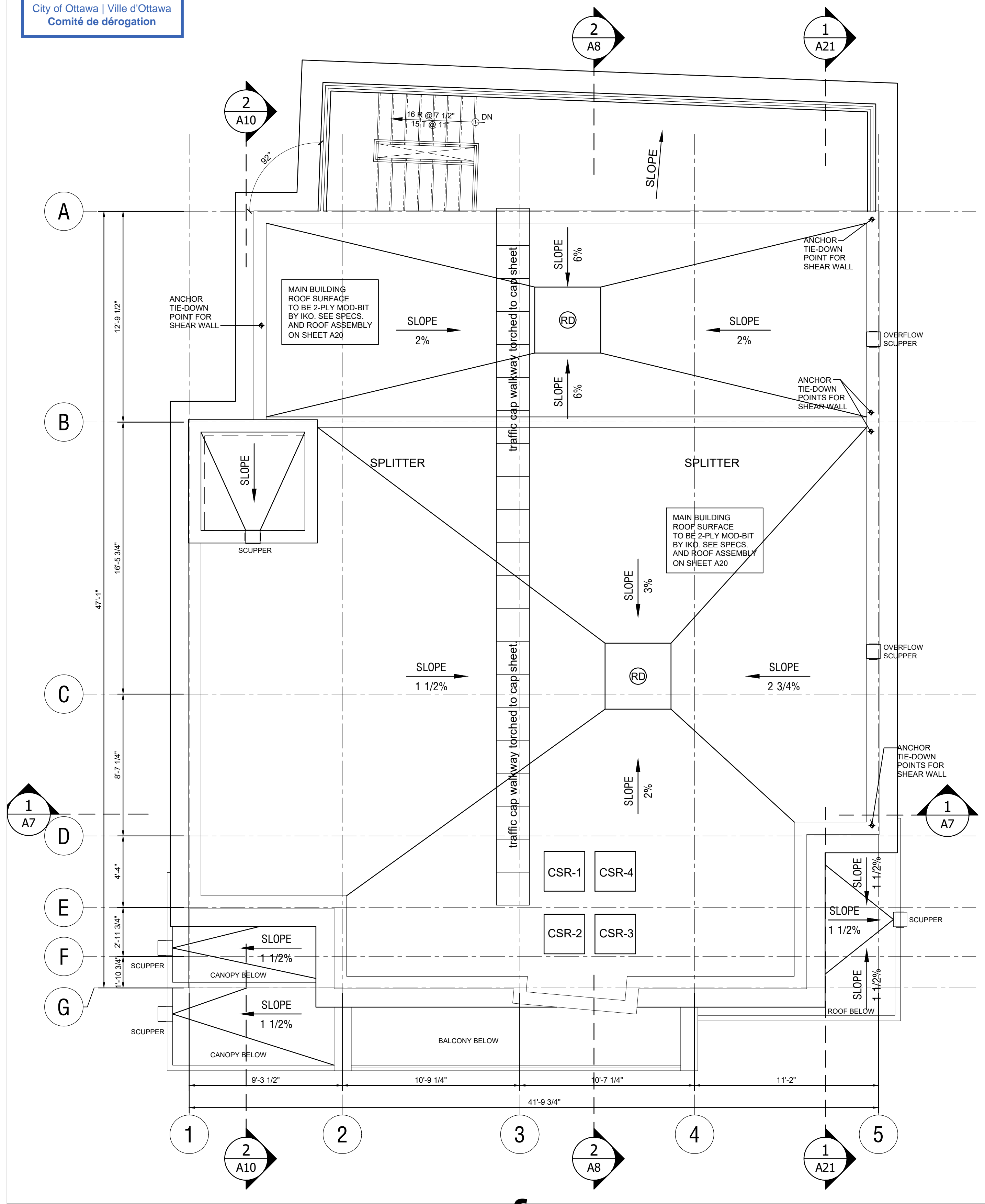


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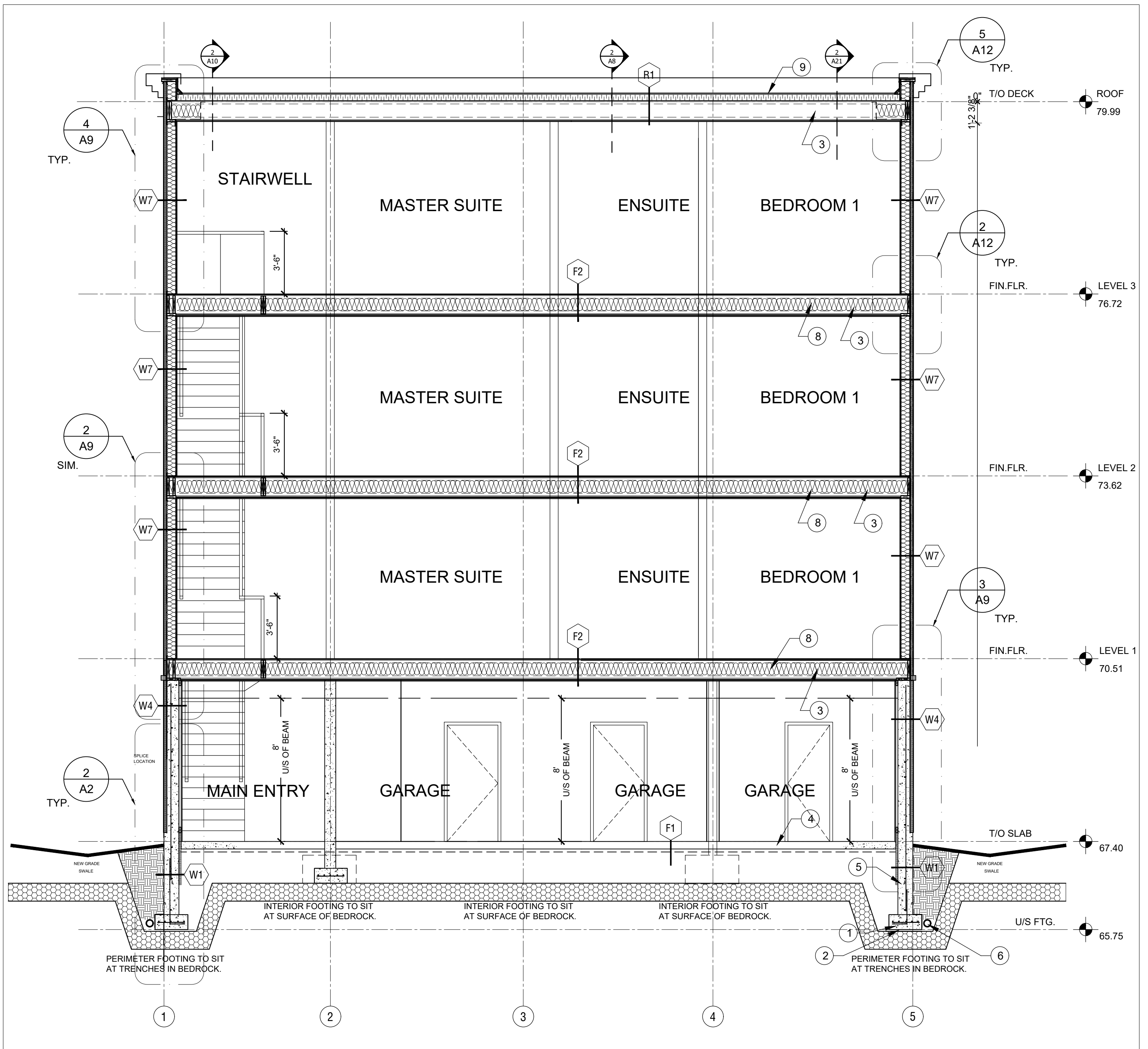


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Committee of Adjustment  
Received | Reçu le  
2024-11-12  
City of Ottawa | Ville d'Ottawa  
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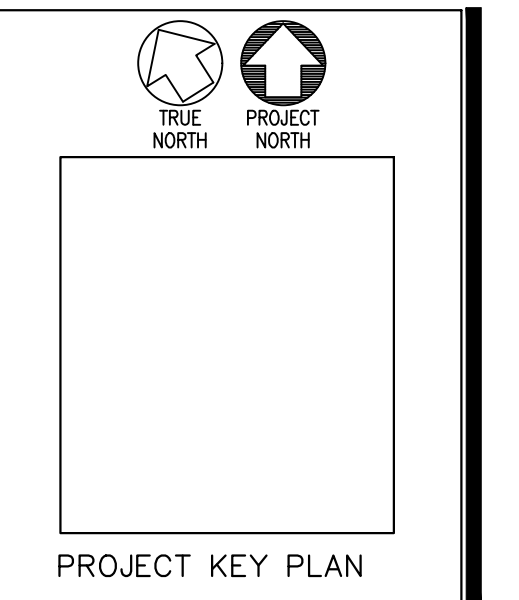


2 A7 ROOF PLAN  
SCALE: 1/4" = 1'-0"



1 A7 BUILDING CROSS SECTION  
SCALE: 1/4" = 1'-0"

- LEGEND**
- 1 STRIP FOOTINGS AS SHOWN TO BE 10" THK. BY 1'-0" WIDE. SEE SHEET A00 FOR CODE CONFORMANCE.
  - 2 SOIL BEARING CAPACITY TO BE VERIFIED OR CONFIRMED AT A MINIMUM 150 kPa.
  - 3 ALL JOISTS TO BE INSTALLED AS PER THE MANUFACTURER'S SPECS & SHOP DRAWINGS.
  - 4 POURED CONC. SLAB TO BE REINFORCED WITH 6X6X6 WWM OR FIBREMESH (TYP.).
  - 5 FOUNDATION WALLS TO BE 10" THK. AS SHOWN FOR BELOW GRADE.
  - 6 PROVIDE 4" CONTINUOUS WEeping TILES CW 6" CLEAR GRANULAR COVER MIN.
  - 7 PROVIDE FIRE RATED BEAM ENCLOSURE TO 1 HR.
  - 8 PROVIDE FIRE RATED FLOOR ASSEMBLY TO 45 MINS.
  - 9 TWO-PLY MOD BIT MEMBRANE & ASSEMBLY AS PER SPECS.
  - 10 SEE SHT. A22 FOR PORCH STAIR DETAILS.



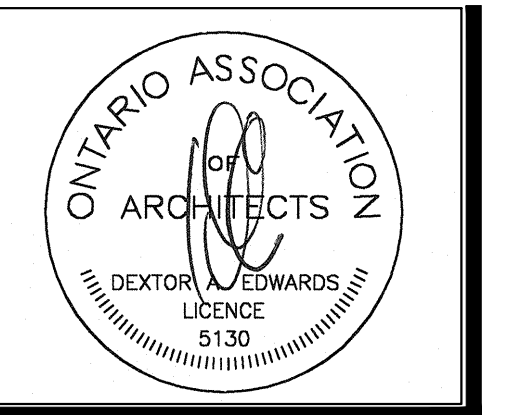
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REVISIONS:	DATE:
Revised for permit	15/09/21
Issued for 90% review	12/11/21
Issued for permit	09/01/22
Issued for permit	27/04/22
Issued for Variance	12/11/24

DRAWN BY:  
DEXTOR EDWARDS  
DATE:  
AUG 2021  
SCALE:  
AS SHOWN ON DETAIL

PROJECT:  
346 ROOSEVELT  
APARTMENT BLOCK  
OTTAWA, ONT.  
CLIENT:  
KURT, SHAWN AND  
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A7  
JOB NO: 1006 - 09



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DESIGN & EXPERTISE

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR OMISSIONS TO THE ARCHITECT.

PLAN OF SURVEY OF

THE LOT LINE BETWEEN LOTS 34 AND 36  
REGISTERED PLAN 114  
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebekk Ltd.

Scale 1 : 100



Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

I CERTIFY THAT :

1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 8th day of March, 2024.

April 12, 2024  
Date

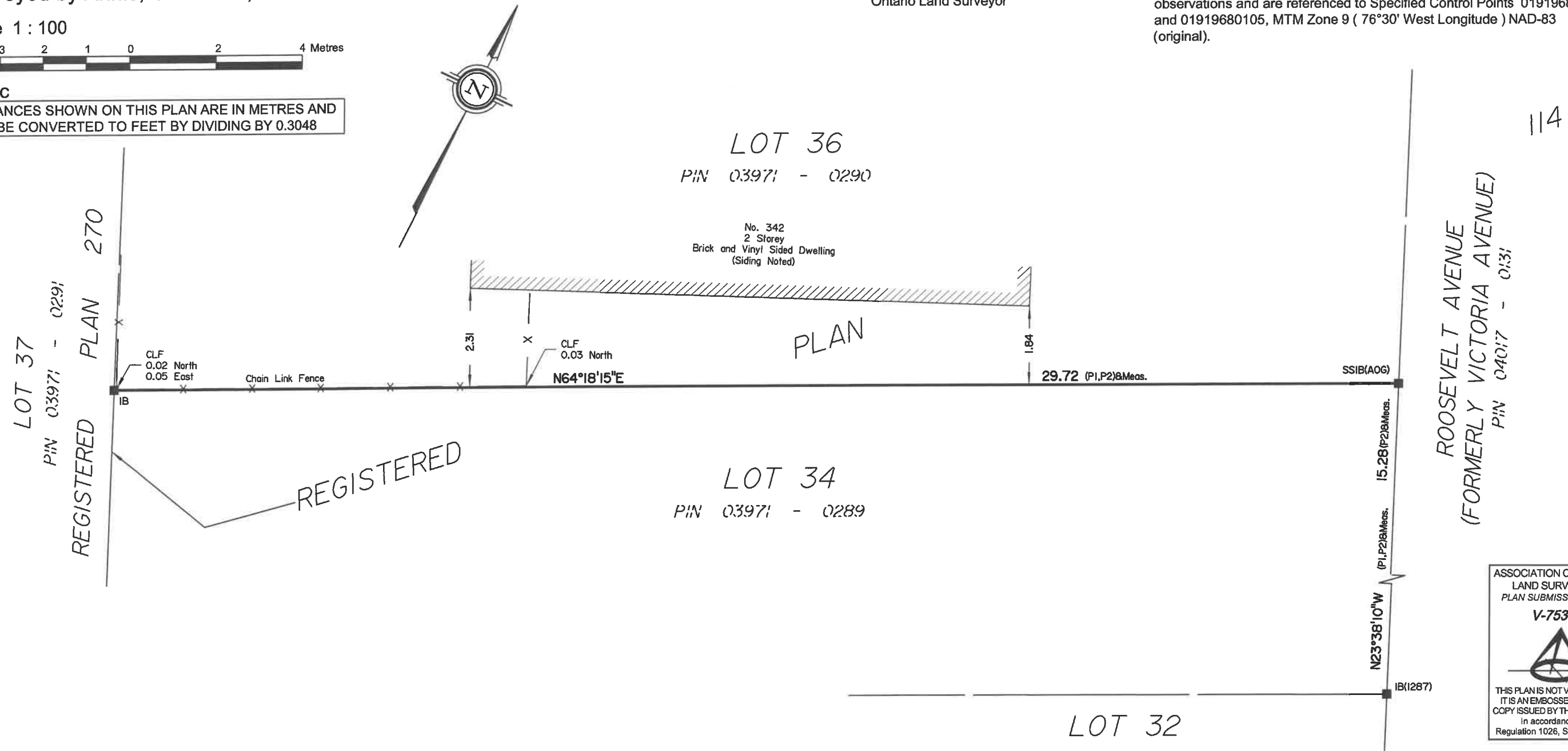
*Jamie Leslie*  
-----  
Jamie Leslie  
Ontario Land Surveyor

Notes & Legend

□	Denotes	Survey Monument Planted
■	"	Survey Monument Found
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
(P1)	"	(AOG) Plan Dated October 3, 2006
(P2)	"	(AOG) Plan Dated August 9, 2010
Meas.	"	Measured
CLF	"	Chain Link Fence

Committee of Adjustment  
Received | Reçu le  
  
2024-12-17  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 ( 76°30' West Longitude ) NAD-83 (original).



ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
V-75357

THIS PLAN IS NOT VALID UNLESS  
IT IS AN EMBOSSED ORIGINAL  
COPY ISSUED BY THE SURVEYOR  
in accordance with  
Regulation 1026, Section 29 (3).

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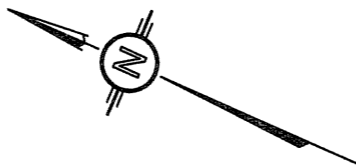
**ANNIS, O'SULLIVAN, VOLLEBEKK LTD.**  
14 Concourse Gate, Suite 500  
Nepean, Ont. K2E 7S6  
Phone: (613) 727-0850 / Fax: (613) 727-1079  
Email: Nepean@aovltd.com

Job No. 24240-24 Kur1W, PIL136 P114 O F

Committee of Adjustment  
Received | Reçu le

2024-12-17

City of Ottawa | Ville d'Ottawa  
Comité de dérogation



**SURVEYOR'S REAL PROPERTY REPORT**

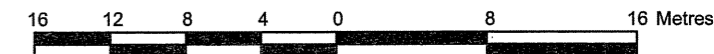
**PART 1** Plan of

**LOT 34**

**REGISTERED PLAN 114**

**CITY OF OTTAWA**

Scale 1 : 400



**Metric**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Surveyor's Certificate**

I CERTIFY THAT :

1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act, the Land Titles Act and the regulations made under them.
2. The survey was completed on the 28th day of September, 2006.

Oct. 3 2006

Date

E. H. Herweyer  
Ontario Land Surveyor

**PART 2**

THIS PLAN MUST BE READ IN CONJUNCTION WITH  
SURVEY REPORT DATED: OCTOBER 3, 2006.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. grants to  
G. Westwell/Crawford Door Sales of Canada Ltd. ("The Client"), their solicitors,  
mortgagees, and other related parties, permission to use original, signed, sealed  
copies of the Surveyor's Real Property Report in transactions involving The Client.

**Notes & Legend**

- |       |         |  |
|-------|---------|--|
| □     | Denotes | Survey Monument Planted                                |
| ■     | "       | Survey Monument Found                                  |
| SIB   | "       | Standard Iron Bar                                      |
| SIBØ  | "       | Round Standard Iron Bar                                |
| SSIB  | "       | Short Standard Iron Bar                                |
| IB    | "       | Iron Bar   |
| IBØ   | "       | Round Iron Bar   |
| IP    | "       | Iron Pipe  |
| (WIT) | "       | Witness  |
| (AOG) | "       | Annis, O'Sullivan, Vollebakk Ltd.                      |
| Meas. | "       | Measured   |
| Acc.  | "       | Accepted   |
| BF    | "       | Board Fence  |
| C/L   | "       | Centreline   |
| (P1)  | "       | Registered Plan 114                                    |
| (P2)  | "       | Plan 5R-3875   |
| (P3)  | "       | Plan by (1287), dated July 22, 1992 ( Ref. No. 291-92) |
| (P4)  | "       | Notes by (857), Ref. No. 7-114                         |
| (P5)  | "       | Notes by (477), dated May 22, 1946                     |
| (P6)  | "       | Plan 5R-12620  |
| (P7)  | "       | Plan 4R-2731   |
| (P8)  | "       | Plan 4R-14387  |

Bearings are grid bearings, derived from the westerly limit of  
Roosevelt Avenue, shown to be N 23°38'10" W on Plan 5R-3875.

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**ANNIS, O'SULLIVAN, VOLLEBEKK LTD.**

14 Concourse Gate, Suite 500

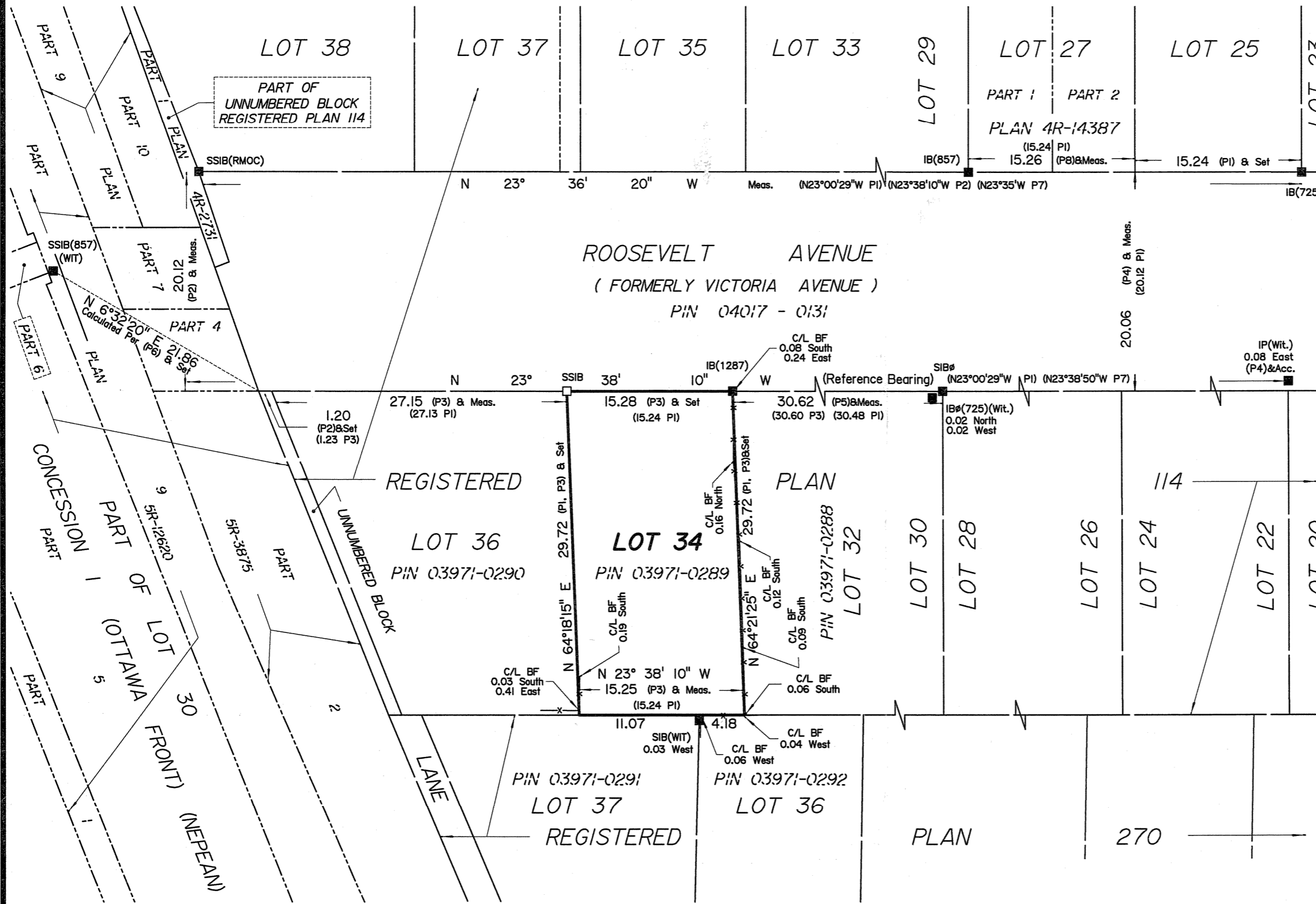
Nepean, Ont. K2E 7S6

Phone: (613) 727-0850 / Fax: (613) 727-1079

Email: Nepean@aovltd.com

Ontario  
Land Surveyors

Job No. 7211-06 Westwell L0t 34 RP 114 SRPR N D



**ROOSEVELT AVENUE**  
(FORMERLY VICTORIA AVENUE)  
PIN 04017 - 0131

**REGISTERED**  
**LOT 34**  
PIN 03971-0289

**LOT 36**  
PIN 03971-0290

**REGISTERED**  
**LOT 37**  
PIN 03971-0291

**REGISTERED**  
**LOT 36**  
PIN 03971-0292

**CONCESSION**  
**PART OF LOT 30**  
**(OTTAWA FRONT) (NEPEAN)**

**PART OF UNNUMBERED BLOCK REGISTERED PLAN 114**

Job No. 7211-06 Westwell L0t 34 RP 114 SRPR N D

# NORTH - ELEVATION AT SIDEYARD

PERCENTAGE OF EXPOSED BUILDING FACE AT NORTH ELEVATION FOR SPATIAL SEPARATION AS PER O.B.C. SECTION 3.2.3.1

PROPOSED AREA OF BUILDING FACE AT 1.2m LIMIT = 142 m<sup>2</sup> (1,528.6 SQ.FT.)  
 PROPOSED GLAZING PERCENTAGE AT THIS FACE = 2.7% (3.9 m<sup>2</sup>)

ALLOWABLE GLASS AREA AT BLDG FACE BASED ON 1.2m (3.9m<sup>2</sup>) AT ACTUAL LIMITING DISTANCE = MAX 14%

THEREFORE THE EXTERIOR WALLS AT THIS BUILDING FACE IS ALLOWED TO BE GLAZED UP TO 14% IN ACCORDANCE WITH O.B.C. 3.2.3.1.D 14% IS THE ACTUAL O.B.C. LIMITATION BUT THE WALL ASSEMBLY ADJACENT TO THE PROTECTED OPENINGS SHALL BE RATED 1HR. AS PER O.B.C. 3.2.3.7.(3) AS COMBUSTIBLE CONSTRUCTION WITH NON-COMBUSTIBLE CLADDING

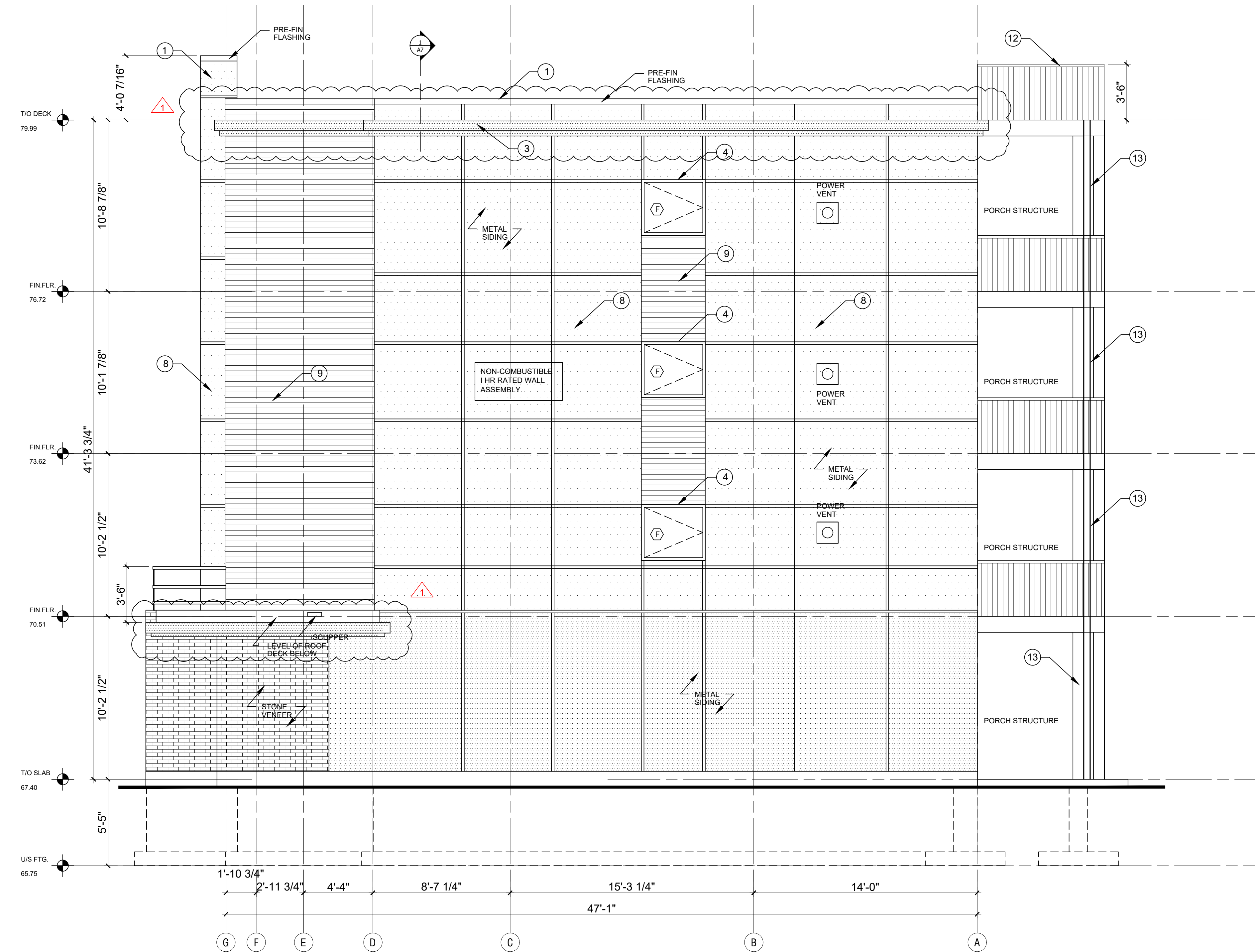
TOTAL SURFACE AREA = 142 m<sup>2</sup>  
 UNPROTECTED OPENINGS = 3.9 m<sup>2</sup>  
 2.7 %

**RATIO L/H**  
**2 : 1**

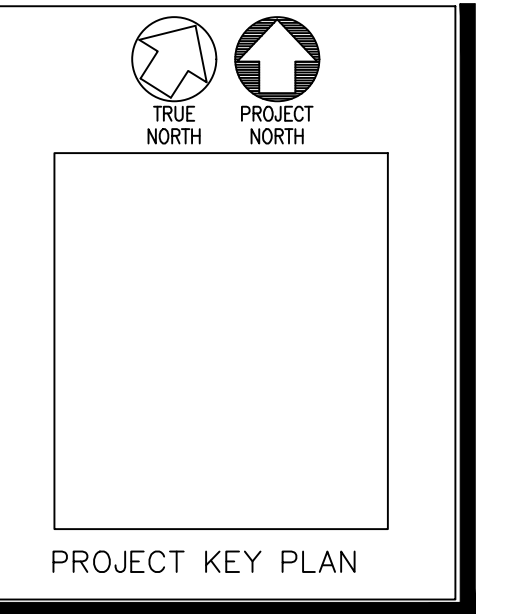
Committee of Adjustment  
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## LEGEND

- PROVIDE 4" CAP FLASHING AS SHOWN.
- PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
- PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
- PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
- PRE-FIN METAL WRAP AROUND SPANDREL TO MATCH WINDOW FRAME COLOUR & FINISH.
- SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.  
 THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.  
 STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
- 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.).
- PRE-PAINTED GALV. STEEL SIDING BY IDEAL ROOFING INDUSTRIAL METRO 26 Ga (TYP.).
- PRE-FORMED METAL PANELS C/W GALVALUME FINISH (TYP.).
- SEE SHEET A22 FOR PORCH STAIR DETAILS
- PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
- PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
- PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



**1**  
**A16** NORTH/RIGHT SIDE ELEVATION  
 SCALE: 1/4" = 1'-0"



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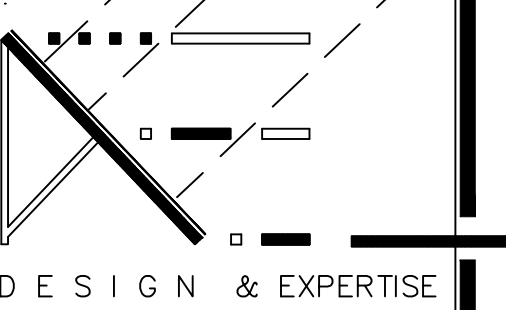
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 DEXTOR EDWARDS  
 DATE:  
 AUG 2021  
 SCALE:  
 AS SHOWN ON DETAIL

PROJECT:  
 346 ROOSEVELT  
 BLOCK  
 OTTAWA, ONT.  
 CLIENT:  
 KURT, SHAWN AND  
 GREG WESTWELL  
 OTTAWA, ONTARIO

**A16**  
 JOB NO: 1006 - 09

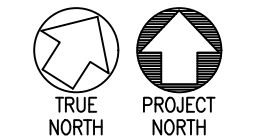


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 K2G 6B1  
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 FAX:  
 (613) 456-9983



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.





PROJECT KEY PLAN

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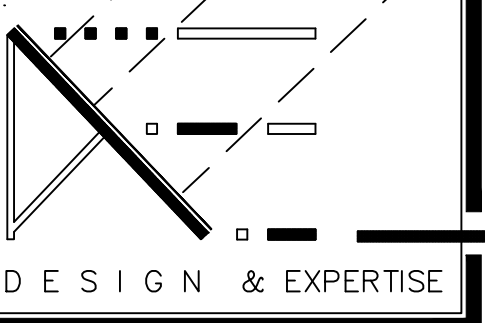
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DEXTOR EDWARDS  
DATE:  
AUG 2021  
SCALE:  
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PROJECT:  
346 ROOSEVELT  
BLOCK  
OTTAWA, ONT.  
CLIENT:  
KURT, SHAWN AND  
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OTTAWA, ONTARIO

A15  
JOB NO: 1006 - 09

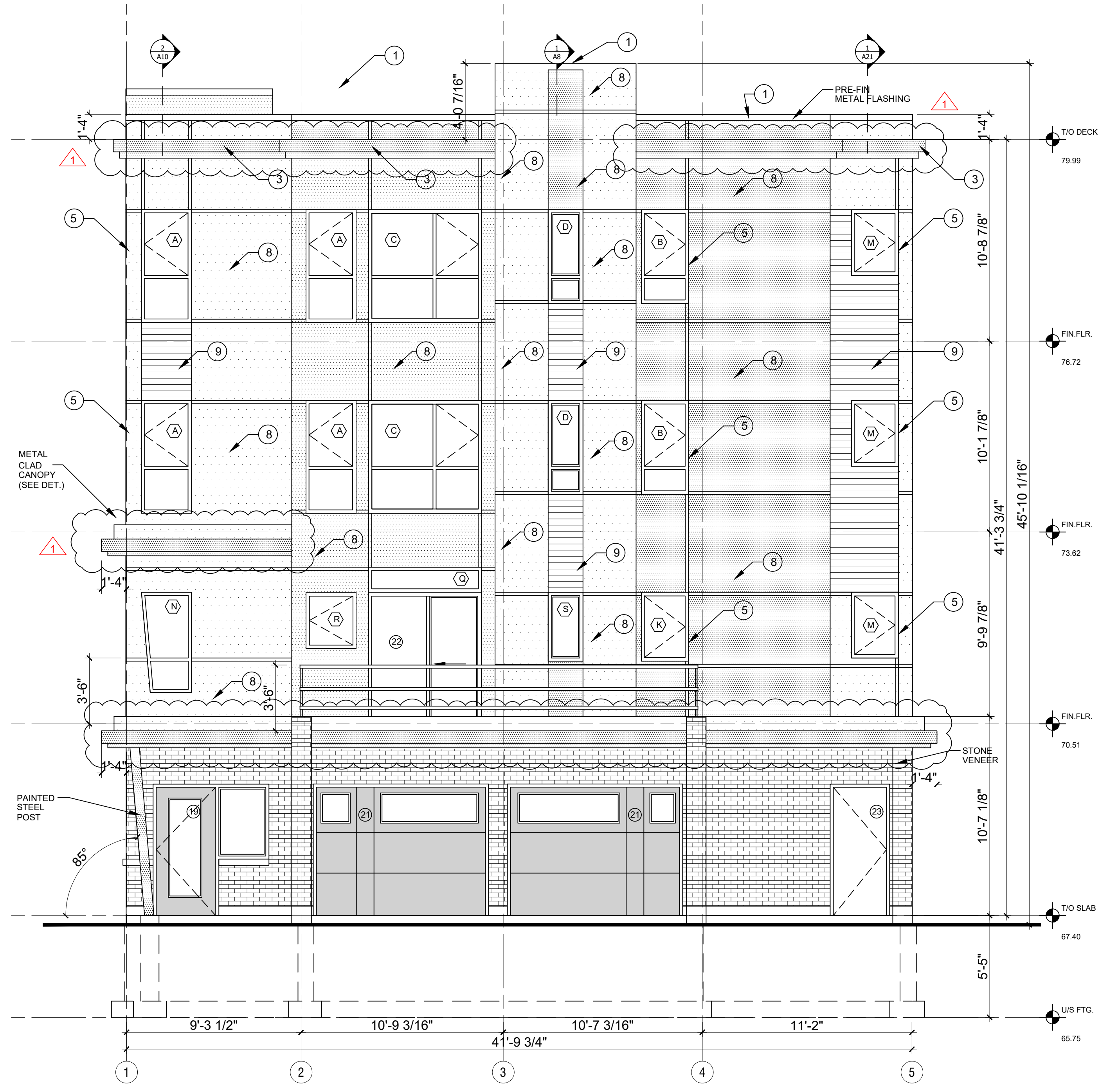


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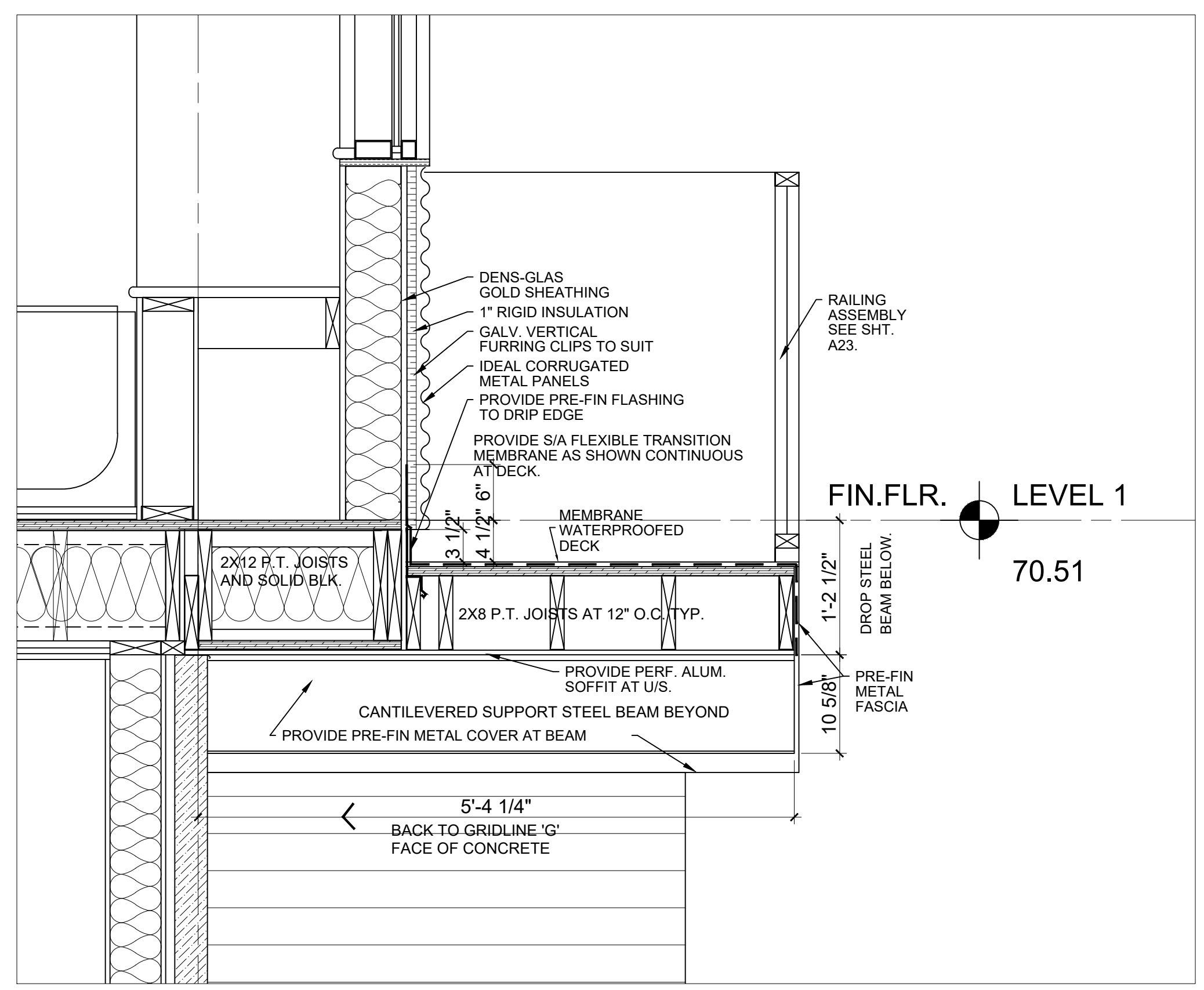


LEGEND

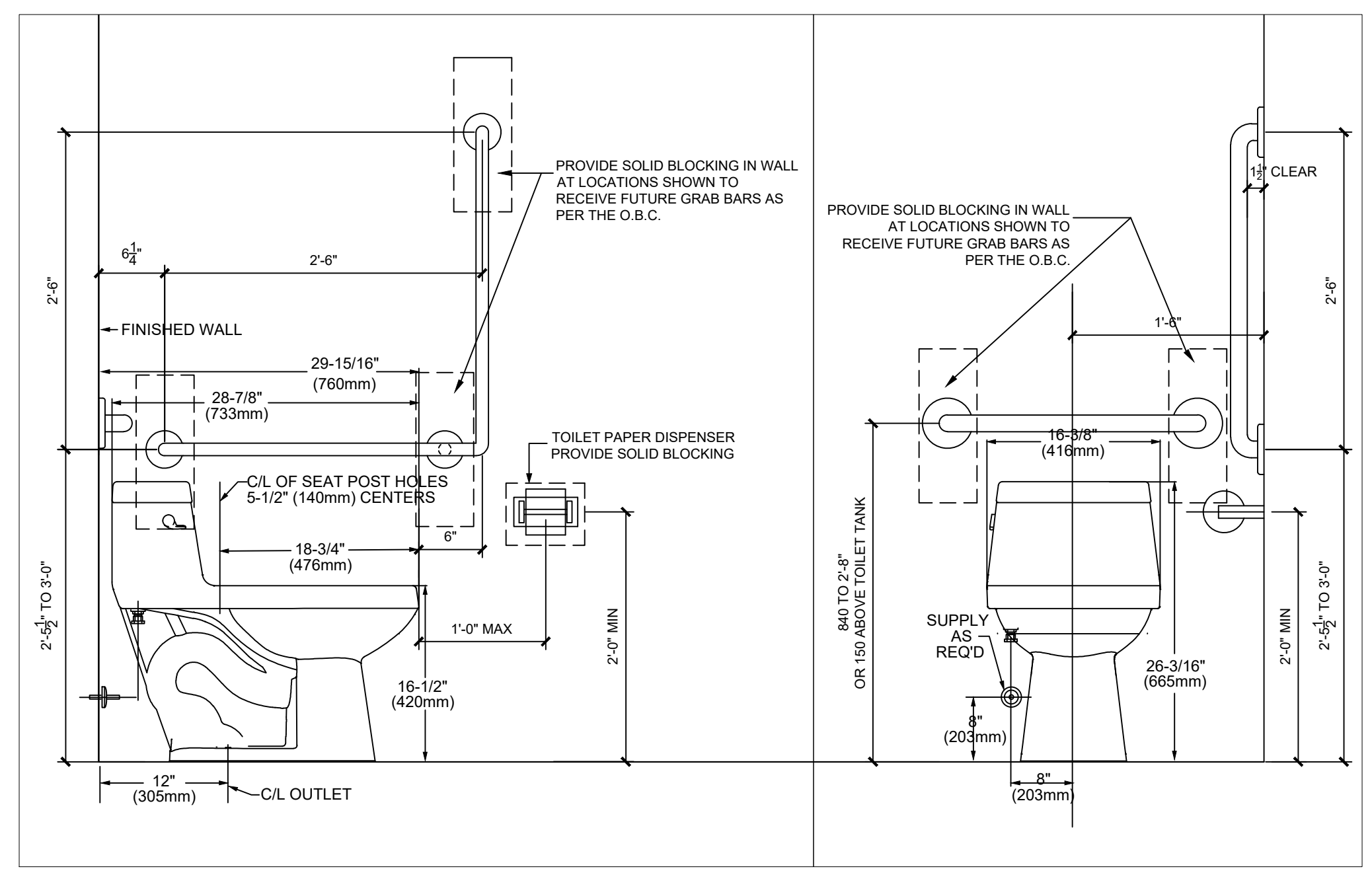
- PROVIDE 4" CAP FLASHING AS SHOWN.
- PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
- PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
- PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
- PRE-FIN METAL WRAP AROUND SPANDREL TO MATCH WINDOW FRAME COLOUR & FINISH.
- SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.  
THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.  
STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
- 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.)
- PRE-PAINTED GALV. STEEL SIDING BY IDEAL ROOFING INDUSTRIAL METRO 26 Ga (TYP.)
- PRE-FORMED METAL PANELS C/W GALVALUME FINISH (TYP.)
- SEE SHEET A22 FOR PORCH STAIR DETAILS
- PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
- PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
- PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



2 FRONT - STREET ELEVATION  
SCALE: 1/4" = 1'-0"



3 SECTION DETAIL  
SCALE: 1" = 1'-0"



1 ACCESSIBLE WASHROOM DETAILS AT GRAB BARS FOR TOILET BLOCKING FOR FUTURE INSTALLATION.

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

**SOUTH - ELEVATION AT SIDYARD**

PERCENTAGE OF EXPOSED BUILDING FACE AT SOUTH ELEVATION FOR SPATIAL SEPARATION AS PER O.B.C. SECTION 3.2.3.1

PROPOSED AREA OF BUILDING FACE AT 1.2m LIMIT = 167 m<sup>2</sup> (1,797.63 SQ.FT.)  
 PROPOSED GLAZING PERCENTAGE AT THIS FACE = 5.0% (8.4 m<sup>2</sup>)

ALLOWABLE GLASS AREA AT BLDG FACE BASED ON 1.2m (11.7m<sup>2</sup>) AT ACTUAL LIMITING DISTANCE = MAX 14%

THEREFORE THE EXTERIOR WALLS AT THIS BUILDING FACE IS ALLOWED TO BE GLAZED UP TO 14% IN ACCORDANCE WITH O.B.C. 3.2.3.1.D 14% IS WELL WITHIN THE O.B.C. LIMITATION BUT THE WALL ASSEMBLY ADJACENT TO THE PROTECTED OPENINGS SHALL BE RATED 1HR. AS PER O.B.C. 3.2.3.7.(3) AS COMBUSTIBLE CONSTRUCTION WITH NON-COMBUSTIBLE CLADDING

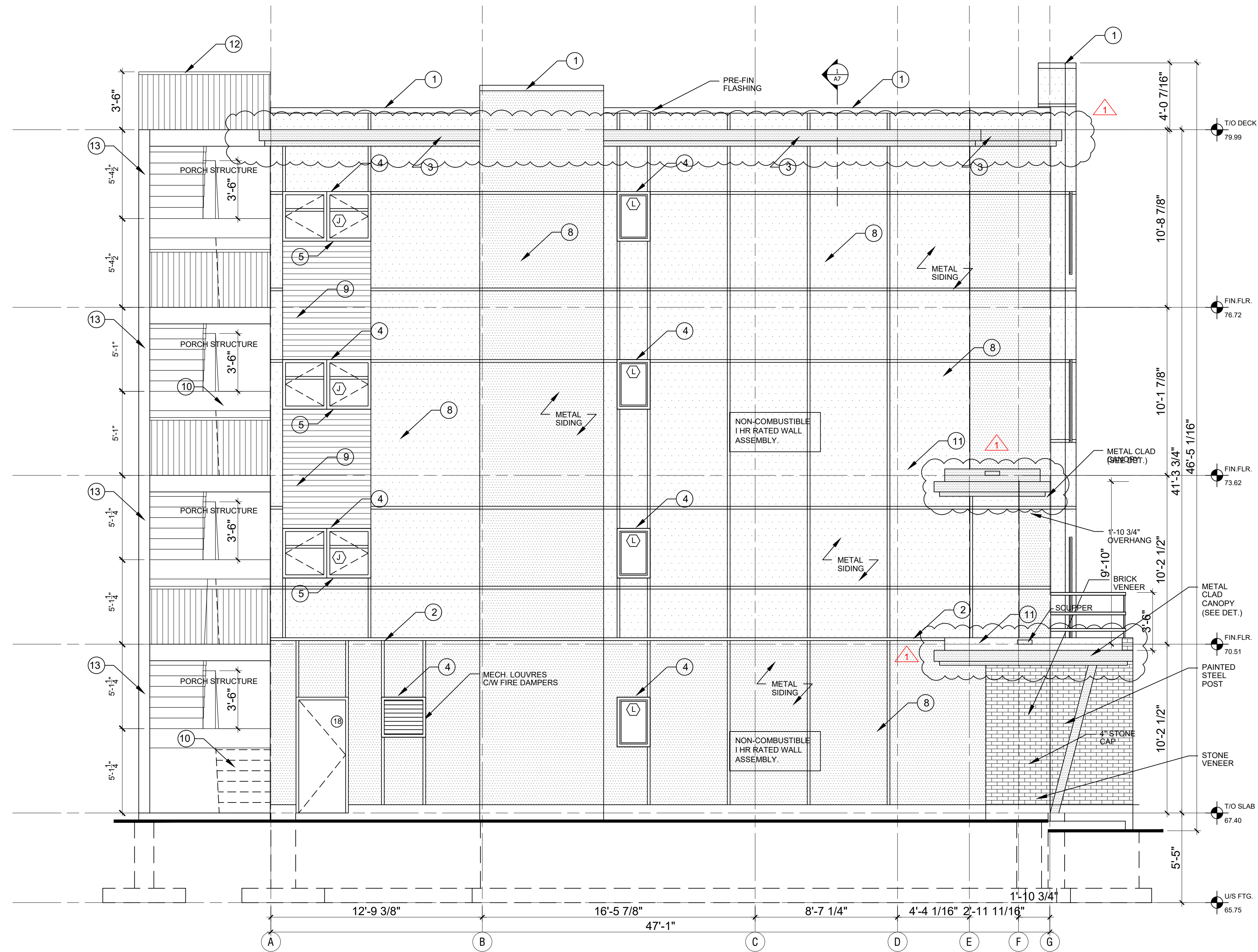
TOTAL SURFACE AREA = 167 m<sup>2</sup>  
 UNPROTECTED OPENINGS = 8.4 m<sup>2</sup>  
 5.0 %

**RATIO L/H**  
 2 : 1

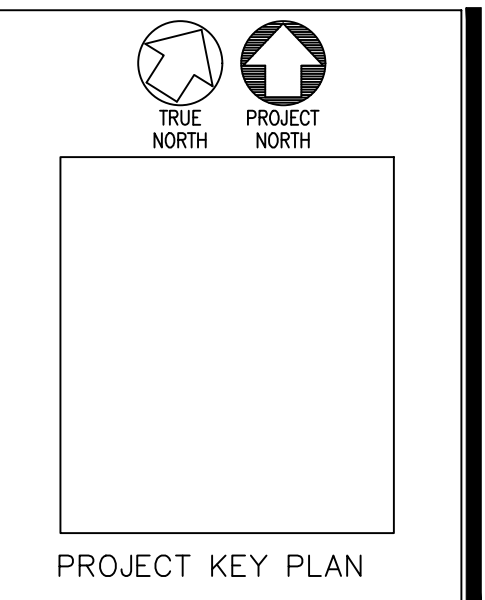
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 Revised | Modifié le : 2024-12-20  
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**LEGEND**

- 1 PROVIDE 4" CAP FLASHING AS SHOWN.
- 2 PROVIDE TRANSITION METAL FLASHING AT JOINT WITH DRIP EDGE AS SHOWN.
- 3 PROVIDE METAL CORBEL PROFILE AS SHOWN. (SEE SHEET A12)
- 4 PROVIDE DRIP FLASHING & J-MOULD AT WINDOW PERIMETER TO RECEIVE SIDING. (TYP.)
- 5 PRE-FIN METAL WRAP AROUND SPANDREL TO MATCH WINDOW FRAME COLOUR & FINISH.
- 6 SHEARWALLS INDICATED SHALL HAVE ONE FACE CONTINUOUS 5/8" T&G PLYWOOD NAILED AT ALL EDGES WITH 3" COMMON NAILS 4" o.c.  
 THE PLYWOOD PANELS ARE TO BE NAILED AT EACH INTERMEDIATE STUD WITH 3" COMMON NAILS 12" o.c.  
 STAGGER ALL PANEL JOINTS TO FALL ON DIFFERENT MEMBERS FROM ONE SIDE TO THE OTHER.
- 7 1 1/4" X 1/4" CORRUGATED METAL PANEL 26 Ga C/W GALVANIZED FINISH (TYP.).
- 8 PRE-PAINTED GALV. STEEL SIDING BY IDEAL ROOFING INDUSTRIAL METRO 26 Ga (TYP.).
- 9 PRE-FORMED METAL PANELS C/W GALVALUME FINISH (TYP.).
- 10 SEE SHEET A22 FOR PORCH STAIR DETAILS
- 11 PROVIDE FLEXIBLE FLASHING BEHIND EXT. CLADDING TO SIT UP 6" MIN. ON EXT. SHEATHING. (TYP.)
- 12 PROVIDE 2" DIA. PERIMETER PIPE RAILING AT 3'-6" ABOVE ROOF DECK C/W SUPPORTS AT 48" o.c. MAX.
- 13 PROVIDE SOLID STAIN FINISH TO MATCH PRE-FIN FLASHING & WRAP AROUND SPANDRELS.



**2 SOUTH/LEFT SIDE ELEVATION**  
 A14 SCALE: 1/4" = 1'-0"



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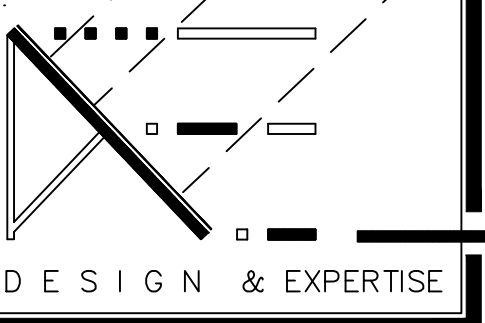
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 DATE:  
 AUG 2021  
 SCALE:  
 AS SHOWN ON DETAIL

PROJECT:  
 346 ROOSEVELT  
 BLOCK  
 OTTAWA, ONT.  
 CLIENT:  
 KURT, SHAWN AND  
 GREG WESTWELL  
 OTTAWA, ONTARIO

**A14**  
 JOB NO: 1006 - 09

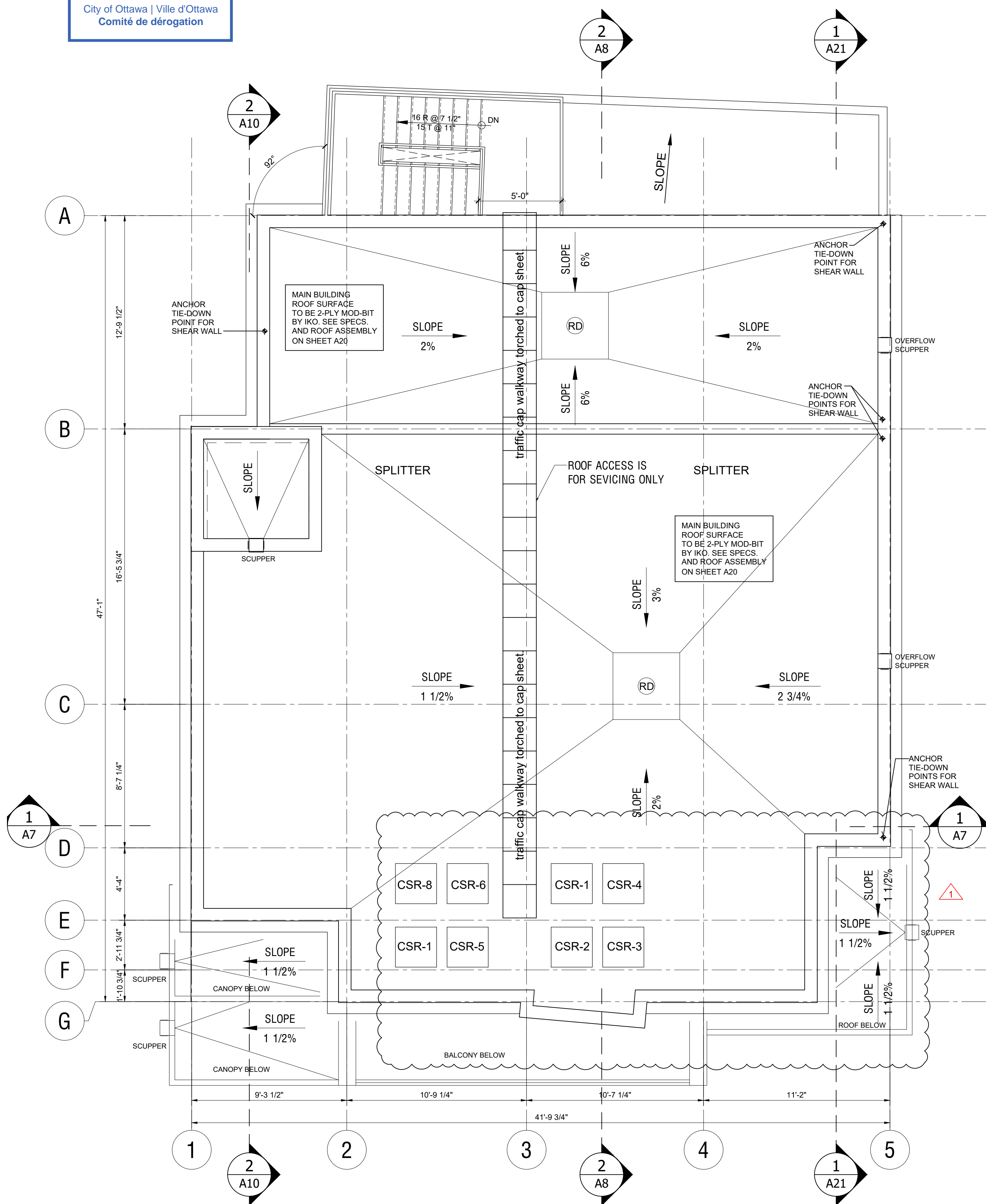


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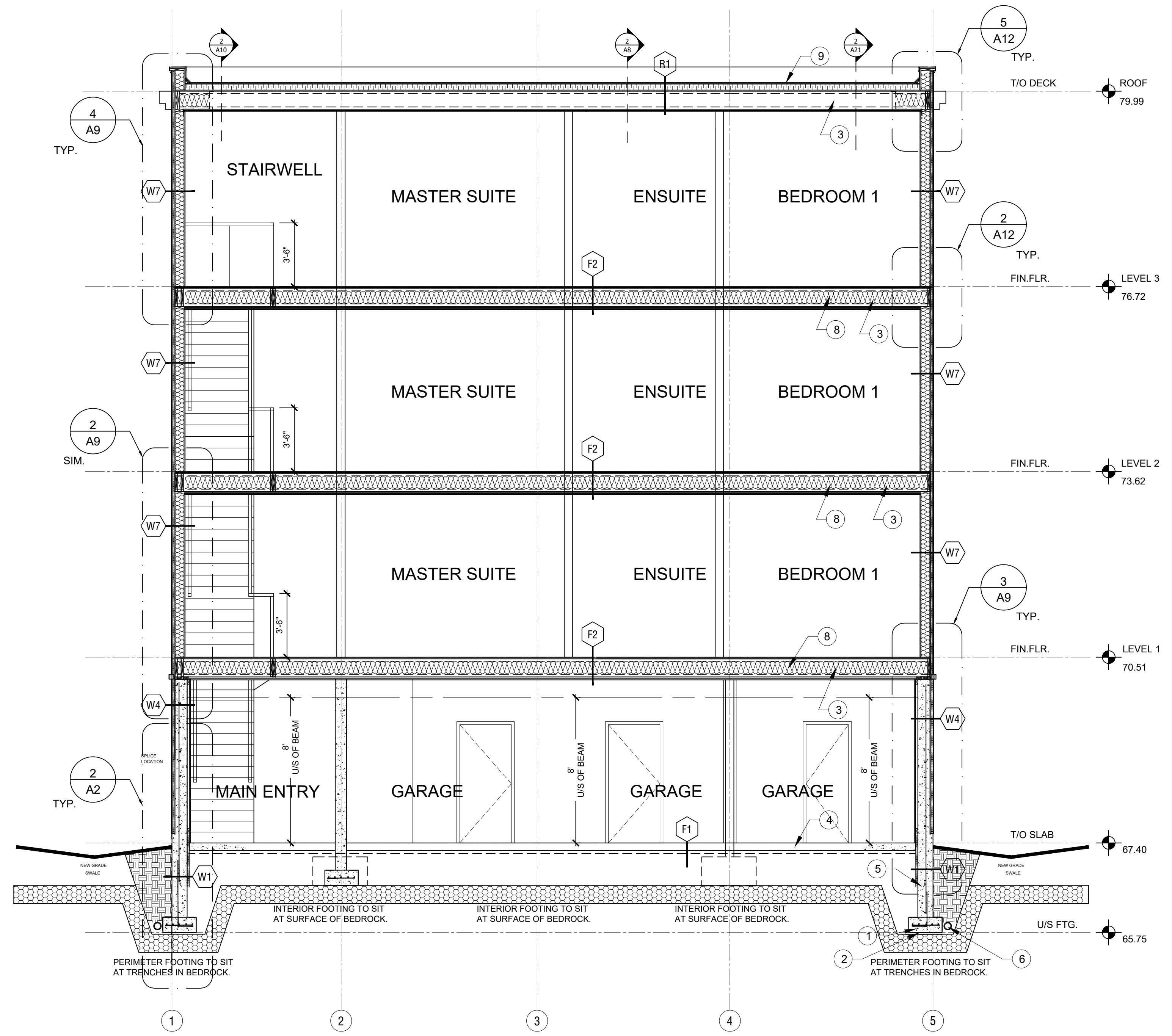


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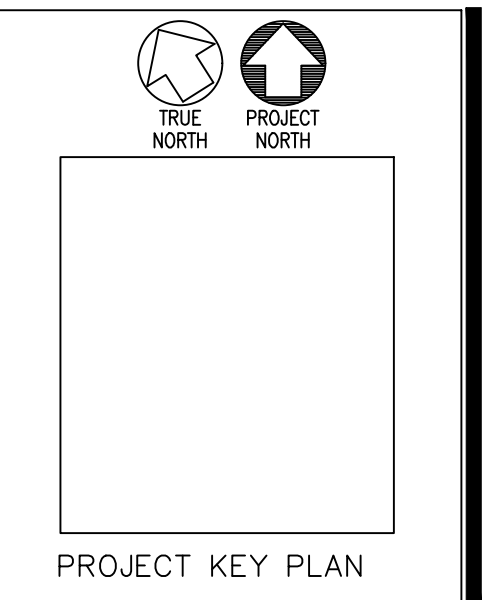
**2**  
**A7**  
**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**1**  
**A7**  
**BUILDING CROSS SECTION**  
SCALE: 1/4" = 1'-0"

**LEGEND**

- 1 STRIP FOOTINGS AS SHOWN TO BE 10" THK. BY 1'-0" WIDE. SEE SHEET A00 FOR CODE CONFORMANCE.
- 2 SOIL BEARING CAPACITY TO BE VERIFIED OR CONFIRMED AT A MINIMUM 150 kPa.
- 3 ALL JOISTS TO BE INSTALLED AS PER THE MANUFACTURER'S SPECS & SHOP DRAWINGS.
- 4 POURED CONC. SLAB TO BE REINFORCED WITH 6X6X6 WWM OR FIBREMESH (TYP.).
- 5 FOUNDATION WALLS TO BE 10" THK. AS SHOWN FOR BELOW GRADE.
- 6 PROVIDE 4" CONTINUOUS WEeping TILES CW 6" CLEAR GRANULAR COVER MIN.
- 7 PROVIDE FIRE RATED BEAM ENCLOSURE TO 1 HR.
- 8 PROVIDE FIRE RATED FLOOR ASSEMBLY TO 45 MINS.
- 9 TWO-PLY MOD BIT MEMBRANE & ASSEMBLY AS PER SPECS.
- 10 SEE SHT. A22 FOR PORCH STAIR DETAILS.



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Permit revision	16/12/24

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DEXTOR EDWARDS  
DATE:  
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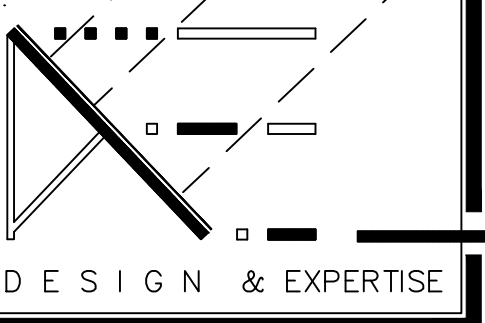
PROJECT:  
346 ROOSEVELT  
TRIPLEX APT. BLOCK  
OTTAWA, ONT.  
CLIENT:  
KURT, SHAWN AND  
GREG WESTWELL  
OTTAWA, ONTARIO

A7

JOB NO: 1006 - 09

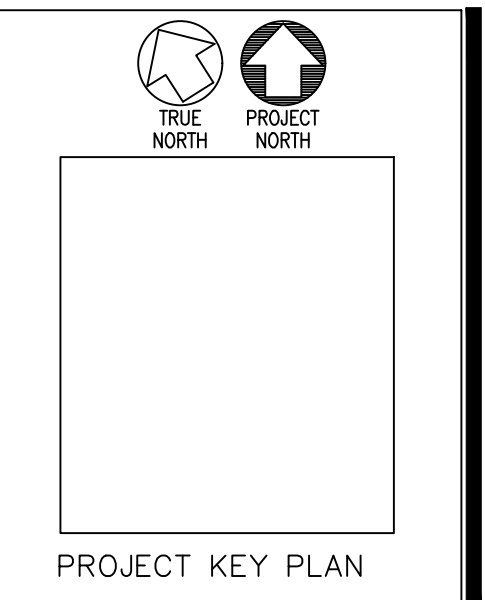
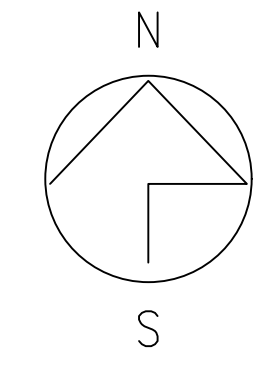


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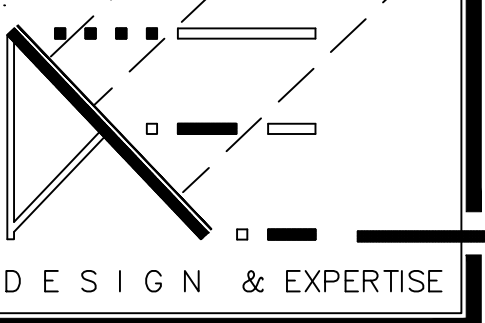
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TRIPLEX APT. BLOCK  
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OTTAWA, ONTARIO

**A0**  
JOB NO: 1006 - 09



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DESIGN & EXPERTISE

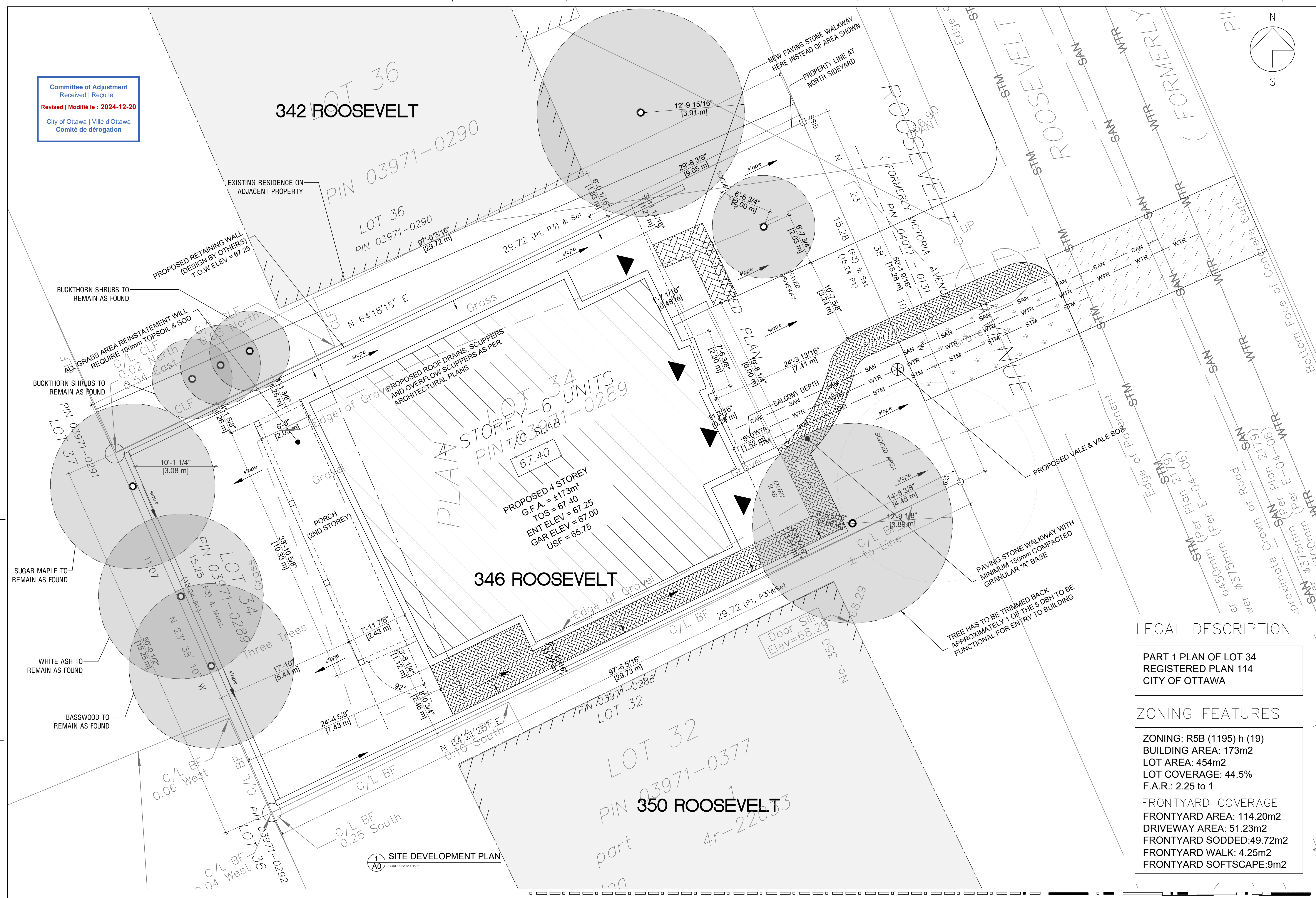
**LEGAL DESCRIPTION**

PART 1 PLAN OF LOT 34  
REGISTERED PLAN 114  
CITY OF OTTAWA

**ZONING FEATURES**

ZONING: R5B (1195) h (19)  
BUILDING AREA: 173m<sup>2</sup>  
LOT AREA: 454m<sup>2</sup>  
LOT COVERAGE: 44.5%  
F.A.R.: 2.25 to 1  
FRONTYARD COVERAGE  
FRONTYARD AREA: 114.20m<sup>2</sup>  
DRIVEWAY AREA: 51.23m<sup>2</sup>  
FRONTYARD SODDED: 49.72m<sup>2</sup>  
FRONTYARD WALK: 4.25m<sup>2</sup>  
FRONTYARD SOFTSCAPE: 9m<sup>2</sup>

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK  
AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OR  
OMISSIONS TO THE ARCHITECT.



**1 SITE DEVELOPMENT PLAN**  
SCALE: 3/16" = 1'-0"