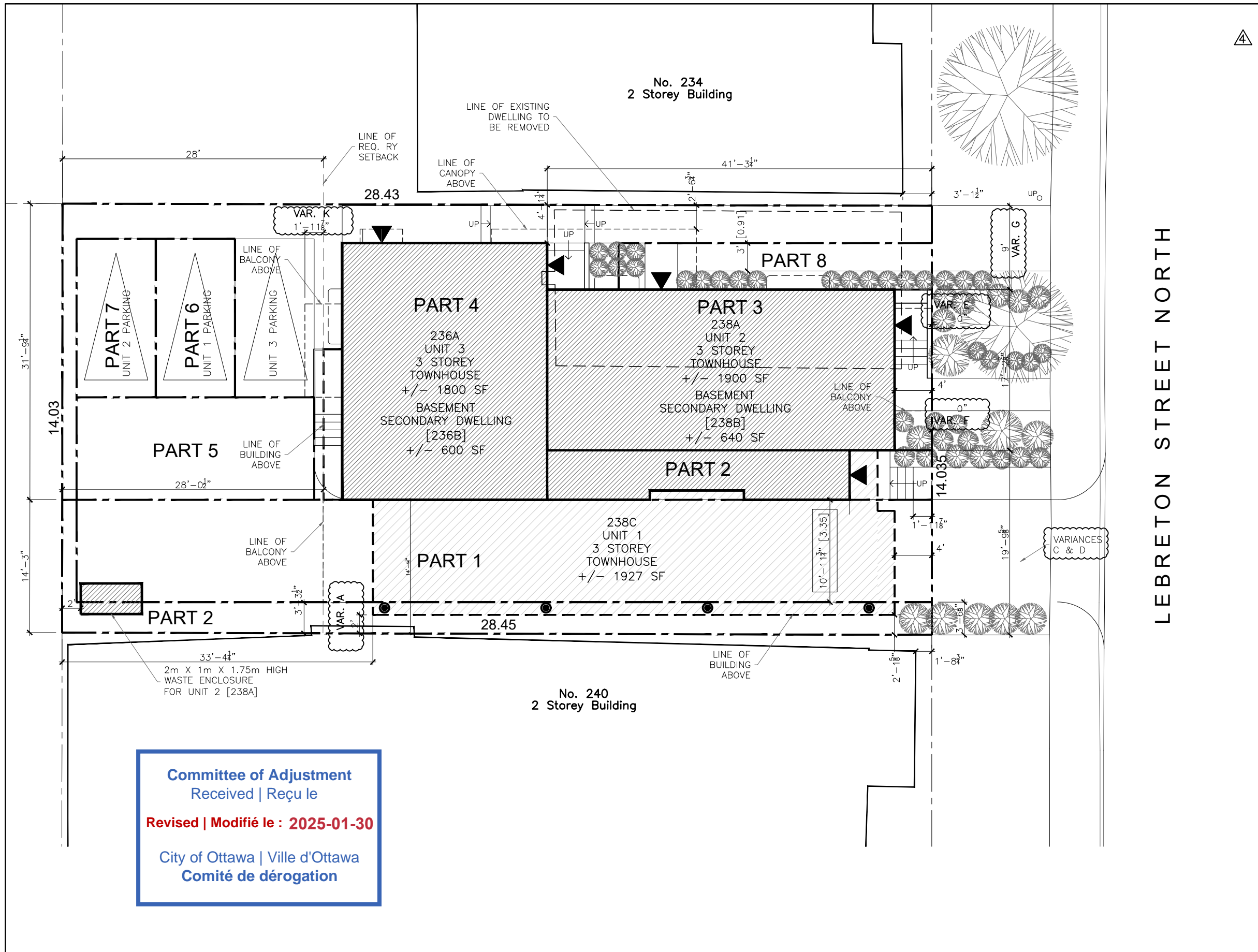


P:\2018\01318_236 LEBRETON\2.0 ARCH\2.3 DRAWINGS\2.3.2 PLANS\A1 - 12_250129_236 LEBRETON\PLANS, ELEV, SECTIONS.dwg - LAYOUT SP1 - PLOT DATE: 29-Jan-25 - LAST SAVED BY: BK - LAST SAVED DATE: January 29, 2025



4

236 LEBRETON STREET NORTH
ZONING - R4UD H(85) A.S.L.

UNIT 1			
VARIANCE		PROVIDED	REQUIRED
PARTS 1,2	LOT WIDTH	6.04 m	4.5 m
	LOT AREA	145.8 m ²	135 m ²
	FRONT YARD	1.77m	0.74 m
	REAR YARD	9.14 m	8.5 m
		40.4 m ²	31.43 m ²
A	* SOUTHERLY SIDE YARD	0.6 m	1.2 m
	NORTHERLY SIDE YARD	0.0 m	0.0 m
	PARKING	[1]2.6mX5.2m	AS PER SCA
B	* BUILDING HEIGHT	10.0 m	10.0 m
	* HABITABLE FLOOR SPACE @ 1ST FLOOR	14.6 m ²	40.0 m ²
C	* To permit a single driveway providing in the front yard that provides access to a rear yard surface parking lot, whereas the By-law would require a small or no landscaped front yard.		
	* To permit a single driveway providing access to a rear yard surface parking lot, whereas the By-law does not permit driveways along lot lines abutting a street.		
D			

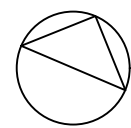
UNIT 2			
VARIANCE		PROVIDED	REQUIRED
PART 3	LOT WIDTH	5.25 m	4.5 m
	LOT AREA	65.3 m ²	135 m ²
	FRONT YARD	1.2 m	0.74 m
	REAR YARD	0.0 m	0.0 m
		0.0 m ²	0.0 m ²
	SOUTHERLY SIDE YARD	0.0 m	0.0 m
	NORTHERLY SIDE YARD	0.0 m	0.0 m
	PARKING	[1]2.6mX5.2m	AS PER SCA
	BUILDING HEIGHT	10.0 m	10.0 m
F	* FRONT STEP PROJECTION	0.0 m	0.6 m
G	* BALCONY PROJECTION	0.0 m	1.0 m

UNIT 3			
VARIANCE		PROVIDED	REQUIRED
PARTS 4,5,6,7,8	H * LOT WIDTH	2.74 m	4.5 m
	LOT AREA	188.2 m ²	135 m ²
	FRONT YARD	12.58 m	0.74 m
	REAR YARD	8.55 m	8.5 m
		88.5 m ²	46.7 m ²
	SOUTHERLY SIDE YARD	0.0 m	0.0 m
	NORTHERLY SIDE YARD	1.2 m	1.2 m
	PARKING	[1]2.6mX5.2m	AS PER SCA
	BUILDING HEIGHT	10.0 m	10.0 m
I	* NON-ACCESSORY USE PARKING SPACE FOR THE BENEFIT OF PARTS 1,2 (UNIT 1)		
J	* NON-ACCESSORY USE PARKING SPACE FOR THE BENEFIT OF PART 3 (UNIT 2)		
K	* BALCONY PROJECTION	0.61 m	0.0 m

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2025-01-30
City of Ottawa | Ville d'Ottawa
Comité de dérogation

GENERAL NOTES		
NO	REV DATE	REV DESCRIPTION
1	190312	FOR P.ENG
2	190529	FOR P.ENG
3	210506	FOR B.P. APPLICATION
4	250129	FOR CONSENTS

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. DO NOT SCALE DRAWINGS. THESE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF COLIZZA BRUNI ARCHITECTURE INCORPORATED. COPYRIGHT RESERVED.



PROJECT NAME
236 LEBRETON ST. N.
3 UNIT TOWNHOUSE

OTTAWA, ON

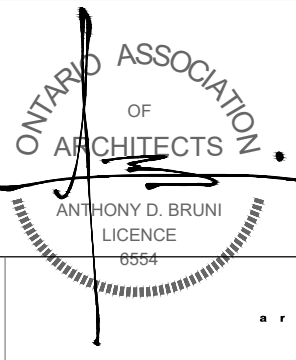
SCALE
NOTED
DRAWN BY

DATE
JAN 29/25
PROJECT NO.
01318

DRAWING TITLE
PLAN

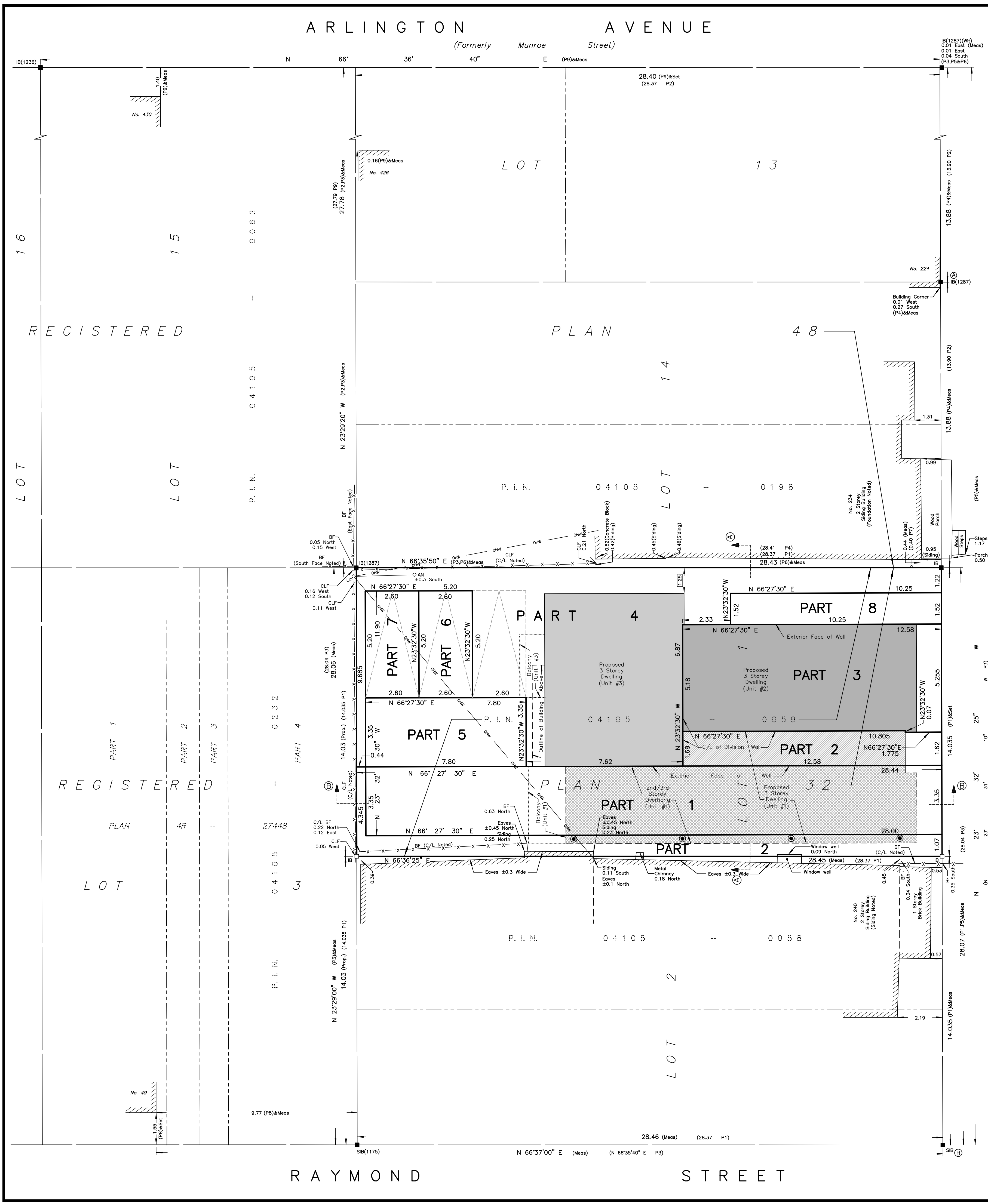
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SP1

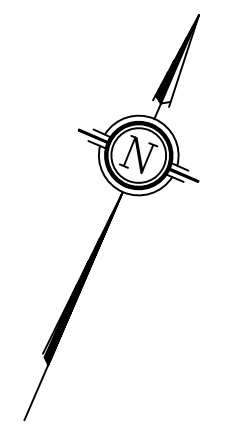


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CAUTION:
 This draft Reference Plan is preliminary and has been based solely on preliminary architectural plans and should be reviewed prior to Application with the Committee of Adjustment. The dimensions, Part areas and section views currently shown are subject to change upon review of final architectural plans and prior to depositing the final plan at the Land Titles Office and could potentially change any Consent/Minor Variance decisions granted.



Committee of Adjustment
 Received | Reçu le
 2024-11-19
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
 DATE: _____
 DANIEL ROBISON
 ONTARIO LAND SURVEYOR

PLAN 4R-
 RECEIVED AND DEPOSITED
 DATE: _____
 REPRESENTATIVE FOR LAND REGISTRAR
 FOR THE LAND TITLES DIVISION OF
 OTTAWA-CARLETON NO. 4.

THIS IS A STRATA PLAN OF SURVEY

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1				93.8
2				52.0
3				65.3
4	All of 1	32	All of 04105-0059	119.2
5				26.1
6				13.5
7				13.5
8				15.9

PLAN OF SURVEY OF
LOT 1
REGISTERED PLAN 32
CITY OF OTTAWA
 FARLEY, SMITH & DENIS SURVEYING LTD. 2018



Metric Note
 Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
 Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note
 Bearings are MTM grid, derived from the Smart-Net Real Time Network. GPS observations on reference points A and B, shown hereon, having a bearing of N 23°32'25" W and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

CO-ORDINATES WERE DERIVED FROM SMART-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).

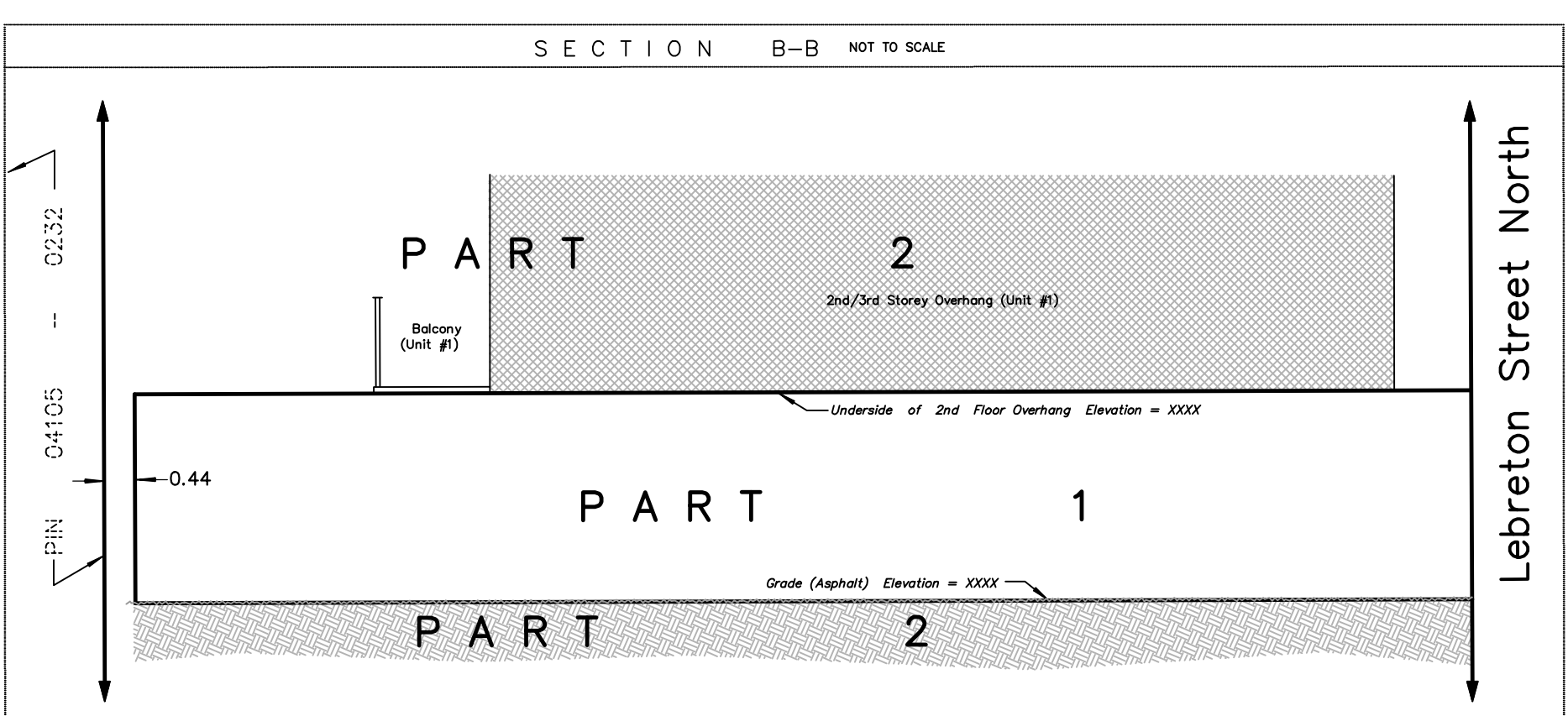
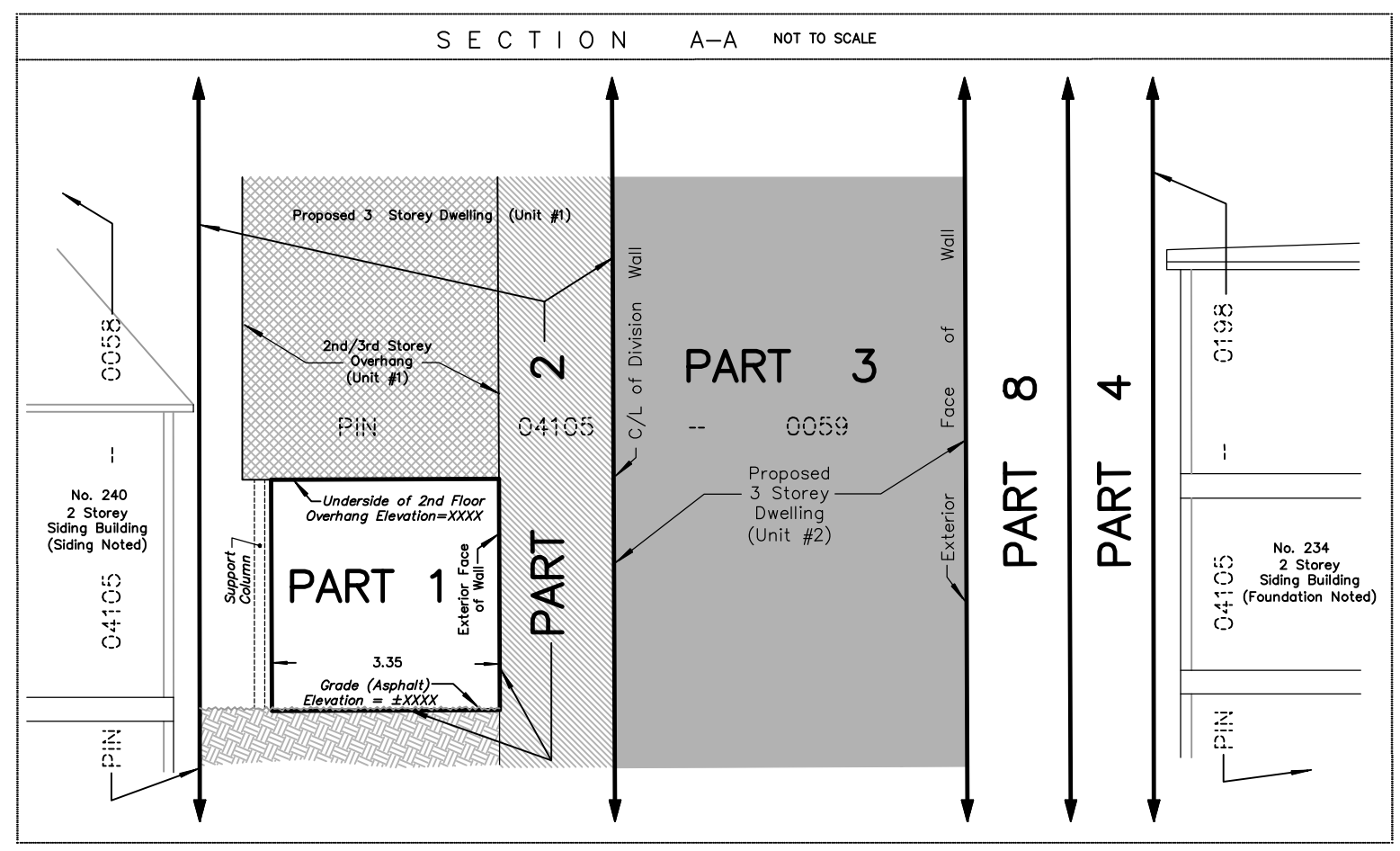
POINT ID	NORTHING	EASTING
(A)	5029722.20	366931.36
(B)	5029683.74	366948.12
01919680005	5027191.26	361496.76
01919680105	5024915.16	373971.65

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O. REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

Surveyor's Certificate
 I certify that:
 1. This survey and plan are correct and in accordance with the Surveyors Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
 2. The survey was completed on the _____ day of _____, 2018.

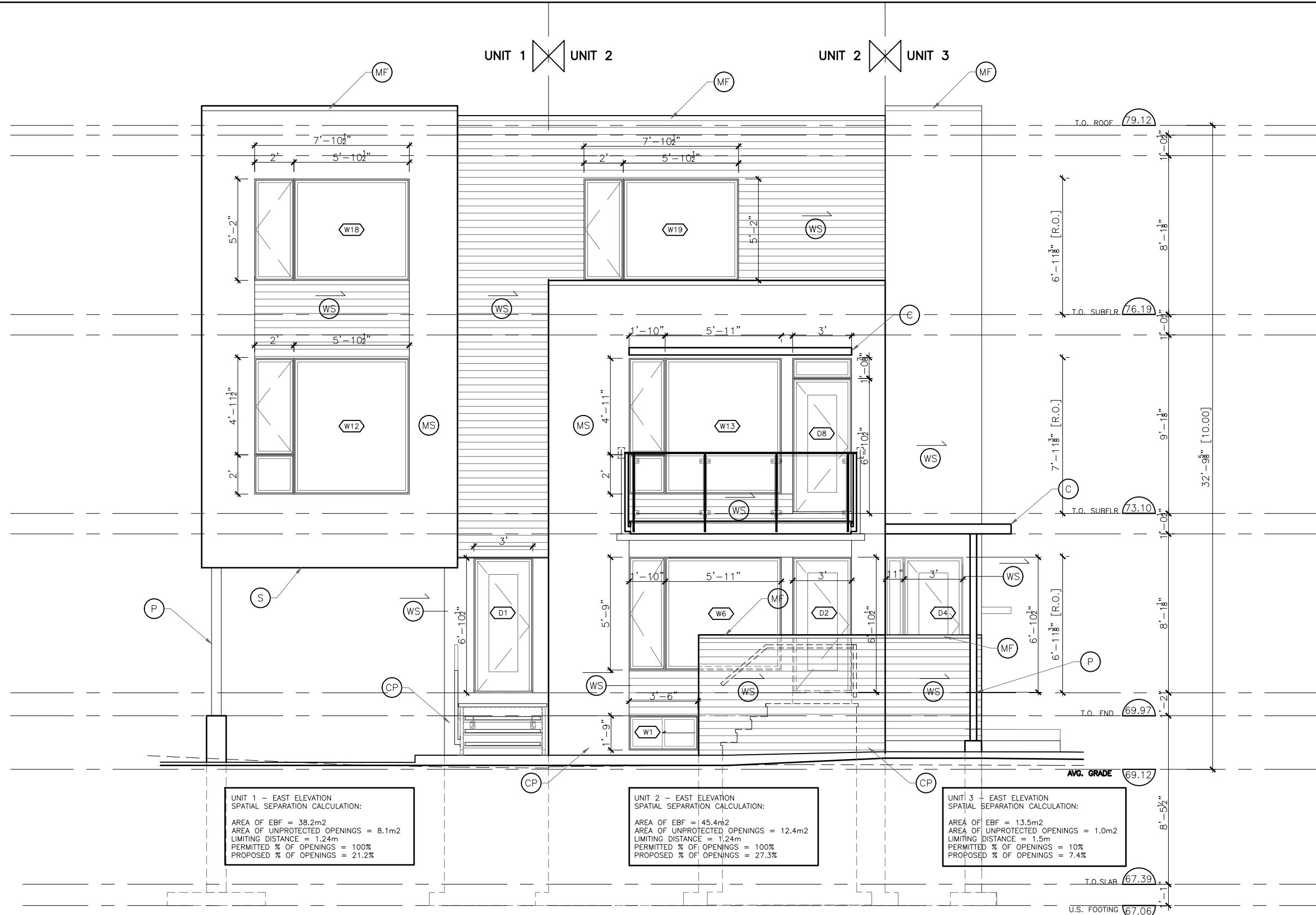
October 31, 2018
 Date
 Daniel Robinson
 Ontario Land Surveyor

- Notes & Legend**
- Denotes Survey Monument Planted
 - Denotes Survey Monument Found
 - SIB = Iron Bar
 - (WIT) = Witness
 - Meas = Measured
 - (P1) = Registered Plan 32
 - (P2) = Registered Plan 48
 - (P3) = Plan 48-27448
 - (P4) = Plan by (1287) dated July 22, 1997
 - (P5) = Plan by (1236) dated February 15, 1999
 - (P6) = Plan by (1474) dated August 3, 1999
 - (P7) = Plan by (647) dated August 18, 1980
 - (P8) = Plan by (AOC) dated March 8, 1974
 - (P9) = Plan by (1287) dated October 24, 2005
 - ow = Overhead Wires
 - o/p = Utility Pole
 - CLF = Chain Link Fence
 - BF = Board Fence
 - EOG = Edge of Gravel
 - Existing Building
 - ▲ = Cross Section A-A



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 ONTARIO LAND SURVEYORS
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 190 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J5
 TEL. (613) 727-8226 FAX. (613) 727-1826

P:\2018\01318_236 LEBRETON\2.0 ARCH\2.3 DRAWINGS\2.3.2 MD\2.3.2.3 PLANS\1 - 12_190219_236 LEBRETON\PLANS, ELEV, SECTIONS_1.dwg - LAYOUT A7_ELEV - PLOT DATE 7-May-21 - LAST SAVED BY NDES000 - LAST SAVED DATE May 7, 2021



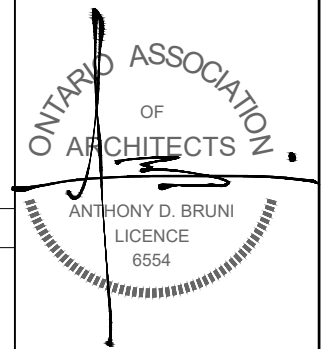
UNIT 1 - EAST ELEVATION
SPATIAL SEPARATION CALCULATION:
AREA OF EBF = 38.2m²
AREA OF UNPROTECTED OPENINGS = 8.1m²
LIMITING DISTANCE = 1.24m
PERMITTED % OF OPENINGS = 100%
PROPOSED % OF OPENINGS = 21.2%

UNIT 2 - EAST ELEVATION
SPATIAL SEPARATION CALCULATION:
AREA OF EBF = 45.4m²
AREA OF UNPROTECTED OPENINGS = 12.4m²
LIMITING DISTANCE = 1.24m
PERMITTED % OF OPENINGS = 100%
PROPOSED % OF OPENINGS = 27.3%

UNIT 3 - EAST ELEVATION
SPATIAL SEPARATION CALCULATION:
AREA OF EBF = 13.5m²
AREA OF UNPROTECTED OPENINGS = 1.0m²
LIMITING DISTANCE = 1.5m
PERMITTED % OF OPENINGS = 10%
PROPOSED % OF OPENINGS = 7.4%

1 EAST ELEVATION
3/16" = 1'-0"

- GENERAL NOTES:**
- ADD 1" TO SIZES WINDOW /DOOR FRAME FOR RSO [TYP]
- DRAWING NOTES:**
- MS - 26 GAUGE PRE-FINISHED METAL SIDING [COLOUR: TBD]
 - WS - PRE-FINISHED T&G 1"x6" WOOD SIDING [COLOUR: TBD]
 - S - METAL SOFFIT. [COLOUR TBD]
 - MF - 26 GAUGE PRE-FINISHED METAL FLASHING [COLOUR: TBD]
 - CP - CEMENT PARGING
 - C - CANOPY
 - P - PAINTED STEEL POST [COLOUR TBD]



NO	REV DATE	REV DESCRIPTION
1	190312	FOR P.ENG
2	190318	FOR JOIST MANUFACTURER
3	190529	FOR P.ENG
4	210506	FOR B.P. APPLICATION

GENERAL NOTES

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PROJECT NAME
236 LEBRETON ST. N.
3 UNIT TOWNHOUSE

OTTAWA, ON

SCALE
NOTED
DRAWN BY

DATE
JAN 04/19

PROJECT NO.
01318

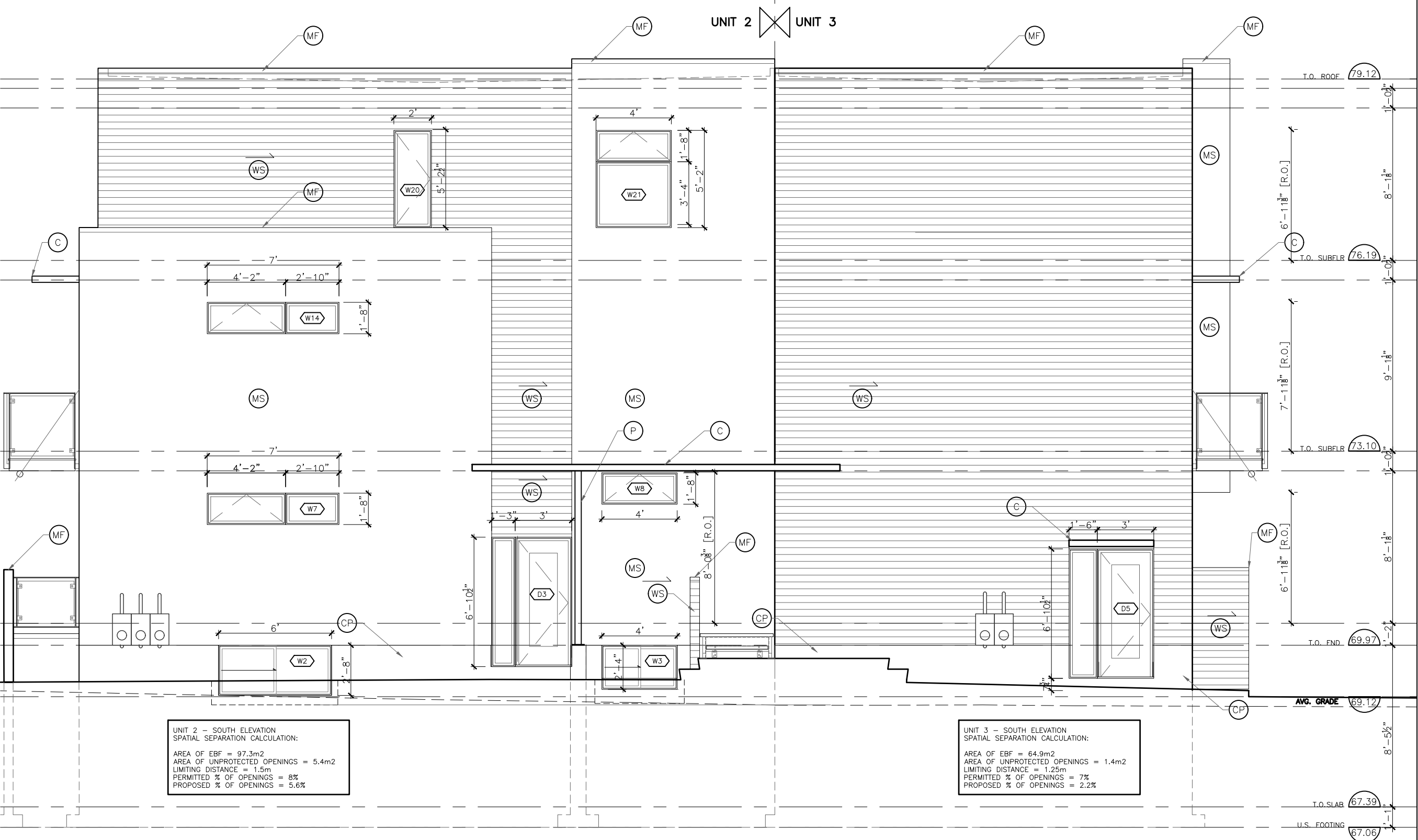
DRAWING TITLE
ELEVATION

DRAWING NO.
A7

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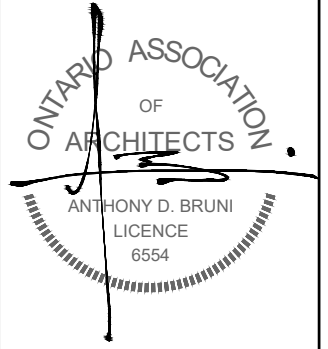


UNIT 2 - SOUTH ELEVATION
SPATIAL SEPARATION CALCULATION:
AREA OF EBF = 97.3m²
AREA OF UNPROTECTED OPENINGS = 5.4m²
LIMITING DISTANCE = 1.5m
PERMITTED % OF OPENINGS = 8%
PROPOSED % OF OPENINGS = 5.6%

UNIT 3 - SOUTH ELEVATION
SPATIAL SEPARATION CALCULATION:
AREA OF EBF = 64.9m²
AREA OF UNPROTECTED OPENINGS = 1.4m²
LIMITING DISTANCE = 1.25m
PERMITTED % OF OPENINGS = 7%
PROPOSED % OF OPENINGS = 2.2%

1 NORTH ELEVATION
3/16" = 1'-0"

- GENERAL NOTES:**
- ADD 1" TO SIZES WINDOW /DOOR FRAME FOR RSO [TYP]
- DRAWING NOTES:**
- MS - 26 GAUGE PRE-FINISHED METAL SIDING [COLOUR: TBD]
 - WS - PRE-FINISHED T&G 1"x6" WOOD SIDING [COLOUR: TBD]
 - S - METAL SOFFIT. [COLOUR TBD]
 - MF - 26 GAUGE PRE-FINISHED METAL FLASHING [COLOUR: TBD]
 - CP - CEMENT PARGING
 - C - CANOPY
 - P - PAINTED STEEL POST [COLOUR TBD]



NO	REV DATE	REV DESCRIPTION
1	190312	FOR P.ENG
2	190318	FOR JOIST MANUFACTURER
3	190529	FOR P.ENG
4	210506	FOR B.P. APPLICATION

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PROJECT NAME
236 LEBRETON ST. N.
3 UNIT TOWNHOUSE

OTTAWA, ON

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DATE
JAN 04/19
PROJECT NO.
01318

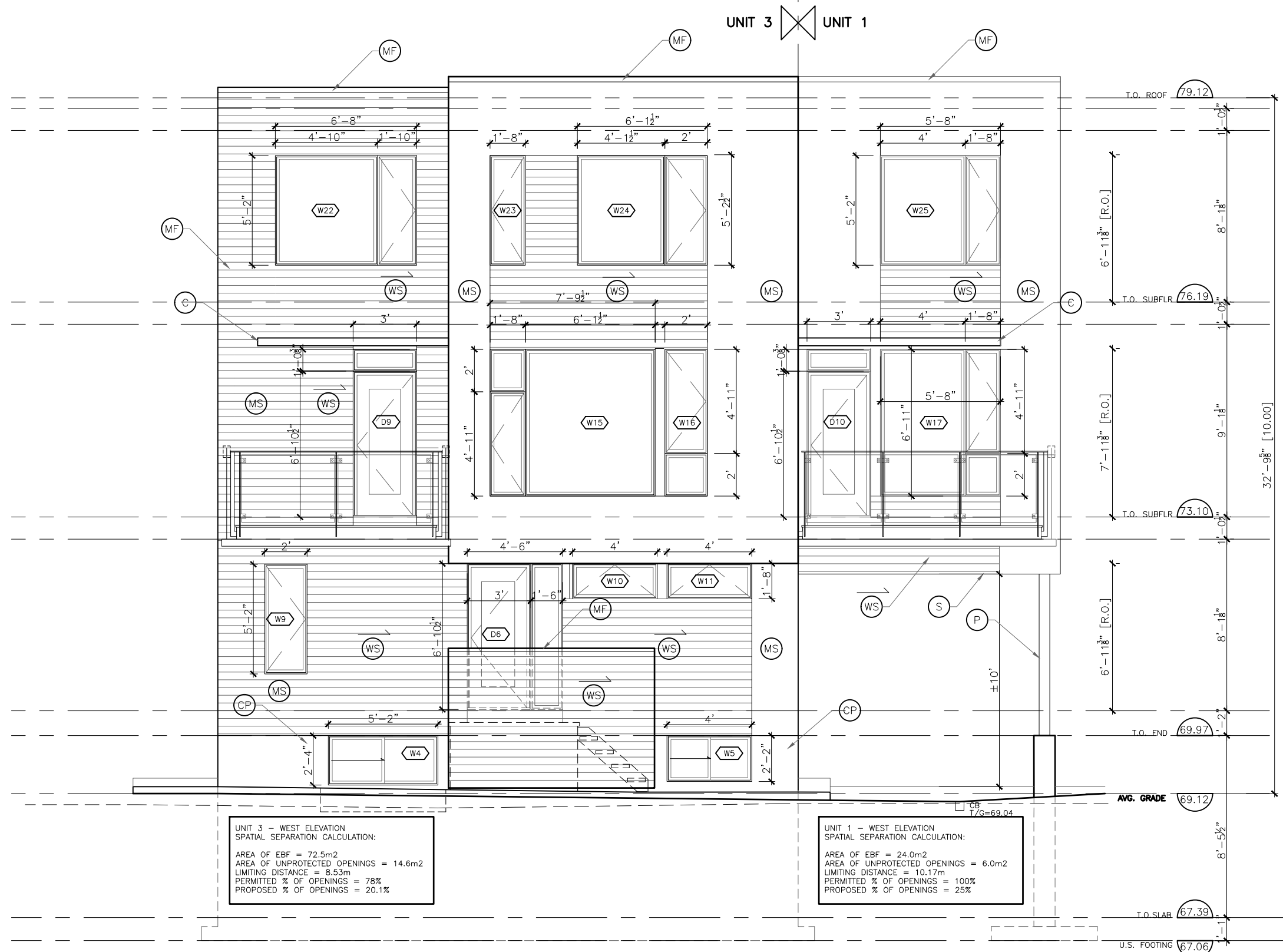
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ELEVATION

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A8

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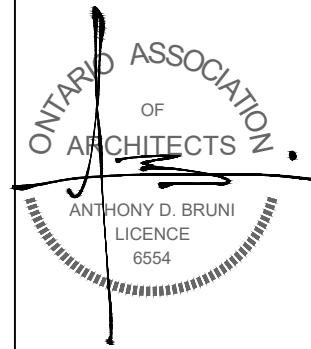


UNIT 3 - WEST ELEVATION
SPATIAL SEPARATION CALCULATION:
AREA OF EBF = 72.5m²
AREA OF UNPROTECTED OPENINGS = 14.6m²
LIMITING DISTANCE = 8.53m
PERMITTED % OF OPENINGS = 78%
PROPOSED % OF OPENINGS = 20.1%

UNIT 1 - WEST ELEVATION
SPATIAL SEPARATION CALCULATION:
AREA OF EBF = 24.0m²
AREA OF UNPROTECTED OPENINGS = 6.0m²
LIMITING DISTANCE = 10.17m
PERMITTED % OF OPENINGS = 100%
PROPOSED % OF OPENINGS = 25%

1 WEST ELEVATION
3/16" = 1'-0"

- GENERAL NOTES:**
- ADD 1" TO SIZES WINDOW /DOOR FRAME FOR RSO [TYP]
- DRAWING NOTES:**
- MS - 26 GAUGE PRE-FINISHED METAL SIDING [COLOUR: TBD]
 - WS - PRE-FINISHED T&G 1"x6" WOOD SIDING [COLOUR: TBD]
 - S - METAL SOFFIT. [COLOUR TBD]
 - MF - 26 GAUGE PRE-FINISHED METAL FLASHING [COLOUR: TBD]
 - CP - CEMENT PARGING
 - C - CANOPY
 - P - PAINTED STEEL POST [COLOUR TBD]



NO	REV DATE	REV DESCRIPTION
1	190312	FOR P.ENG
2	190318	FOR JOIST MANUFACTURER
3	190529	FOR P.ENG
4	210506	FOR B.P. APPLICATION

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PROJECT NAME
236 LEBRETON ST. N.
3 UNIT TOWNHOUSE

OTTAWA, ON

SCALE
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DATE
JAN 04/19

PROJECT NO.
01318

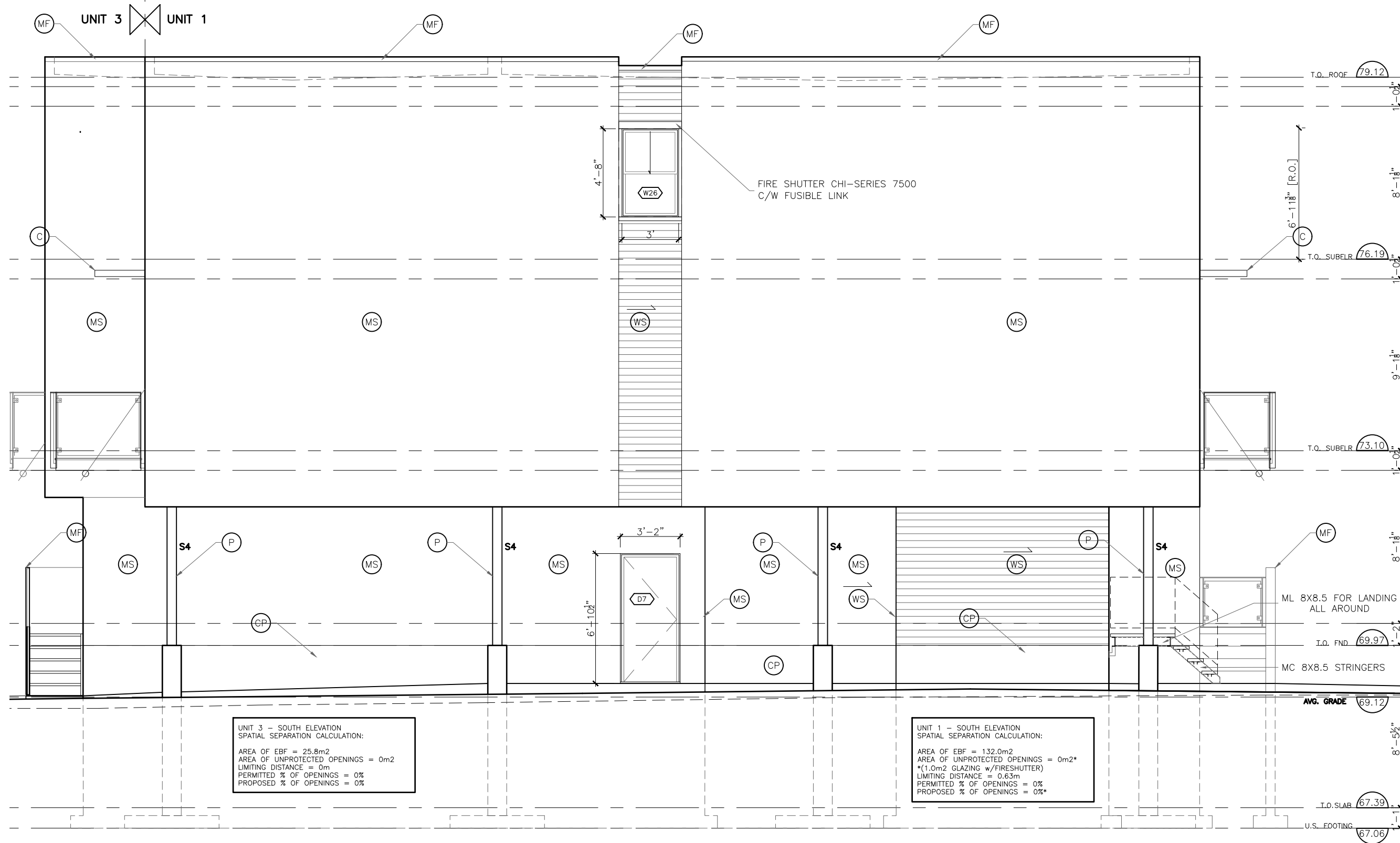
DRAWING TITLE
ELEVATION

DRAWING NO.
A9

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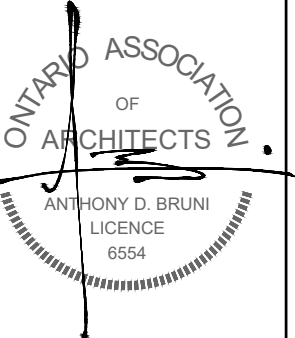


UNIT 3 - SOUTH ELEVATION
SPATIAL SEPARATION CALCULATION:
AREA OF EBF = 25.8m2
AREA OF UNPROTECTED OPENINGS = 0m2
LIMITING DISTANCE = 0m
PERMITTED % OF OPENINGS = 0%
PROPOSED % OF OPENINGS = 0%

UNIT 1 - SOUTH ELEVATION
SPATIAL SEPARATION CALCULATION:
AREA OF EBF = 132.0m2
AREA OF UNPROTECTED OPENINGS = 0m2*
*(1.0m2 GLAZING w/FIRESHUTTER)
LIMITING DISTANCE = 0.63m
PERMITTED % OF OPENINGS = 0%
PROPOSED % OF OPENINGS = 0%*

1 SOUTH ELEVATION
3/16" = 1'-0"

- GENERAL NOTES:**
- ADD 1" TO SIZES WINDOW /DOOR FRAME FOR RSO [TYP]
- DRAWING NOTES:**
- MS - 26 GAUGE PRE-FINISHED METAL SIDING [COLOUR: TBD]
 - WS - PRE-FINISHED T&G 1"x6" WOOD SIDING [COLOUR: TBD]
 - S - METAL SOFFIT. [COLOUR TBD]
 - MF - 26 GAUGE PRE-FINISHED METAL FLASHING [COLOUR: TBD]
 - CP - CEMENT PARGING
 - C - CANOPY
 - P - PAINTED STEEL POST [COLOUR TBD]



NO	REV DATE	REV DESCRIPTION
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PROJECT NAME
236 LEBRETON ST. N.
3 UNIT TOWNHOUSE

OTTAWA, ON

SCALE
NOTED
DRAWN BY

DATE
JAN 04/19
PROJECT NO.
01318

DRAWING TITLE
ELEVATION

DRAWING NO.
A10

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