

Rortar Land Development Consultants

47 Moore St. Richmond, ON
K0A 2Z0

Tel. (613) 323-2146
email: rortar9@gmail.com

December 15, 2024

Secretary Treasurer,
Committee of Adjustment
City of Ottawa
101 CentrepoinTE Dr.
Ottawa, Ontario
K2G 5K7

Re: Application for Consent (Easement) – 62 Columbus Ave. and 12 Sylvester St.

Rortar Land Development Consultants have been retained by the owner of the lands at 62 Columbus Avenue and 12 Sylvester Street to sever an existing Semi-Detached unit into separate parcels for the purposes of future conveyance to new purchasers. The consent applications were approved by the Committee of Adjustment (Files D08-01-23/B-00074 & D08-01-23/B-00075). However, 2 m easement is required across 62 Columbus Ave (Part 2 2, 4R-33994) in favor of 12 Sylvester St. (Part 3, 4R-33994) to accommodate municipal services.

The subject lands are located on the south side of Columbus Avenue just west of the Vanier Parkway. A newly constructed semi-detached dwelling exists on the property and the Owners wish to create individual units for the purpose of future conveyance to new purchasers.

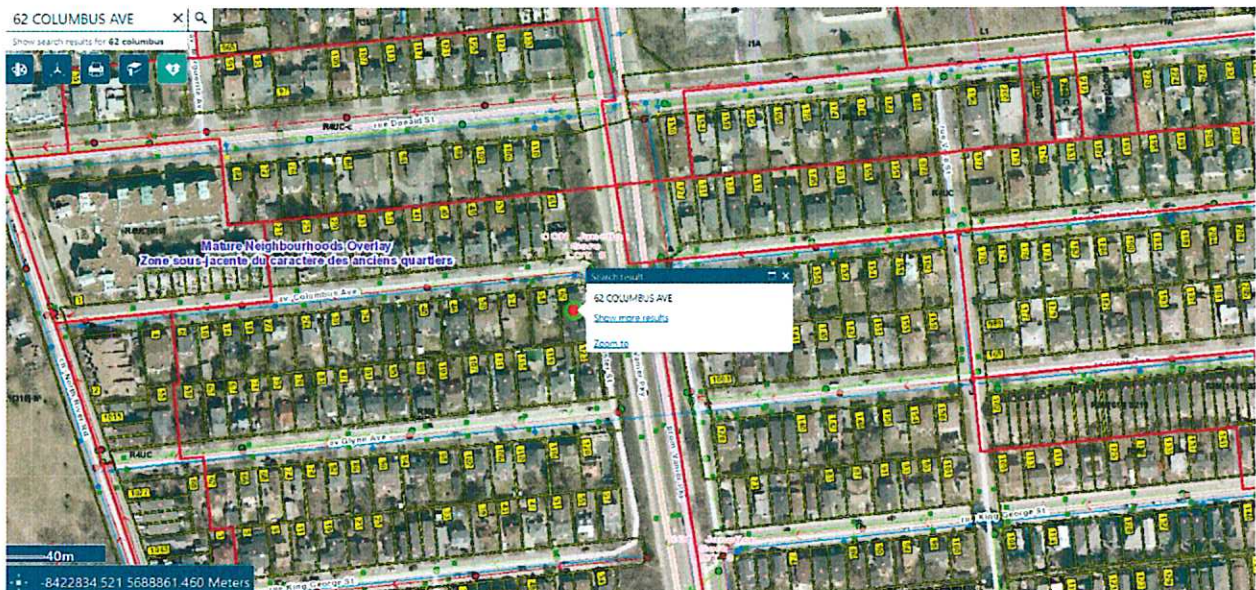


Fig. 1 – Location Plan

The attached Reference Plan proposes to sever permit an easement (Part 2) over 62 Columbus Ave. in favor of Part 3 (12 Sylvester St).

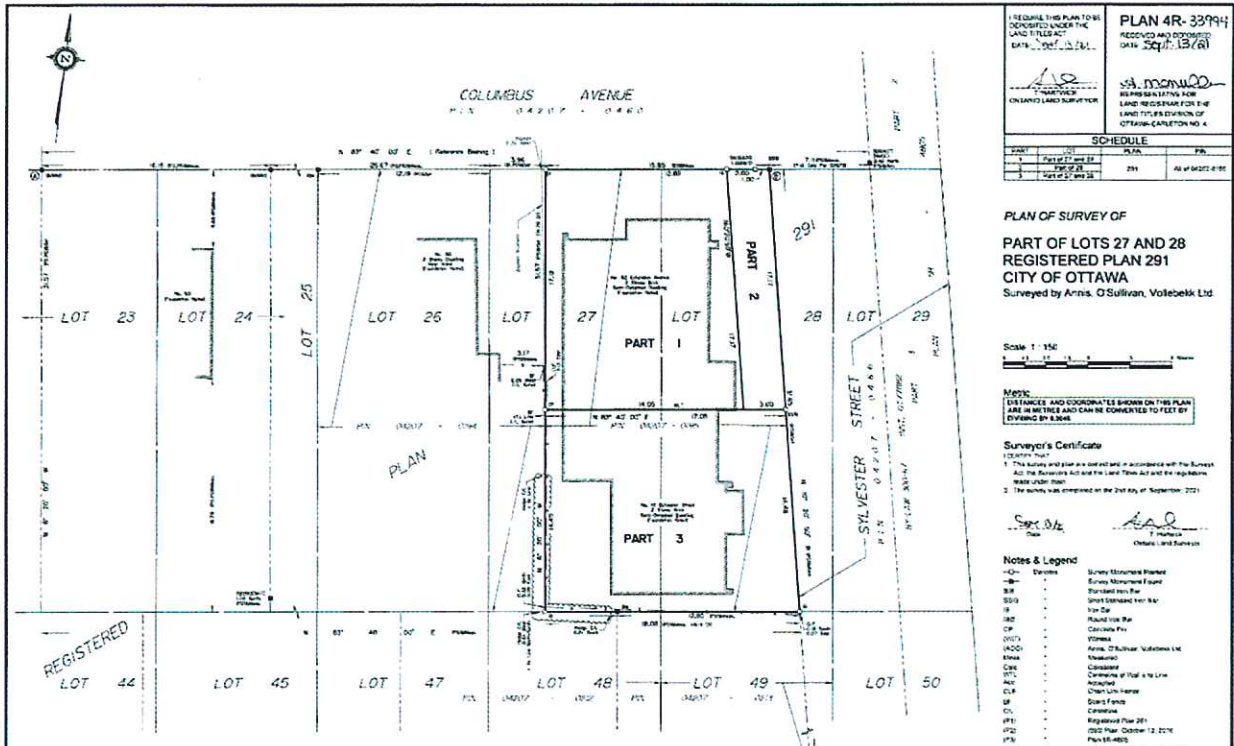


Fig. 2 – Reference Plan 4R-33994

Parts 1 and 2 (62 Columbus Ave)

The proposed new residential lot will have a lot width of 14.85 m along Columbus Avenue and a lot depth of 17.12 m. The area of the new lot will be 281.8 sq.m. Part 2 is the proposed easement to be granted in favor of Part 3 (12 Sylvester St.). The proposed new lot meets all performance standards of the Residential Third Density Zone – R3M. Approval for the severance was granted by the Committee of Adjustment on April 28, 2023.

Part 3 (12 Sylvester St.)

The proposed new residential lot will have a lot width of 14.48 m along Sylvester Street and a lot depth of 18.06 m. The area of the new lot will be 253.5 sq.m. The proposed new lot meets all performance standards of the Residential Third Density Zone – R3M. Approval for the severance was granted by the Committee of Adjustment on April 28, 2023.

The purpose of the R3-Residential Third Density Zone is to allow a mix of residential building forms ranging from detached to townhouse dwellings in areas designated as in the

Official Plan. The provisions allow for several other residential uses to provide additional housing choices within the third density residential areas and allows ancillary uses to the principal residential use to allow residents to work at home. The R3 zone regulates development in a manner that is compatible with existing land use patterns so that the mixed dwelling, residential character of a neighborhood is maintained.

The existing semi-detached units at 62 Columbus Ave. and 12 Sylvester St. conform to all R3M zoning performance standards including setbacks, lot area and coverage and the proposed easement is required for existing servicing to allow the units to be conveyed independently.

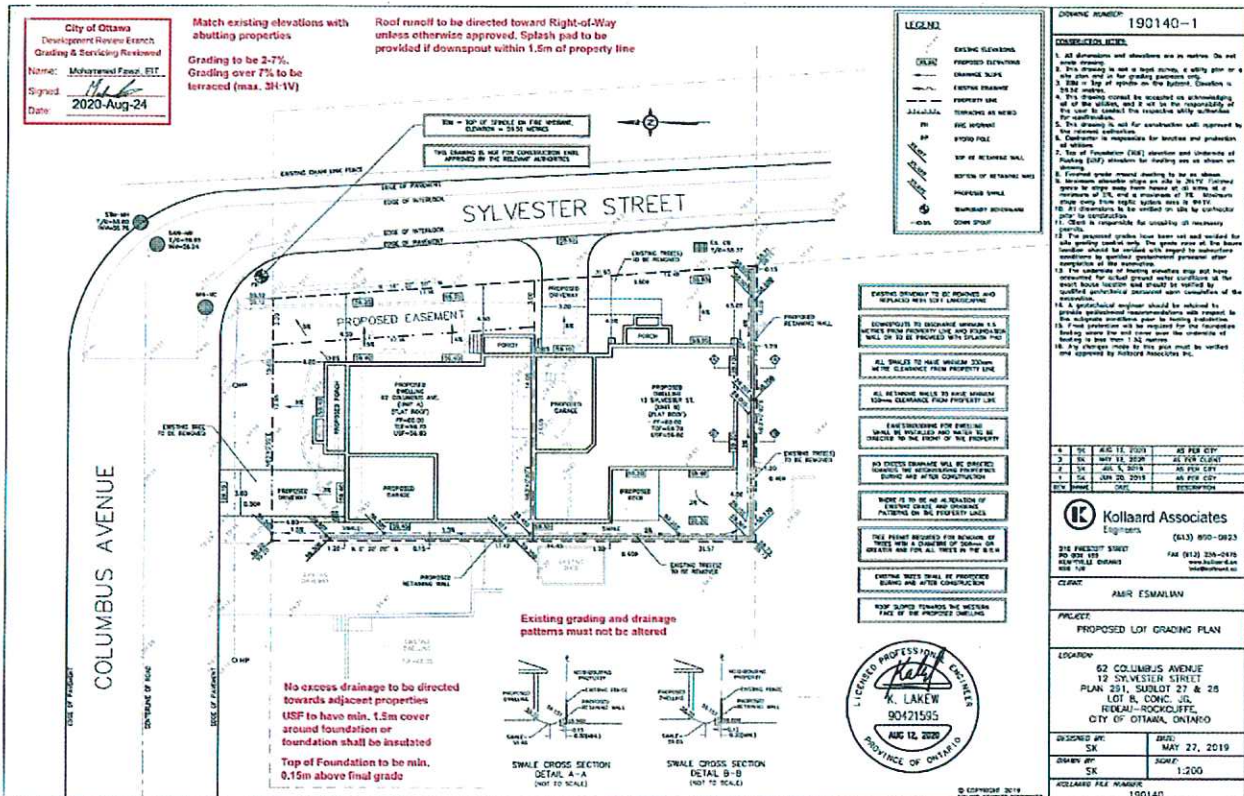


Fig. 3 – Servicing Plan

If you have any questions or comments regarding this submission please feel free to contact me directly at (613) 323-2146 or by email rortar9@gmail.com. We thank you for your consideration.

Sincerely,

[Signature]

Rod Price,
Rortar Land Development Consultants.