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December 20, 2024

Committee of Adjustment
City of Ottawa
101 CentrepoinTE Drive, 4th Floor
Ottawa, ON K2G 5K7

**RE: Consent / Severance Applications and Minor Variance Applications
886 Baseline Road, Ottawa, ON K2C 0A4**

Dear Committee Members,

Bing Professional Engineering Inc. (BPEI) has been retained by the property Owner of 886 Baseline Rd., to prepare and submit Consent / Severance Applications and Minor Variance Applications to the Committee of Adjustment. The intent of the applications is to sever the subject land to two (2) parcels for two (2) long semi-detached dwelling development, and to seek three (3) minor variances for each long-semi detached dwelling to enable the proposed development as follows:

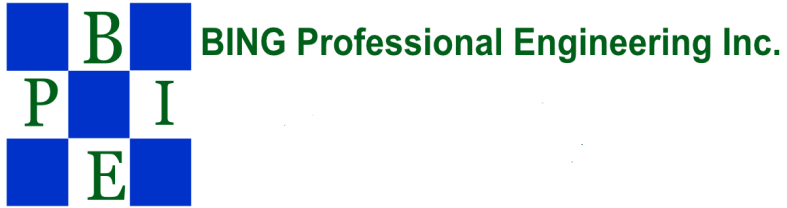
- to reduce required minimum front yard setback from 6 m to 4.6 m;
- to reduce required minimum rear yard setback from 8.79 m to 7.03 m;
- to reduce required minimum rear yard area from 83.73 m² to 75.01 m².

The proposed two long-semi detached dwellings are planned to have additional dwelling units and for rental.

The following documents are provided in support of these applications:

- Cover Letter / Planning Rationale;
- Primary Consent / Severance Application form;
- Secondary Consent / Severance Application form;
- Two (2) Minor Variance Application forms;
- Parcel Abstract;
- Tree Information Report (TIR);
- Draft Reference Plan – 1 full-size copy and 1 reduced copy;
- Survey Plan - 1 full-size copy and 1 reduced copy;
- Site Plan - - 1 full-size copy and 1 reduced copy
- Elevation Drawings - - 1 full-size copy and 1 reduced copy

A cheque representing applicable application fees will be delivered to the Committee of Adjustment at 101 CentrepoinTE Drive.



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We trust that the enclosed documents are satisfactory for our applications. Please do not hesitate to contact our office should you have any questions.

Thank you for your consideration.

Yours sincerely,

A handwritten signature in black ink, appearing to be 'Chang Sun', written in a cursive style.

2024-12-20

Changhong (Chang) Sun, OAA, LEED AP ® BD+C
Architect



1.0 SITE DESCRIPTION

The subject property is located at 886 Baseline Rd., the intermediate south of Experimental Farm between Merivale Rd. and Fisher Ave., and in the neighbourhood of Skyline-Fisher Heights and Ward 9, the city of Ottawa. It is surrounded by existing single houses and semi-detached residential development. It is close to Algonquin College, Carleton University and Civic Hospital. Private School and public schools are in close proximity to the subject property.

The site has a lot area of approximately 670 m² (0.17 acre), a depth of 31.39 m (103 ft), and a frontage of 21.34 m (70 ft) along Baseline Rd. Currently, a single detached house is situated on site, fully serviced by municipal water, sanitary sewer and stormwater sewer.

Under Ottawa Zoning By-law 2008-250, the lot is zoned under R2J (Residential Second Density Zone, Subzone R), Infill Development, and Low-rise Residential Development within the Greenbelt. It is within the Outer Urban Transect in the City of Ottawa Official Plan (Schedule A), and within Evolving Neighbourhood Overlay (Schedule B3). It is at Mainstreet of Baseline Rd. equipped with transitway stations.

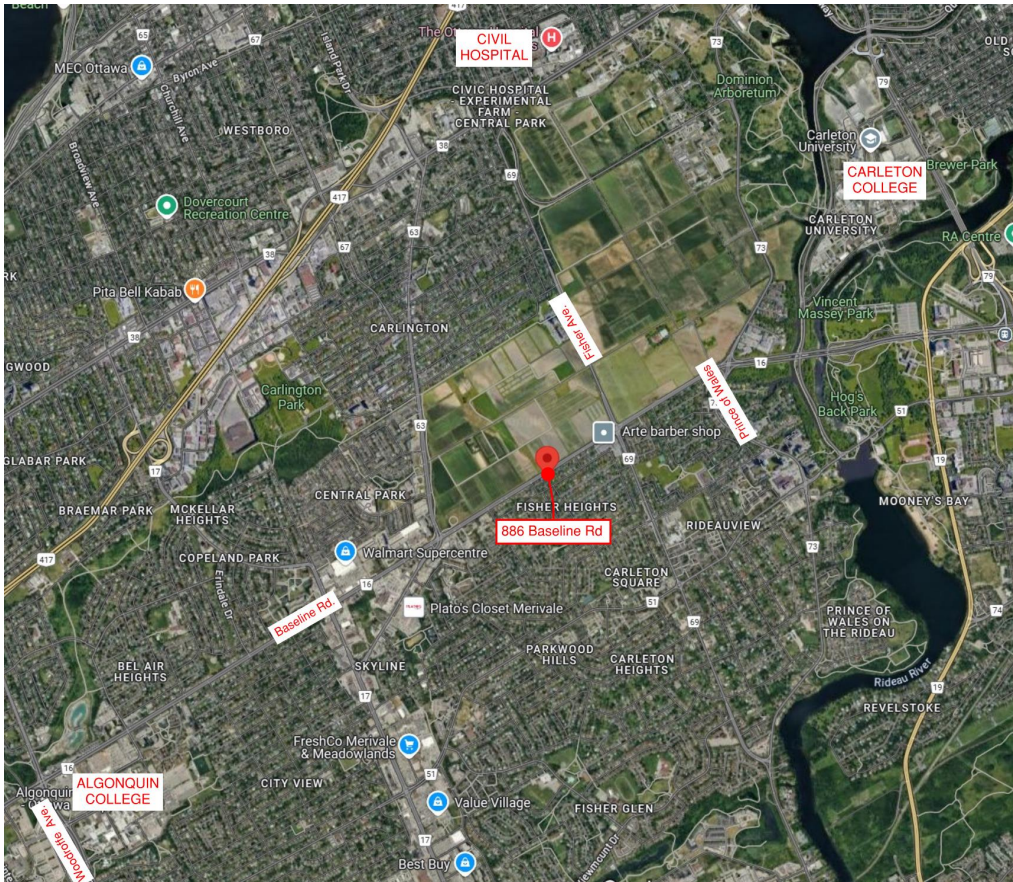


Figure 1: subject land on vicinity map

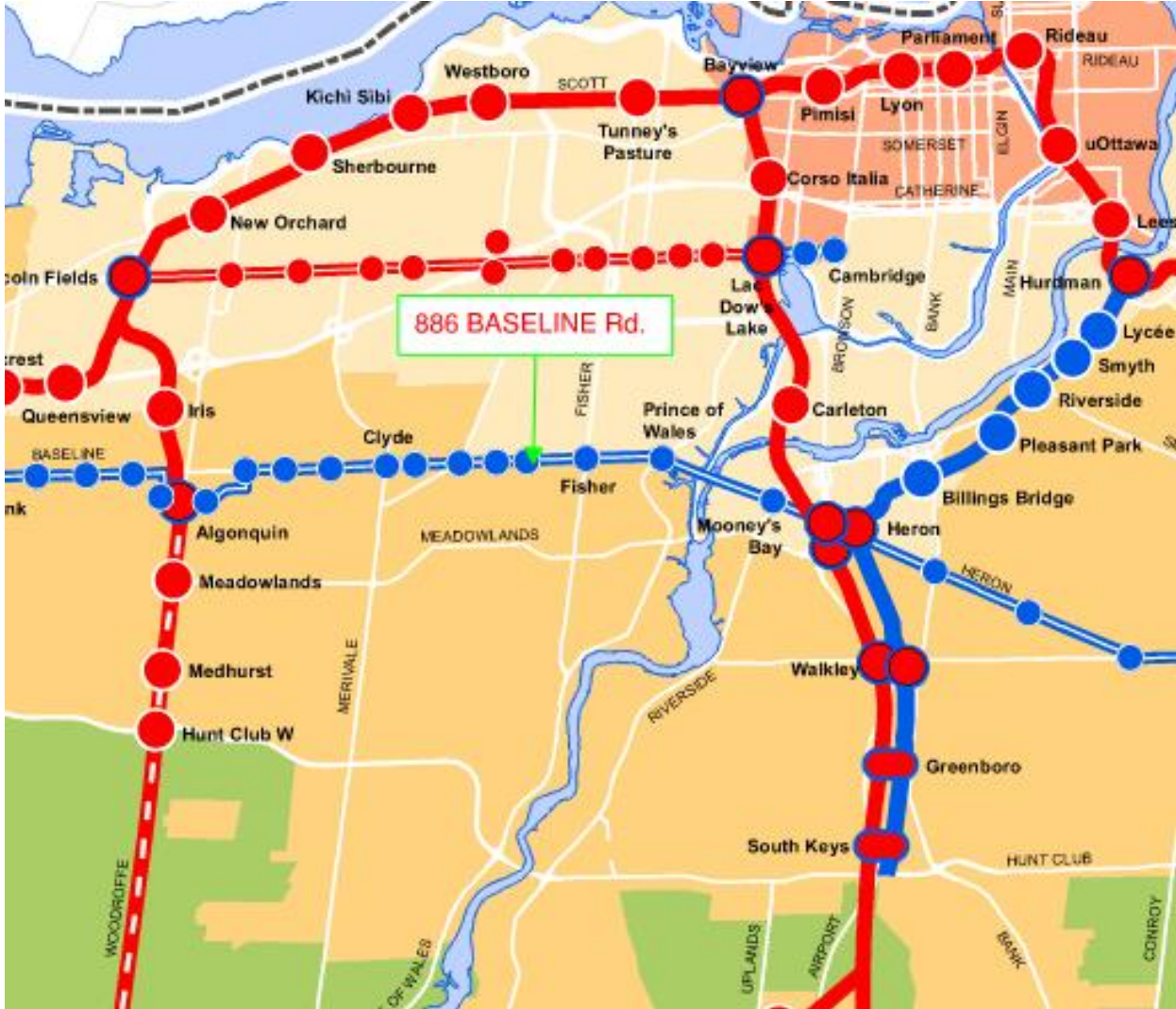


Figure 2: subject land in Official Plan / Schedule A - Transect Policy Areas

TRANSECT POLICY AREAS /
 SECTEURS STRATÉGIQUES DU TRANSECT

- Downtown Core / Centre-ville
- Inner Urban / Urbain intérieur
- Outer Urban / Urbain extérieur
- Greenbelt / Ceinture de verdure
- Suburban / Suburbain
- Rural / Rural

TRANSIT

- O-Train and Station / O-Train et station
- Future O-Train / O-Train et station (futur)
- Transitway – grade separated / Transitway en site propre
- Transitway – at grade / Transitway – Voie à niveau
- Transfer Station / Station de correspondance
- Terminus Station / Station terminus

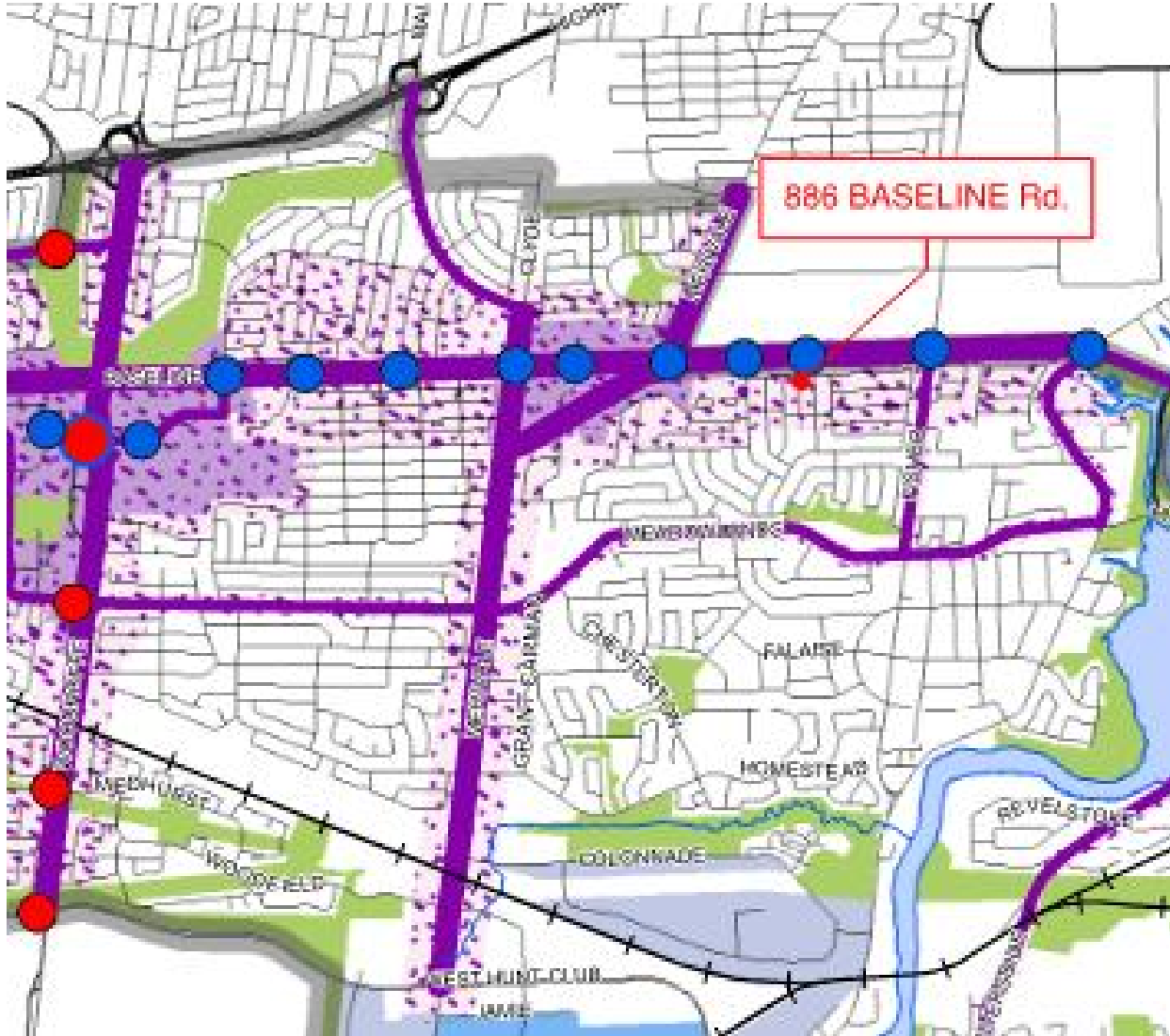


Figure 3: subject land in Official Plan / Schedule B3 - Inner Urban Transect

**TRANSECT POLICY AREA /
 SECTEUR STRATÉGIQUE DU TRANSECT**

Inner Urban / Urbain intérieur

OVERLAYS / AFFECTATION SUPPLÉMENTAIRE

Evolving Neighbourhood /
 Quartier en évolution

DESIGNATIONS / DÉSIGNATIONS

- Hub / Carrefour
- Corridor - Mainstreet / Couloir - Rue principale
- Corridor - Minor / Couloir - Rue principale mineure
- Mixed Industrial / Industrie Mixte
- Greenspace / Espace vert
- Neighbourhood / Quartier

**SPECIAL DISTRICTS /
 DISTRICTS PARTICULIERS**

- 1 Parliament and Confederation Boulevard /
 Parlement et boulevard de la Confédération
- 2 ByWard Market / Marché By
- 3 Rideau Canal / Canal Rideau
- 4 Ottawa River Islands / Îles de la rivière des Outaouais
- 5 Lansdowne
- Part of Special District within the City of Gatineau /
 Section du District Particulier en territoire de la Ville de Gatineau

TRANSIT

- O-Train Station / Station de l'O-Train
- Transfer Station / Station de correspondance
- Transitway Station / Station du Transitway

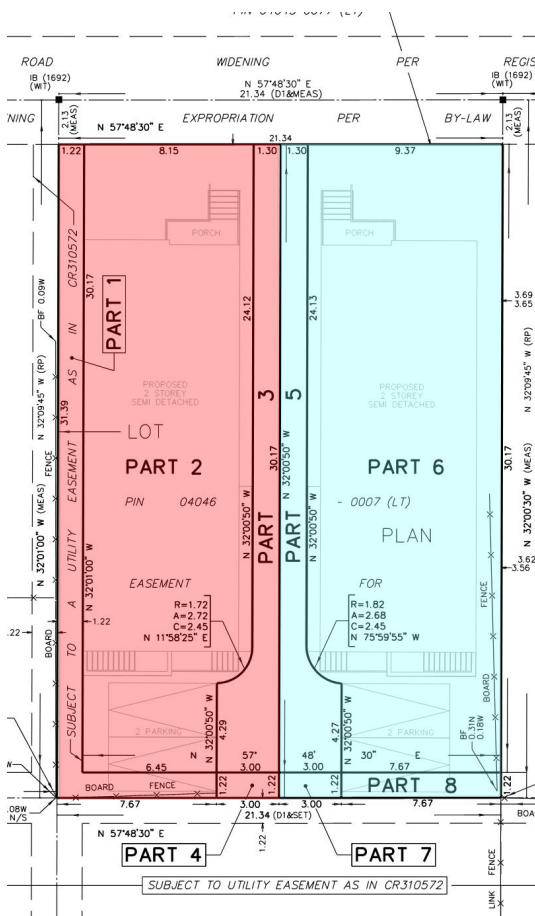
2.0 PROPOSAL

2.1 Consent to Sever

The proposed severance is to demolish the existing detached house, and sever the subject property to two (2) parcels to build one (1) long semi-detached dwelling on each severed lot and retained lot.

New Right of Way is to be established over the severed and retained lots reciprocally in favor of each other for a mutual access and servicing as follows:

1. New Right of Way over Part 3 and 4, in favor of Part 5, 6, 7 & 8 for access and servicing;
2. New Right of Way over Part 5 and 7, in favor of Part 1, 2, 3 & 4 for access and servicing.



SCHEDULE				
PART	LOT	PLAN	PIN	AREA (sq.m.)
1				46.7
2				238.0
3				47.1
4	PART OF	310501	ALL OF	3.6
5	LOT 20		04046-0007 (LT)	47.2
6				274.7
7				3.7
8				9.4

PARTS 1 TO 8 (INCLUSIVE) ARE SUBJECT TO AN EASEMENT AS IN CR310572
 PARTS 1, 4, 7 AND 8 ARE SUBJECT TO A UTILITY EASEMENT AS IN CR310572

Figure 4: highlighted severed & retained parcels on Draft Reference Plan



Existing site trees are to be preserved and protected where possible and practical. New medium – sized trees are planned to be planted as indicated in Tree Information Report (TIR) as enclosed, in replacement of existing trees that will be affected by the proposed development.

Municipal services and utilities are available in close proximity to the subject property. There are an existing 406mm dia. watermain, 200mm dia. sanitary sewer, and 900mm dia. stormwater sewer under Baseline Rd. fronting the property. The proposed two long semi-detached dwellings are planned to be connected to the existing city water and sewer lines.

2.2 Minor Variances

The three (3) Minor Variances are applied for approval for each of the two proposed long semi-detached dwelling development, to facilitate the Consent to Sever Applications and the proposed residential development.

Three (3) Minor Variances for one long-semi detached dwelling in Part 1, 2, 3 & 4 in Fig. 4:

1. To permit a reduced minimum front yard setback of 4.6 m, whereas the By-law requires minimum 6 m;
2. To permit a reduced minimum rear yard setback of 7.03 m, whereas the By-law requires minimum 8.79 m;
3. To permit a reduced minimum rear yard area of 75.01 m², whereas the By-law requires minimum 83.73 m².

Three (3) Minor Variances for one long-semi detached dwelling in Part 5, 6, 7 & 8 in Fig. 4:

1. To permit a reduced minimum front yard setback of 4.6 m, whereas the By-law requires minimum 6 m;
2. To permit a reduced minimum rear yard setback of 7.03 m, whereas the By-law requires minimum 8.79 m;
3. To permit a reduced minimum rear yard area of 75.01 m², whereas the By-law requires minimum 83.73 m².

3.0 PLANNING POLICY and REGULATORY FRAMEWORK

3.1 Provincial Policy Statement

The **2024 Provincial Policy Statement (PPS)** provides policy direction on land use planning for provincial interest. The proposed severance is consistent with PPS policies that aim



to promote efficient development patterns and ensure effective use of infrastructure and public service facilities.

In accordance with PPS definition and given that the subject land is inside the City of Ottawa's Urban Boundary as illustrated in Fig. 2, the subject land is considered a Settlement Area. The proposed severance, minor variances and long semi-detached dwellings promote transit-supportive development, and increase a supply and range of housing options through intensification, redevelopment and compact form.

The following policies from PPS are in support of this proposal:

- Definition:** **Settlement Areas:** *means urban areas and rural settlement areas within municipalities (such as cities, towns, villages and hamlets.)*
- Policy 2.3.1.1.** *Settlement areas shall be the focus of growth and development.*
- Policy 2.3.1.2.** *Land use patterns within settlement areas shall be based on density and a mix of land uses which:*
- a) efficiently use land and resources;*
 - b) optimize existing and planned infrastructure and public service facilities;*
 - c) support active transportation;*
 - d) are transit-supportive, as appropriate;*
- Policy 2.3.1.3.** *Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities.*
- Policy 2.3.1.4.** *Planning authorities shall establish and implement minimum targets for intensification and redevelopment within built-up areas, based on local conditions.*

The following policies from PPS Section 2.2 are specifically in support of residential intensification:

- Policy 2.2.1.** *Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:*
- a) establishing and implementing minimum targets for the provision of housing that is affordable to low and moderate income households, and coordinating land use planning and planning for housing with Service*



Managers to address the full range of housing options including affordable housing needs;

- b) permitting and facilitating:
 - 1. *all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and*
 - 2. *all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;**
- c) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and*
- d) requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.*

The following policies from PPS Section 3.6 support intensification to optimize the use of municipal services, provided system capacity exists:

- Policy 3.6.1. Planning for sewage and water services shall:
 - a) *accommodate forecasted growth in a timely manner that promotes the efficient use and optimized of existing municipal sewage services and municipal water services...*
 - e) *consider opportunities to allocate, and re-allocate if necessary, the unused system capacity of municipal water services and municipal sewage services to support efficient use of these services to meet current and projected needs for increased housing supply;**
- Policy 3.6.2. Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety...*
- Policy 3.6.7. Planning authorities may allow lot creation where there is confirmation sufficient reserve sewage system capacity and reserve water system capacity.*



3.2 City of Ottawa Official Plan

The **Official Plan (OP)**, approved in November, 2022, identifies land use priorities in the City's Strategic Plan in compliance with the City's goals, objectives and policies to guide growth and manage physical change to 2046.

The City of Ottawa is projected to grow by 402,000 people from 2018 to 2046, requiring 194,800 new private households. Section 2. Strategic Directions of the OP sets up the Big Policy Move #1 to direct residential intensification and diversifying housing options within existing built-up urban area, especially towards Hubs, Corridors and surrounding Neighbourhoods, to support an evolution towards 15-minute neighbourhoods.

Section 3 of the OP outlines Growth Management Frame. The following excerpts from Section 3. are in support of this proposal:

It identifies that '... most growth will occur within the urban area of the city, with a majority of residential growth to be within the built-up area through intensification, increasing over time during the planning horizon...'

Policy Intent:

- *To provide an appropriate range and mix of housing that considers the geographic distribution of new dwelling types and/or sizes to 2046;*
- *To prioritize the location of residential growth to areas with existing municipal infrastructure, including piped services, rapid transit, neighbourhood facilities and a diversity of commercial services;*

3.2 Support Intensification

The 2022 OP allocates 47 per cent of city-wide dwelling growth to the built-up portion of the urban area and 46 per cent of city-wide dwelling growth to the greenfield portion of the urban area. Growth within the built-up portion of the urban area represents 51 per cent of urban area growth from 2018 to 2046. Intensification will support 15-minute neighbourhoods by being directed to Hubs and Corridors, where the majority of services and amenities are located, as well as the portions of Neighbourhoods within a short walk to those Hubs and Corridors.

Section 4. City-Wide Policies of the OP provide supportive policies on the residential intensification and diversification as follows:



4.2 Housing

... As the city grows and changes with a larger population, more different types of housing will be needed. This includes housing units of different sizes and forms, some of which might not be common in Ottawa today...

... The Official Plan strives to facilitate a diversity of housing options for both private ownership and rental...

4.2.1. Enable greater flexibility and adequate supply and diversity of housing options throughout the city

- 1) *A diverse range of flexible and context-sensitive housing options in all areas of the city shall be provided through the Zoning By-law by:*
 - b) *Promoting diversity in unit sizes, densities and tenure options within neighbourhoods including diversity in bedroom count availability;*
 - c) *Permitting a range of housing options across all neighbourhoods to provide the widest possible range of price, occupancy arrangements and tenure;*
- 2) *The city shall support the production of a missing middle housing range of mid-density, low-rise multi-unit housing, in order to support the evolution of healthy walkable 15-minute neighbourhoods by:*
 - a) *Allowing housing forms which denser, small-scale, of generally three or more units per lot in appropriate locations, with lot configurations that depart from the traditional lot division and put the emphasis on the built form and the public realm, as-of-right within the Zoning By-law;*
 - b) *Allowing housing forms of eight or more units in appropriate locations as-of-right within the Zoning By-law; and*
 - c) *In appropriate locations allowing missing middle housing forms while prohibiting lower-density typologies near rapid-transit stations within the zoning By-law.*

Definition

Missing Middle Housing:

In Ottawa's context and for the purposes of this Plan, missing middle housing generally refers to low-rise, multiple unit residential development of between three and sixteen units, or more in the case of unusually large lots and for the lower-density types is typically ground oriented.



- 4.2.4.1) *The City recognizes that many individuals may not constitute nor form part of a household and any may rely on long-term housing other than the traditional dwelling unit. The city shall enable the provision of housing options for such individuals through the implementing Zoning By-law, as follows:*
- a) *Permitting, in any zone where residential uses are permitted, alternative, cooperative or shared accommodation housing forms serving individuals for whom an entire dwelling unit is unnecessary, unaffordable or inappropriate including:*
- i) *Rooming houses;*
 - ii) *Retirement homes;*
 - iii) *Residential care facilities;*
 - iv) *Purpose-built student housing;*
 - v) *Group homes; and*
 - vi) *Other long-term housing forms that serve the needs of individuals not forming part of a household*

The subject land is located within Outer Urban Transect in Schedule A (figure 2) and an Evolving Neighbourhood Overlay in Schedule B3 (figure 3). The following excerpts from Section 5 Transects of the OP further support the proposed severances, minor variances and long semi-detached dwellings in the Outer Urban Transect and Evolving Neighbourhood Overlay:

5.3 Outer Urban Transect

*Table 8: Suburban Built Form and Land-use Characteristics:
15-Minute (Beyond 2020)*

Smaller proportion of detached housing. Replaced with higher-density ground-oriented housing, with some mid- and high-rise buildings within transit hubs.

- 5.3.1.2) *The Outer Urban Transect is generally characterized by low-to-mid density development. Development shall be:*
- b) *Generally Mid- or High-rise along Mainstreets, except where the lot is too small to provide a suitable transition to abutting low-rise areas, in which case only low-rise development shall be permitted;*
- 5.3.1.4) *In the Outer Urban Transect, the Zoning By-law shall provide for a range of dwelling unit sizes in:*
- a) *Multi-unit dwellings in Hubs and on Corridors;*
- 5.3.2.1) *The transportation network for the Outer Urban Transect shall:*
- a) *Acknowledge the existing reality of automobile-dependent built form that characterizes the Outer Urban Transect while taking opportunities as they arise to*



improve the convenience and level of service for walking, cycling and public transit modes;

- 5.3.3.3) *Along Mainstreets, permitted building heights are as follows, subject to appropriate height transitions, setbacks and angular planes:*
- b) *On sites that front on segments of streets whose right of way is narrower than 30 metres as identified in Schedule C16 for the planned street context, generally, up to 9 storeys except where a secondary plan or area-specific policy specifies different heights.*
- 5.3.4.1) *Neighbourhoods located in the Outer Urban area shall accommodate residential growth to meet the Growth Management Strategy as outlined in Section 3...:*
- a) *Allows and supports a wide variety of housing types with a focus on lower density missing-middle housing which generally reflects the existing built form context of the neighbourhood, which may include new housing types that are currently not contemplated in this plan;*
 - b) *The application, as appropriate, of Zoning By-law development standards to be applied as one lot for zoning purposes to support missing middle housing;*
 - c) *Generally provides for up to 3 storeys height permission and where appropriate 4 storeys height permission to allow for ground oriented higher-density Low-rise residential development;*

5.6 Overlays

The Evolving overlay is applied to areas in close proximity to Hubs and Corridors to signal a gradual evolution over time that will see a change in character to support intensification, including guidance for a change in character from suburban to urban to allow new built forms and more diverse functions of land.

5.6.1.1 *Provide built form direction for the urban area where intensification is anticipated to occur*

- 1) *The Evolving Overlay will apply to areas that are in a location or at stage of evolution that create the opportunity to achieve an urban form in terms of use, density, built form and site design. These areas are proximate to the boundaries of Hubs and Corridors as shown in the B-series of schedules of this Plan. The Evolving Overlay will be applied generally to the properties that have a lot line along a Minor Corridor; lands 150 meters from the boundary of a Hub or Mainstreet designation; and to lands within a 400-metre radius of a rapid transit station. The Overlay is intended to provide opportunities that allow the City to reach the goals of its Growth Management Framework for intensification through the Zoning By-law, by providing:*



b) Allowance for new building forms and typologies, such as missing middle housing;

3.3 City of Ottawa Zoning By-law (2008-250) Consolidation

The subject land is zoned R2J (Residential Second Density Zone, Subzone R). The purpose of the R2-Residential Second Density Zone is to:

- (1) Restrict the building form to detached and two principal unit buildings in areas designated as General Urban Area in the Official Plan;
- (2) allow a number of other residential uses to provide additional housing choices within the second density residential areas;
- (3) permit ancillary uses to the principal residential use to allow residents to work at home;
- (4) regulate development in a manner that is compatible with existing land use patterns so that the detached and two principle dwelling, residential character of a neighbourhood is maintained or enhanced; and
- (5) permit different development standards, identified in the Z subzone, primarily for areas designated as Developing Communities, which promote efficient land use and compact form while showcasing newer design approaches.

Under R2J, long semi-detached dwelling with additional dwelling units is permitted with compliance with applicable Zoning By-law provisions. Table 1 provides a Zoning By-law analysis for the proposed two (2) long semi-detached dwelling development in compliance with applicable Bylaw Provisions.

Table 1 – Zoning Compliance for Long-semi Detached Dwelling under R2J

Zoning Provision	R2J Subzone Requirement for Long Semi	Severed Lot Provided	Retained Lot Provided	Compliance
Minimum Lot Width	10 m	10.67 m	10.67 m	Yes
Minimum Lot Area	300 m ²	334.93 m ²	334.93 m ²	Yes
Maximum Building Height	8 m	7.82 m	7.82 m	Yes
Minimum Front Yard Setback	6 m	4.6 m	4.6 m	Minor Variance
Minimum Interior Yard Setback	1.2 m	1.22 m & 1.35 m	1.22 m & 1.35 m	Yes
Minimum Rear Yard Setback	8.79 m	7.03 m	7.03 m	Minor Variance
Minimum Soft Landscaped Area at Front Yard: 35%	17.18 m ²	34.10 m ²	34.10 m ²	Yes



Minimum Soft Landscaped Area @ Rear Yard: 15%	11.25 m ²	16.75 m ²	16.75 %	Yes
Minimum Rear Yard Area	25% (83.73 m ²)	22.4% (75.01 m ²)	22.4% (75.01 m ²)	Minor Variance
Minimum Parking Space	2	2	2	Yes

4.0 SUMMARY OF OPINION

4.1 Consent / Severance Applications

It is the professional opinion of BPEI that the proposed two (2) Consent / Severance Applications (Primary and Secondary) at 886 Baseline Rd. represent good land use planning and is appropriate for the site for the following reasons:

- The proposed Consent / Severance Applications support and are consistent with the 2024 Provincial Policy Statement;
- The proposed Consent / Severance applications conform with the land use designations and the policies in the City of Ottawa Official Plan (2022); and
- The proposed Consent / Severance applications comply with the general intent and purpose of the City of Ottawa Zoning By-law (2008-250).

The proposed severance meets the criteria established under Subsection 51(24) of the Ontario **Planning Acts** as follows:

a) *The effect of development of the proposed subdivision on matters of provincial interest;*

The proposed Consent / Severance Applications are consistent with the policies of the Provincial Policy Statement 2024 by redevelopment of existing Settlement Area with new residential development in close proximity to existing Mainstreet, public transit, municipal infrastructure and facilities. It will provide new and more residential types and forms that would contribute to the housing options in the neighbourhood, and allow for intensification of lands within urban area.

b) *Whether the proposed subdivision is premature or in the public interest;*

The proposed Consent / Severance Applications are in the public interest in that it would create an additional lot for more residential development in an evolving neighborhood to accommodate the population growth. It is not premature as in the neighbourhood, there are existing semi-detached dwelling buildings at presence. The subject property is fronting Baseline Rd. which is identified as Mainstreet in the 2022 Official Plan. According to the current OP, in order to accommodate the projected



population growth and promote 15-minute neighbourhood, along Mainstreet within Outer Urban Transect, Mid- or High-rise residential development up to 9 storeys would be encouraged. The proposed development will be transition to retain existing character of the neighborhood but with a higher density.

c) *Whether the plan conforms to the official plan and adjacent plans of subdivision, if any;*

The proposed Consent / Severance Applications conform to Strategic Directions of the City of Ottawa Official Plan and its policies for Outer Urban Transect and evolving neighbourhood by providing more residential units in an existing built-up area within capacities of existing municipal infrastructure and public transits. The proposed long semi-detached dwelling development in a compact form will increase a diversity of housing options and a supply of missing middle housing in the neighbourhood.

d) *The suitability of the land for the purposes for which it is to be subdivided;*

The subject property to be severed is fronting Baseline Rd. between Woodroffe Ave. and Prince of Wales, and close to Carleton University, Algonquin College and Civic Hospital. Redevelopment of this neighbourhood happened and continues to take place especially along Baseline Rd. Many existing single houses have been demolished and replaced with new semi-detached dwelling with additional units. The proposed severance and long semi-detached dwelling development will respect existing planning format, thus, are suitable for the existing neighborhood.

d.1) *If any affordable housing units are being proposed, the suitability of the proposed units for affordable housing;*

The proposed two (2) long semi-detached dwellings are planned for rental units in a that will provide a new house option in the existing evolving neighbourhood for individuals who may not constitute nor form part of a household and any may rely on long-term housing other than the traditional dwelling unit. It will help to increase and sustain an affordable rental supply.

e) *The number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them;*

No highways are proposed in the Consent to Sever Applications.

f) *The dimensions and shapes of the proposed lots;*

The severed and retained lots have a regular rectangle shape as other lots in the neighborhood. The lot area and lot width of the new parcels are more than the minimum requirements for long-semi detached dwelling under R2J subzone.

g) *The restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the buildings and structures proposed to be erected on it and the*



restrictions, if any, on adjoining land;

New Right of Ways are to be registered over both severed and retained parcels reciprocally in favor of each other to create a mutual access and servicing.

h) Conservation of natural resources and flood control;

The subject lot is not within a flood plain.

i) The adequacy of utilities and municipal services;

All new parcels will be fully serviced by existing utilities and municipal services.

j) The adequacy of school sites;

Several schools are in close proximity to the subject site, including both private school and public schools, such as Ottawa Islamic School, St. Pius X High School, St. Augustine School, etc.

k) The area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;

No lands in the proposed severance are proposed to be dedicated for public purposes.

l) The extent to which the plan's design optimizes the available supply, means of supplying, efficient use and conservation of energy; and

Existing power infrastructure is to be utilized and extended to all new parcels as energy supply.

m) the interrelationship between the design of the proposed plan of subdivision and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41 (2) of this Act or subsection 114 (2) of the City of Toronto Act, 2006. 1994, c. 23, s. 30; 2001, c. 32, s. 31 (2); 2006, c. 23, s. 22 (3, 4); 2016, c. 25, Sched. 4, s. 8 (2).

Site Plan Control approval is not required.

4.2 Minor Variance Applications

It is the professional opinion of BPEI that the proposed two (2) long semi-detached dwelling development at 886 Baseline Rd. represents good land use planning and is appropriate for the site for the following reasons:

- The proposed development is permitted in the applicable land use designation and conforms to the strategic directions and policies of the Official Plan;
- The proposed development is compatible with adjacent existing development which includes low-rise residential uses; and

- The proposed development complies with the general intent and purpose of the City of Ottawa Zoning By-law (2008-250). Three (3) minor variances are applied to both severed lot and retained lots in order to enable the proposed Consent / Severance Applications and the proposed development to comply with the Zoning By-law:

Three (3) Minor Variances for one long-semi detached dwelling in Part 1, 2, 3 & 4 in Fig. 4:

1. To permit a reduced minimum front yard setback of 4.6 m, whereas the By-law requires minimum 6 m;
2. To permit a reduced minimum rear yard setback of 7.03 m, whereas the By-law requires minimum 8.79 m;
3. To permit a reduced minimum rear yard area of 75.01 m², whereas the By-law requires minimum 83.73 m².

Three (3) Minor Variances for one long-semi detached dwelling in Part 5, 6, 7 & 8 in Fig. 4:

1. To permit a reduced minimum front yard setback of 4.6 m, whereas the By-law requires minimum 6 m;
2. To permit a reduced minimum rear yard setback of 7.03 m, whereas the By-law requires minimum 8.79 m;
3. To permit a reduced minimum rear yard area of 75.01 m², whereas the By-law requires minimum 83.73 m².

The proposed development meets the four (4) tests under Subsection 45(1) of the Ontario Planning Acts as follows:

1. The variance is minor

The use of long semi-detached dwelling is permitted under the current Zoning Bylaw. With proposed Minor Variances, both severed and retained lots still satisfy minimum lot area, minimum lot width, minimum interior yard setback, minimum soft landscape areas at front yard and rear yard. Minimum site parking spaces are provided.

Therefore, the proposed variances are minor.

2. The variance is desirable for the appropriated development or use of the property

The proposed Minor Variances enable a residential development of two long semi-detached dwellings to maintain reasonable yard setbacks, landscape areas, building footage and interior layout in order to provide more dwelling units.

The proposed variances also allow for the proposed long semi-detached dwelling as a new dwelling type in a compact form to accommodate the needs of different rental groups and promote diversity in unit sizes, densities and tenure options within an existing neighborhood.

Therefore, the proposed variances are desirable for the appropriated development or use of the property.

3. *The general intent and purpose of the zoning By-law is maintained*

The subject land is zoned under R2J, that “allow a number of other residential uses to provide additional housing choices within the second density residential areas;” and “regulate development in a manner that is compatible with existing land use patterns so that the detached and two principle dwelling, residential character of a neighbourhood is maintained or enhanced;”. The Subzone R2J permits long semi-detached dwelling and Zoning By-law Section 133 further permits additional dwelling units per lot fully serviced by municipal water and sewers.

With the proposed Minor Variances, the proposed long semi-detached dwellings maintain the compatibility and character of the existing residential neighbourhood at similar formats of building form, scale and materials, provide a new dwelling option and comply with all other zoning requirements including minimum lot area, lot width and interior side yard setback, maximum building height, minimum soft landscaped areas, minimum parking, and etc.

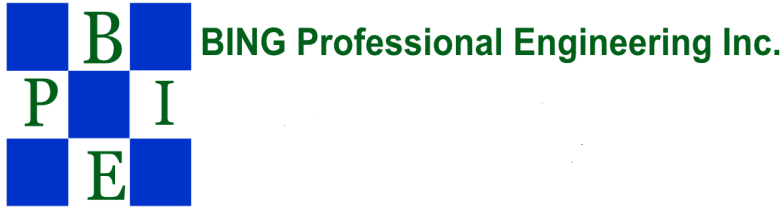
Therefore, the proposed variances maintain the general intent and purpose of the Zoning By-law.

4. *The general intent and purpose of the official plan is maintained*

The general intent and purpose of the Official Plan on residential development in Outer Urban Transect within an evolving neighbourhood overlay is to promote intensification and diversity of housing supply in existing neighbourhoods to accommodate the needs of different groups including minorities. New dwelling types and unit sizes in variety of ranges are encouraged.

The proposed Minor Variances enable the proposed two long semi-detached dwellings, as infill redevelopment at Mainstreet and in close proximity to public transits, to utilize existing municipal infrastructure and civic services, provide a compact housing form, increase housing supply and blend with the existing neighbourhood of low-rise.

Therefore, the proposed Minor Variances maintain the general intent and purpose of the Official Plan.



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In conclusion, it is the professional opinion of BPEI that the Consent / Severance Applications and Minor Variance Applications to support the proposed long semi-detached dwelling development at 886 Baseline Road represent good planning and are in the public interest.

Yours truly,

A handwritten signature in black ink, appearing to be 'JW' or similar, written over a large, stylized loop.

2024-12-20

Changhong (Chang) Sun
Architect, OAA, LEED AP® BD+C

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