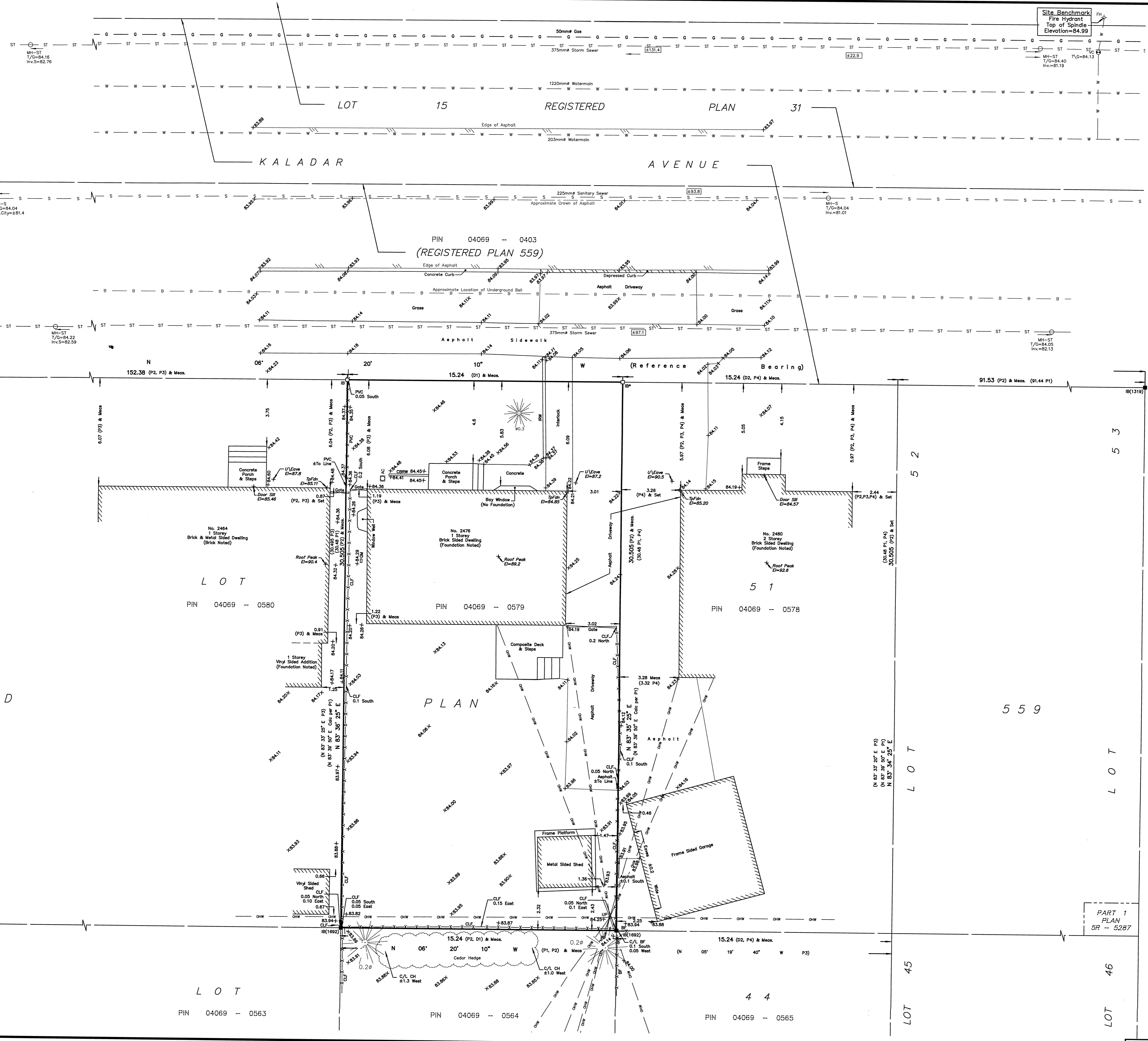


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TOPOGRAPHIC PLAN OF SURVEY OF  
**PART OF LOT 51  
REGISTERED PLAN 559  
CITY OF OTTAWA**  
FARLEY, SMITH & DENIS SURVEYING LTD. 2020  
Scale 1: 100  
0 2.5 5 7.5 10 metres

**Metric Note**  
Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

**Distance Note**  
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

**Bearing Note**  
Bearings are grid and are referred to the Westerly limit of Kaladar Avenue having a bearing of N 06° 20' 10" W as shown on (P2) and are referred to the Central Meridian of MTM Zone 9 (76° 30' West Longitude) Nad-83 (Original).  
For bearing comparisons, a rotation of 0° 35' 25" counter-clockwise was applied to bearings on P1.  
For bearing comparisons, a rotation of 0° 33' 55" counter-clockwise was applied to bearings on P3.

**Elevation Notes**  
1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928-1978 (FSD Ref. 651-19)  
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

**Utility Notes**  
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.  
2. Only visible surface utilities were located.  
3. Underground utility data derived from City of Ottawa utility sheet reference: L-14-01, L-14-02, H13B-3, E304, 7005 and 372-10.  
4. Sanitary and storm sewer grades and inverts were compiled from: Field measurement and City of Ottawa Utility Sheets.  
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

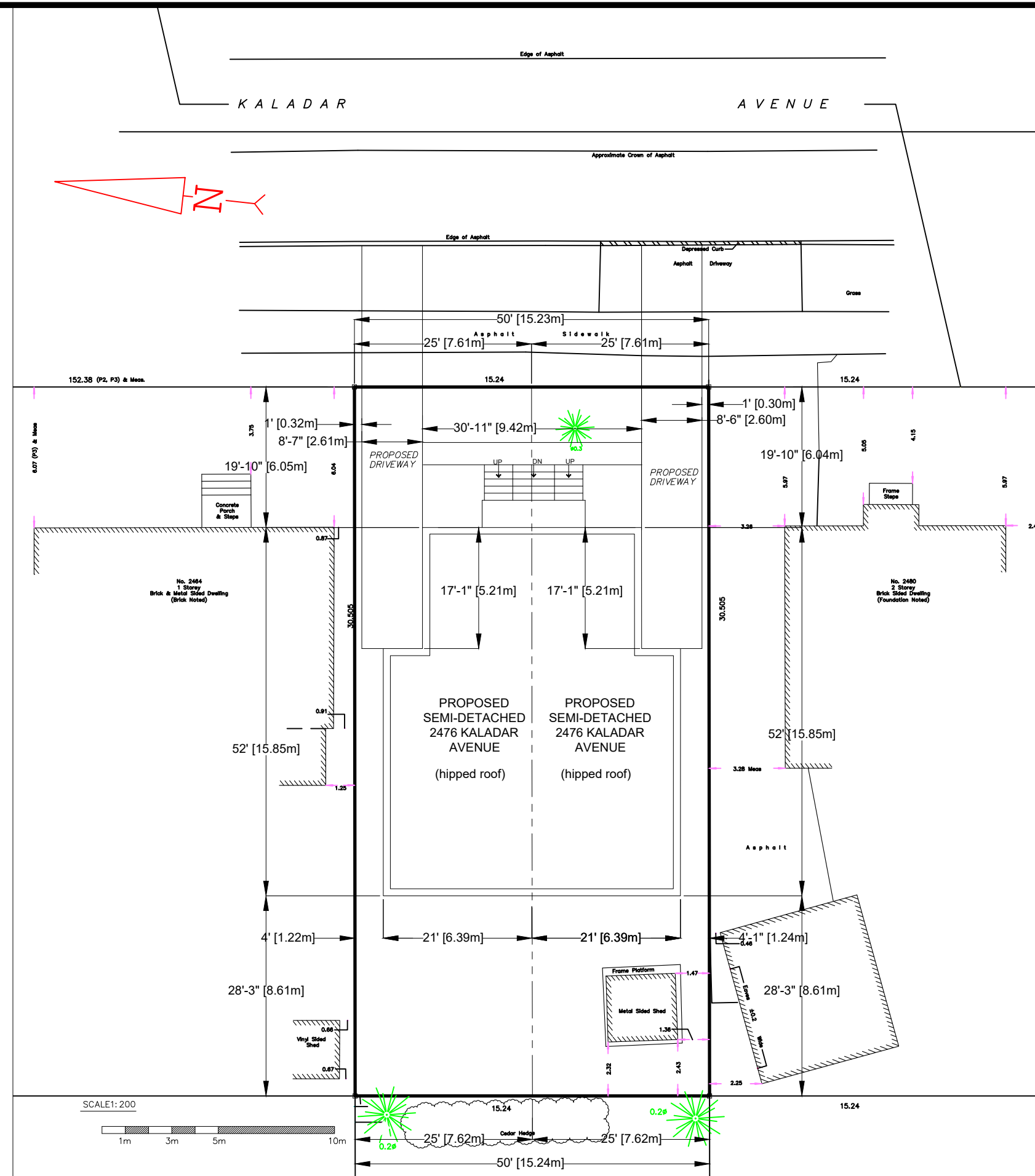
**Notes & Legend**

Denotes:	
—	Survey Monument Planted
—	Survey Monument Found
SIB	Standard Iron Bar
IB	Iron Bar
IB*	Iron Bar (0.3m Long)
(Wit)	Witness
Meas	Measured
(P1)	Registered Plan 559
(P2)	Plan by (1592) dated November 13, 2019 (File No. 543-19)
(P3)	Plan by (1990) dated March 2, 1998
(P4)	Plan by (DB) dated August 29, 1974 (Ref. 74-51-1-1-250)
(D1)	Inst. NS69881
(D2)	Inst. CT209054
MH-ST	Maintenance Hole (Storm)
MH-S	Maintenance Hole (Sanitary)
VC	Valve Chamber (Watermain)
SS	Underground Storm Sewer
S	Underground Sanitary Sewer
W	Underground Water
G	Underground Gas
B	Underground Bell
OW	Overhead Wires
UP	Utility Pole
PH	Fire Hydrant
WV	Water Valve
D	Diameter
GM	Gas Meter
AC	Air Conditioner
CLF	Chain Link Fence
BF	Board Fence
PVC	Plastic Vinyl Fence
CBRW	Concrete Block Retaining Wall
IRW	Interlock Retaining Wall
Inv.	Invert
T/G	Top of Grate
U/Eave	Underside of Eave
P/Fdn	Top of Foundation
C/L	Centreline
+55.00	Location of Elevations
+65.00	Top of Curb/Wall Elevation
—	Property Line
☼	Coniferous Tree

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
**2139066**  
THIS PLAN IS NOT VALID UNLESS  
IT IS AN EMBOSSED ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1006, Section 29 (3).

**Surveyor's Certificate**  
I certify that:  
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.  
2. The survey was completed on the 3rd day of September, 2020.  
Date: Sept 28/20  
Daniel Robinson  
Ontario Land Surveyor

**FARLEY, SMITH & DENIS SURVEYING LTD.**  
ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS  
190 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J5  
TEL. (613) 727-8226 FAX. (613) 727-1826



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General Notes		
1	Client's Review	22/12/2024
No.	Revision/Issue	Date

ZONING INFO (PIN 04069-0579, 2476 KALADAR AVENUE, LOT 51 PLAN 559)		
PRINCIPAL DWELLING TYPE	SEMI-DETACHED DWELLING	PROPOSED
MINIMUM LOT WIDTH	9m	7.62m *
MINIMUM LOT AREA	270 sq.m	232 sq.m *
MAXIMUM BUILDING HEIGHT	8m	7.9m
MINIMUM FRONT YARD SETBACK	6m	6.01m
MINIMUM CORNER SIDE YARD SETBACK	N/A	N/A
MINIMUM INTERIOR SIDE YARD SETBACK	1.2m	1.22m
DRIVEWAY WIDTH		2.60m
DRIVEWAY AREA	Greater of 50% x 7.62m x 6m = 22.86sq.m 2.6m x 6m = 15.60sq.m	2.60m x 6m = 15.60sq.m
REAR SETBACK	28% x 30.51m = 8.54m	8.61m
REAR AREA	25% x 30.51m x 7.62m = 58.00sq.m	8.56m x 7.62m = 65.23sq.m
FRONT YARD		6.01m x 15.24m = 91.6sq.m
FRONT YARD SOFT LANDSCAPING	40%	37.8sq.m (41%)
* MINOR VARIANCE		

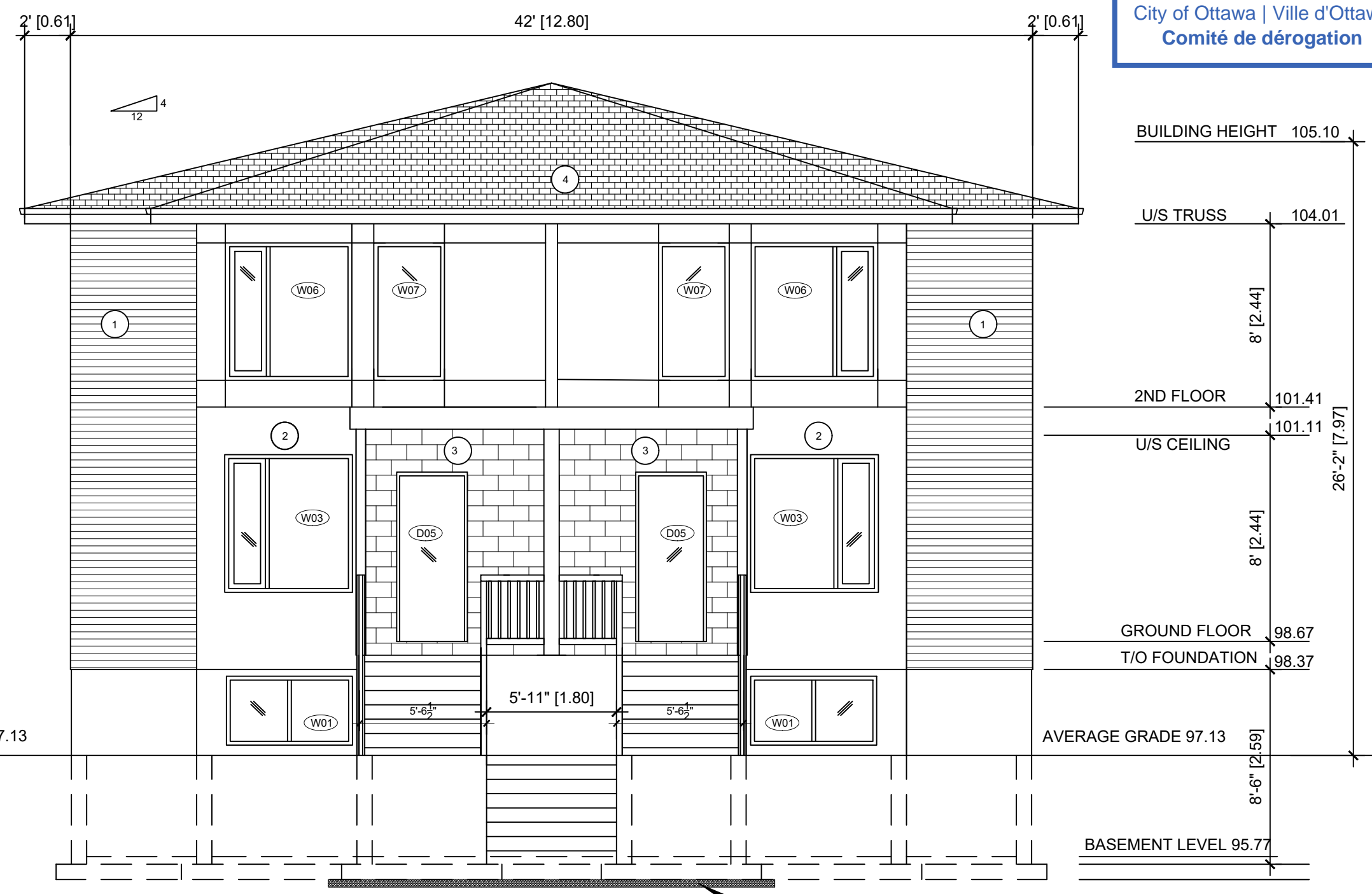
**Altira Construction**  
 509-2647 Alta Vista Drive  
 Ottawa, ON K1V 7T5  
 Tel (613) 697 6974

**Project Address**  
**2476 Kaladar Avenue**  
 Ottawa, ON  
 K1V 8C2

<b>Project</b> KB 001-24	<b>Drawing No.</b>
<b>Date</b> 22/12/2024	SP1 of SP1
<b>Scale</b> As Shown	

- SITE PLAN  
 SP1 SCALE 1:200

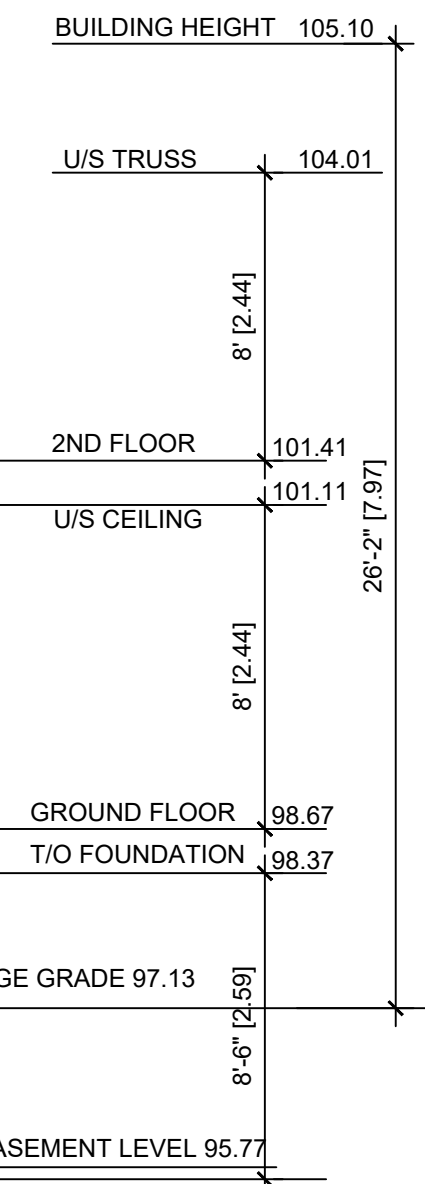
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**PROPOSED FRONT (WEST) ELEVATION**  
3/16"=1'-0"

- MATERIAL LIST**
- 1 - VINYL SIDING
  - 2 - HARDIE BOARD SIDING
  - 3 - MASONRY VENEER
  - 4 - 35 YEAR ASPHALT SHINGLES OR BETTER
  - 5 - PARGED FOUNDATION WALL

FOOTINGS TO HAVE A MINIMUM OF 5'-0" GROUND COVER FOR FROST PROTECTION  
IF LESS THAN 5'-0" GROUND COVER PLACE 2" RIGID INSULATION BELOW OR ABOVE FOOTING AND EXTEND 24" PAST FOOTINGS



No.	Revision/Issue	Date
1	Client's Review	11/11/2024

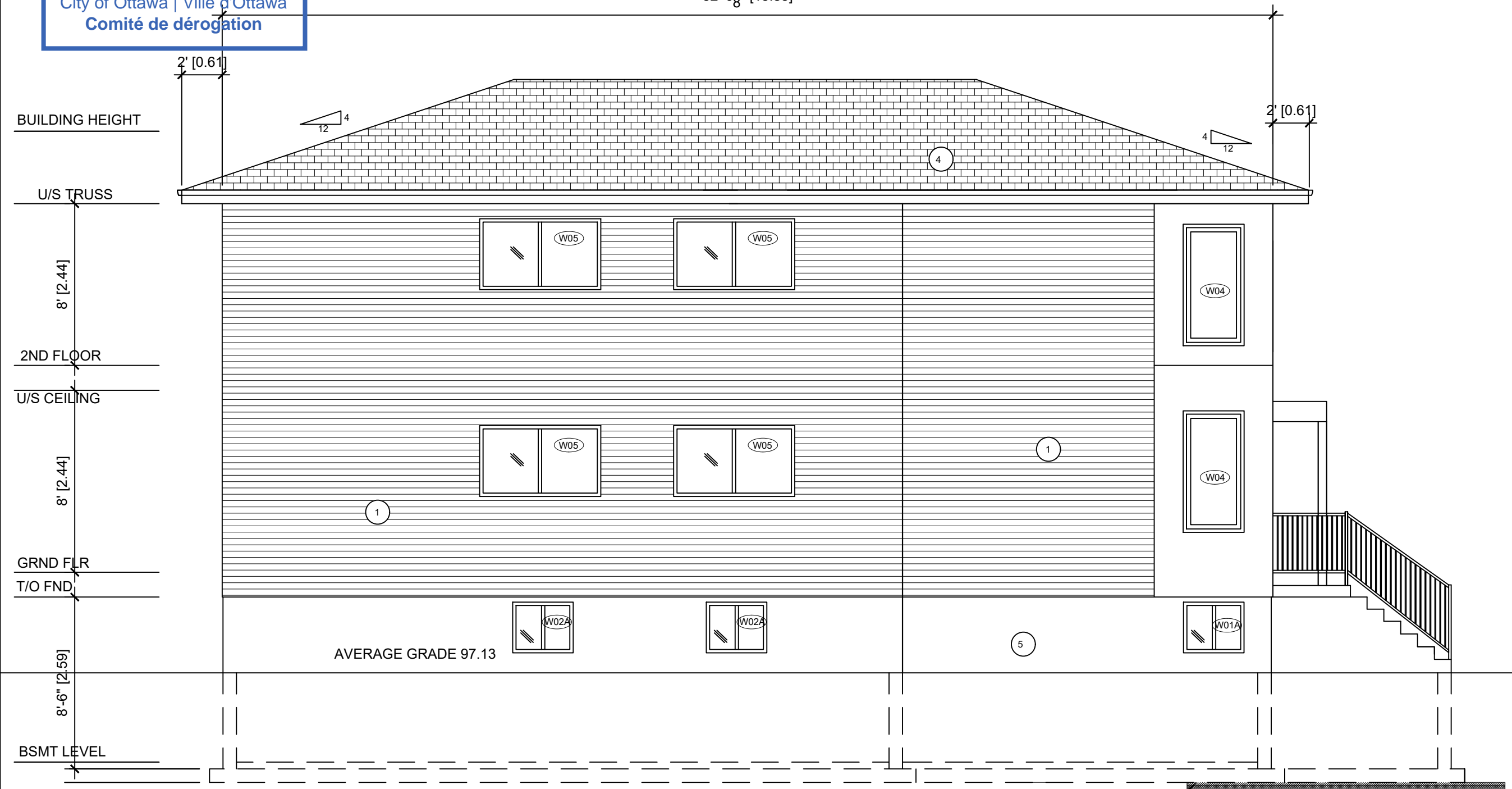
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<b>Project</b>	KB 001-24	<b>Drawing No.</b>	A4 of A10
<b>Date</b>	11/11/2024		
<b>Scale</b>	As Shown		

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52'-0<sup>1</sup>/<sub>8</sub>" [15.85]



- MATERIAL LIST
- 1 - VINYL SIDING
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  - 5 - PARGED FOUNDATION WALL

FOOTINGS TO HAVE A MINIMUM OF 5'-0" GROUND COVER FOR FROST PROTECTION IF LESS THAN 5'-0" GROUND COVER PLACE 2" RIGID INSULATION BELOW OR ABOVE FOOTING AND EXTEND 24" PAST FOOTINGS

PROPOSED LEFT (NORTH) ELEVATION  
 3/16"=1'-0"

General Notes

No.	Revision/Issue	Date
1	Client's Review	11/11/2024

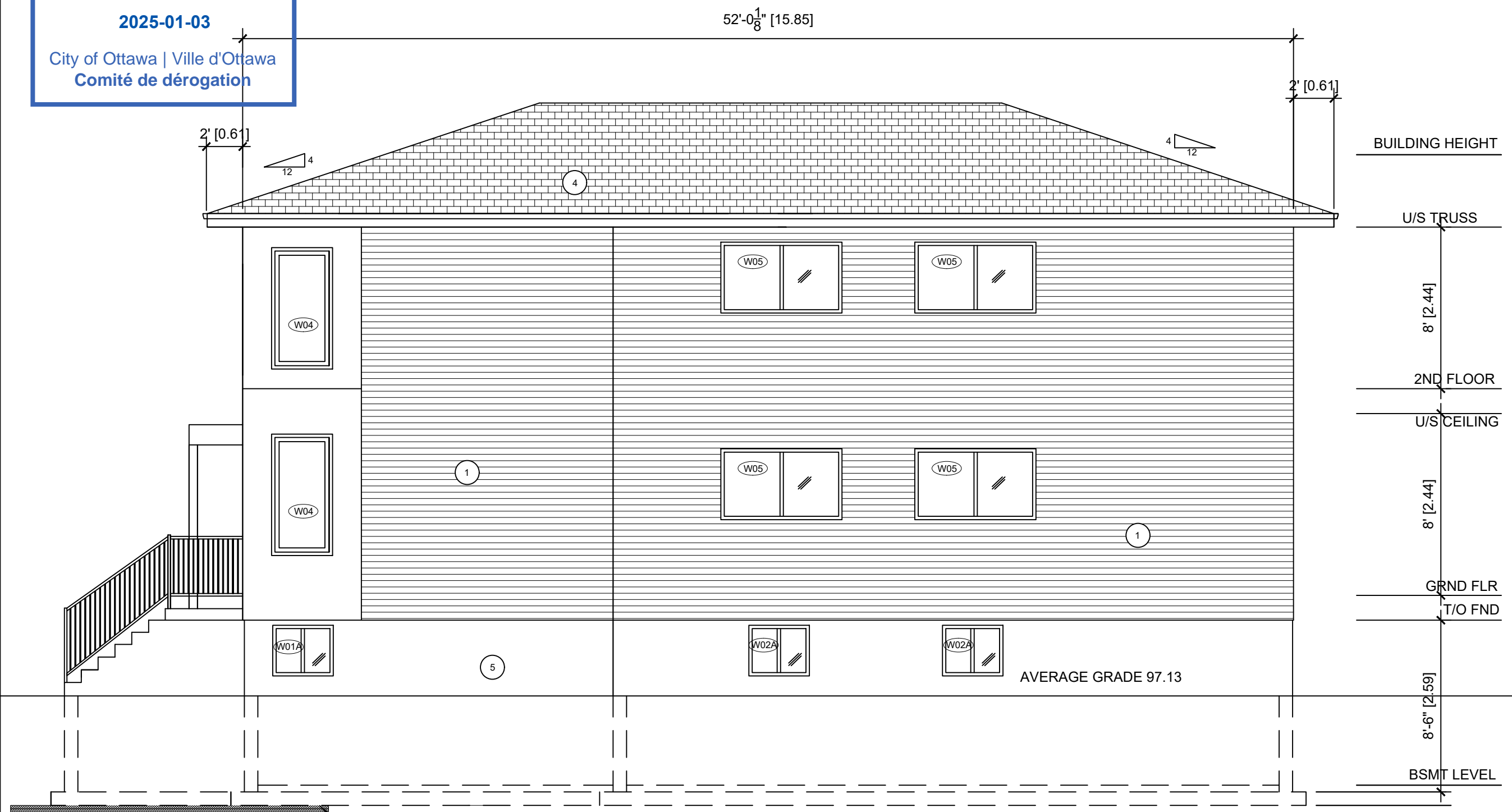
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**Project Address**

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<b>Project</b>	KB 001-24	<b>Drawing No.</b>
<b>Date</b>	11/11/2024	A5 of A10
<b>Scale</b>	As Shown	

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PROPOSED RIGHT (SOUTH) ELEVATION  
 3/16"=1'-0"

FOOTINGS TO HAVE A MINIMUM OF  
 5'-0" GROUND COVER FOR FROST  
 PROTECTION  
 IF LESS THAN 5'-0" GROUND COVER  
 PLACE 2" RIGID INSULATION BELOW  
 OR ABOVE FOOTING AND EXTEND  
 24" PAST FOOTINGS

- MATERIAL LIST
- 1 - VINYL SIDING
  - 2 - HARDIE BOARD SIDING
  - 3 - MASONRY VENEER
  - 4 - 35 YEAR ASPHALT SHINGLES OR BETTER
  - 5 - PARGED FOUNDATION WALL

General Notes

No.	Revision/Issue	Date
1	Client's Review	11/11/2024

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Project Address

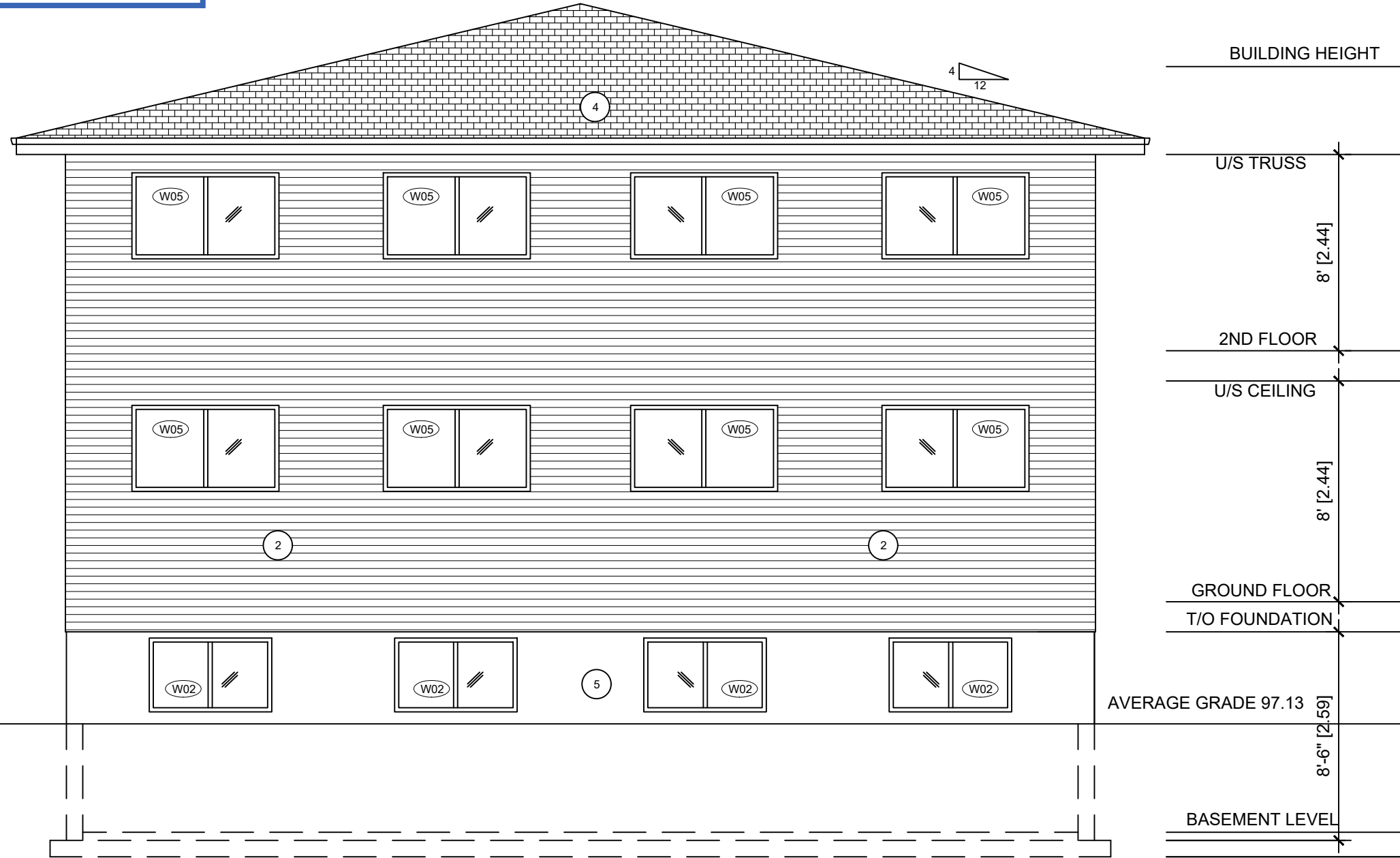
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Project	KB 001-24	Drawing No.	A6 of A10
Date	11/11/2024		
Scale	As Shown		

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PROPOSED REAR (EAST) ELEVATION  
3/16"=1'-0"

- MATERIAL LIST
- 1 - VINYL SIDING
  - 2 - HARDIE BOARD SIDING
  - 3 - MASONRY VENEER
  - 4 - 35 YEAR ASPHALT SHINGLES OR BETTER
  - 5 - PARGED FOUNDATION WALL

General Notes

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Project	KB 001-24	Drawing No.	A7 of A10
Date	11/11/2024		
Scale	As Shown		