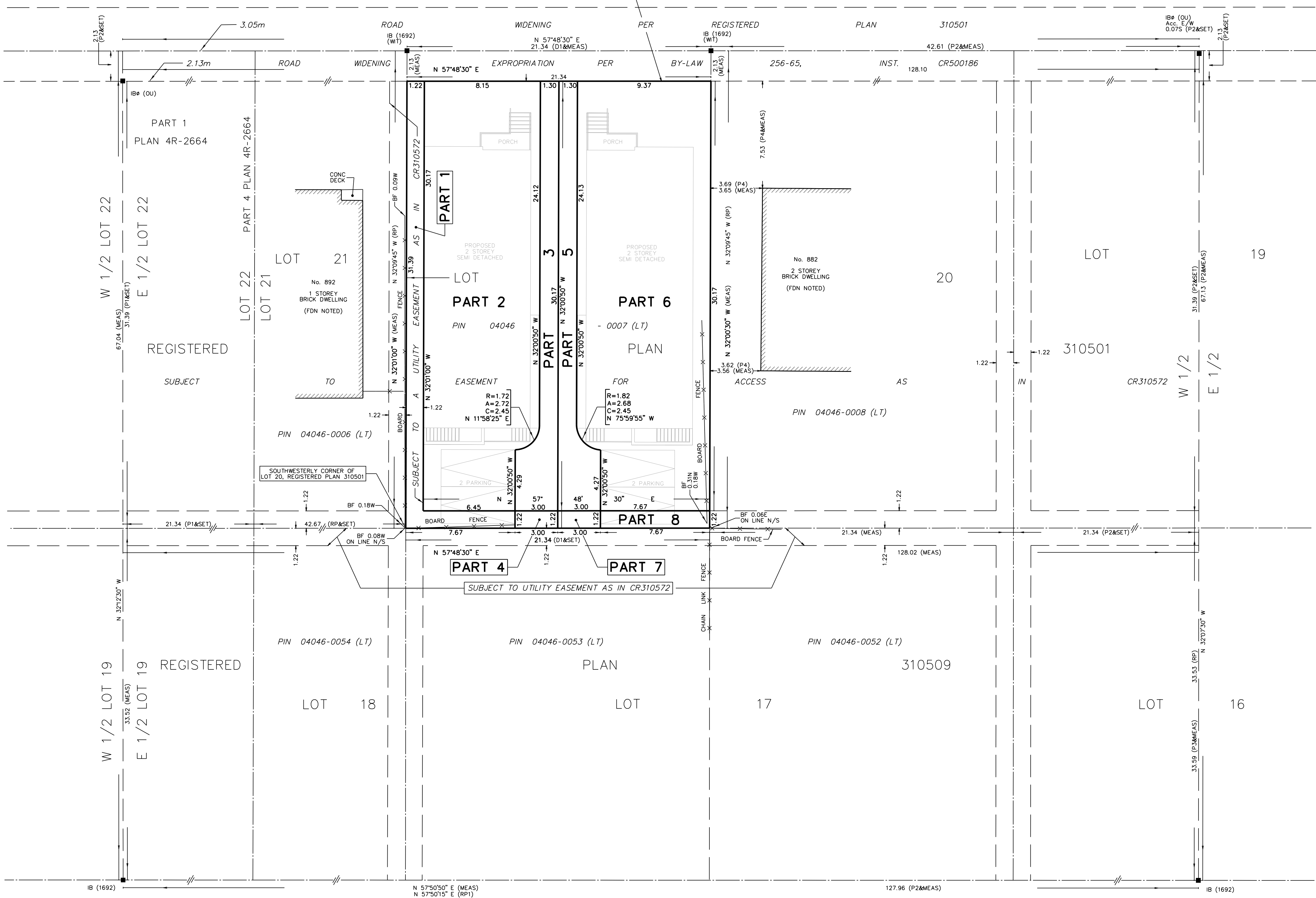


SCHEDULE			
PART	LOT	PLAN	AREA (sq.m.)
1			46.7
2			238.0
3			47.1
4	PART OF LOT 20	310501	3.6
5			47.2
6			274.7
7			3.7
8			9.4

PARTS 1 TO 8 (INCLUSIVE) ARE SUBJECT TO AN EASEMENT AS IN CR310572
 PARTS 1, 4, 7 AND 8 ARE SUBJECT TO A UTILITY EASEMENT AS IN CR310572

BASELINE ROAD (Also known as REGIONAL ROAD No. 16)



PLAN OF SURVEY OF
PART OF LOT 20
REGISTERED PLAN 310501
CITY OF OTTAWA

SCALE 1 : 150

THE INTENDED PLOT SIZE OF THIS PLAN IS 800mm IN WIDTH BY 609mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:150
 J.D. BARNES LIMITED

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES
 BEARINGS ARE MTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD83 (CSRS) (2010.0).
 FOR BEARING COMPARISONS, A COUNTER-CLOCKWISE ROTATION OF 0°32'45" WAS APPLIED TO BEARINGS ON REGISTERED PLANS 310501 AND 310509.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999xxx.

INTEGRATION DATA		
SPECIFIED CONTROL POINTS (SCPs): MTM ZONE 9, NAD83 (CSRS)(2010.0).		
COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (2) OF O. REG 216/10.		
POINT ID	EASTING	NORTHING
SCP XXXXXXXXXXXX	XXX XXX.XX	4 XXX XXX.XX
SCP XXXXXXXXXXXX	XXX XXX.XX	4 XXX XXX.XX

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.
 THE RESULTANT TIE BETWEEN SCP(A) AND SCP(B) IS XXX.XX N XX'XX'XX" E

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
IB	DENOTES	IRON BAR
IB#	DENOTES	ROUND IRON BAR
Acc.	DENOTES	ACCEPTED
MEAS	DENOTES	MEASURED
(WIT)	DENOTES	WITNESS
INST	DENOTES	INSTRUMENT
OU	DENOTES	ORIGIN UNKNOWN
1692	DENOTES	FARLEY, SMITH & DENIS SURVEYING LTD.
RP	DENOTES	REGISTERED PLAN 310501
RP1	DENOTES	REGISTERED PLAN 310509
P1	DENOTES	PLAN 4R-2664
P2	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY J.D. BARNES LTD., DATED JUNE 21, 2022
P3	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY MMM GEOMATICS ONTARIO LIMITED, DATED OCTOBER 26, 2010
P4	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY ARNETT, KENNEDY, RIDDELL & JASON SURVEYING LTD., DATED MARCH 4, 1988
D1	DENOTES	DEED CR474593 EXCEPT CR508051
FDN	DENOTES	FOUNDATION
CLF	DENOTES	CHAIN LINK FENCE
BF	DENOTES	BOARD FENCE

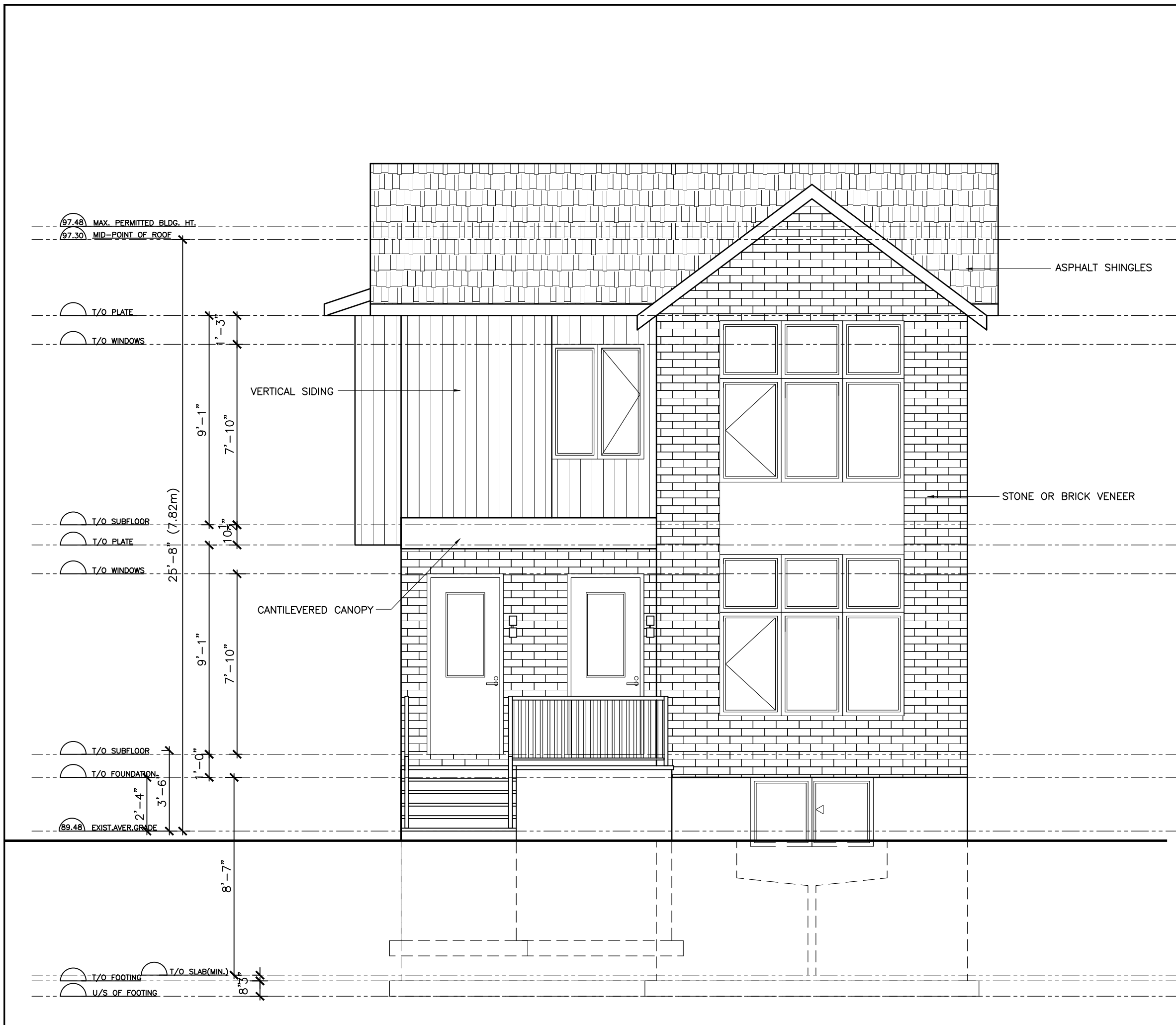
N=NORTH / S=SOUTH / E=EAST / W=WEST

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON 2024.
 DATE: DECEMBER 12, 2024
 DRAFT
 SHAWN LEROUX
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER XXXXXXX

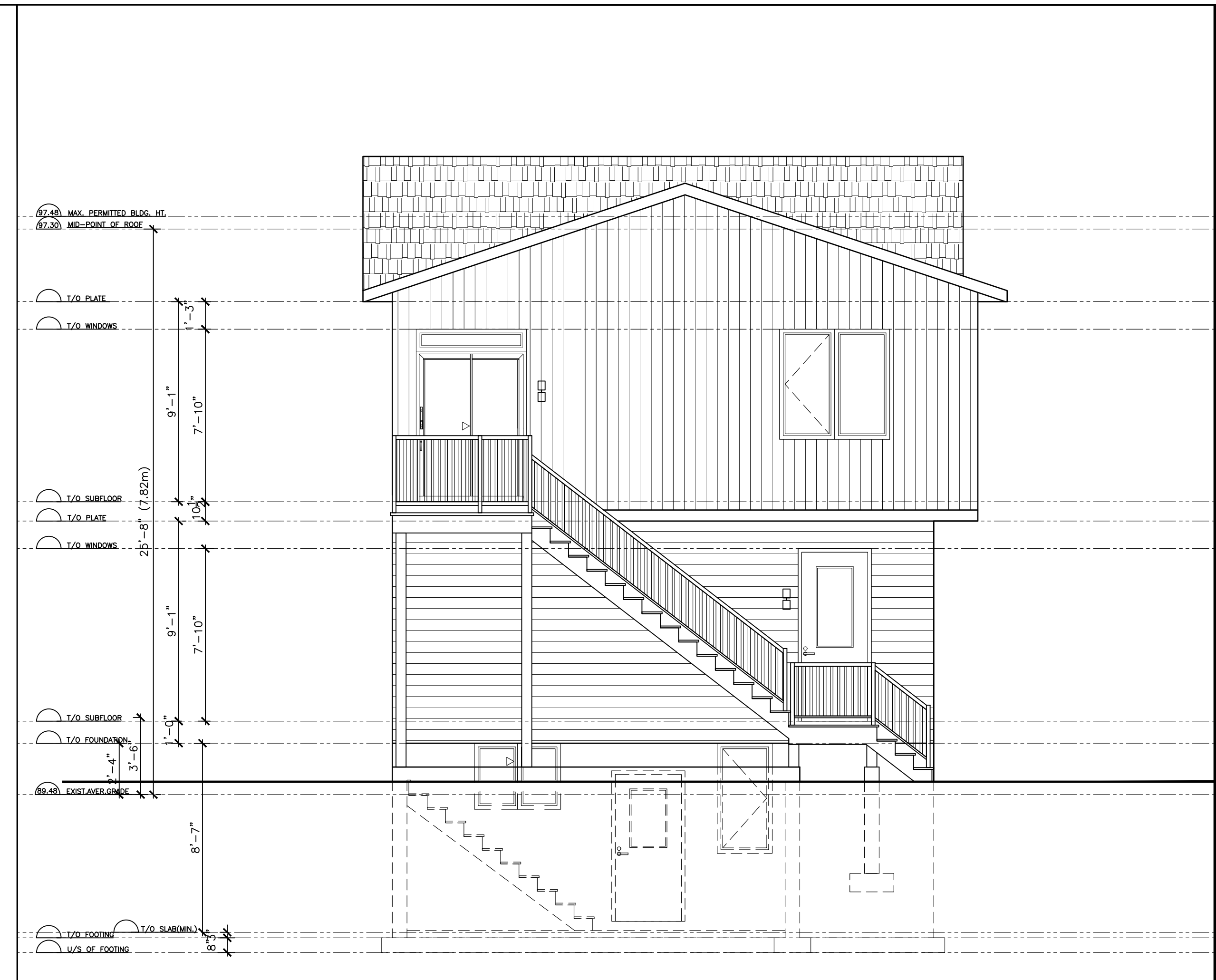
J.D. BARNES LIMITED
 SURVEYING MAPPING GIS
 LAND INFORMATION SPECIALISTS
 62 STACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9
 T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: KZ/RP	CHECKED BY: SL	REFERENCE NO.: 22-10-058-01
PLOTTED: 12/12/24	DATED: 12/12/2024	

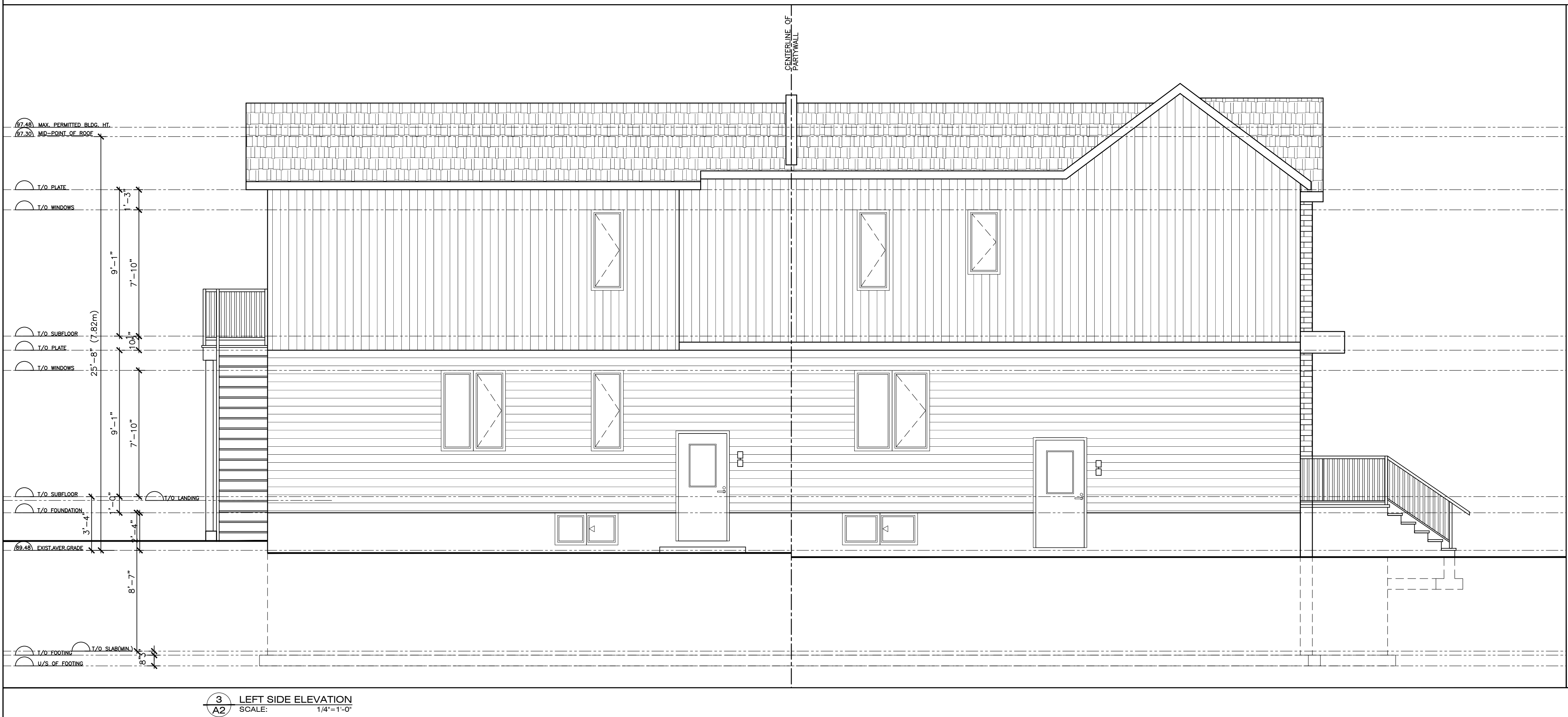


1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

FLOOR AREA CALCULATION	
UNIT 1	
GROUND FLOOR PLAN	704 SF
SECOND FLOOR PLAN	768 SF
BASEMENT FLOOR PLAN	768 SF
TOTAL G.F.A.	2240 SF (UNIT 1)
UNIT 2	
GROUND FLOOR PLAN	793 SF
SECOND FLOOR PLAN	793 SF
BASEMENT FLOOR PLAN	776 SF
TOTAL G.F.A.	2362 SF (UNIT 2)
BUILDING AREA/FOOTPRINT = 1684 SF (156.44m²)	



2 REAR ELEVATION
SCALE: 1/4"=1'-0"



3 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO O.B.C. 2012 (O.REG. 332/12) WITH ALL REVISIONS AND AMENDMENTS.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY CONFLICT, OMISSION, AND MODIFICATIONS TO DESIGNER.

CONTRACTOR/OWNER TO OBTAIN A BUILDING PERMIT PRIOR TO STARTING ANY CONSTRUCTION WORK, COPY OF BUILDING PERMIT TO BE POSTED AND KEPT ON SITE FOR CITY INSPECTION.

CONTRACTOR TO CHECK SUPPLIER FOR EXACT ROUGH OPENING REQ'TS OF ALL DOORS AND WINDOWS.

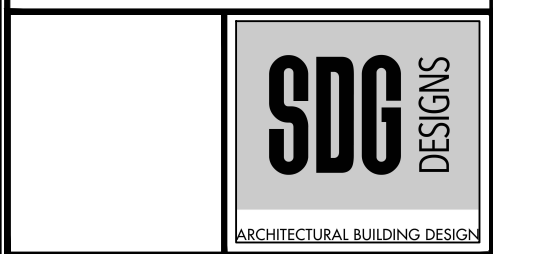
CONTRACTOR TO FOLLOW SUPPLIER'S LAYOUTS & SPECIFICATIONS OF ALL PRE-ENGINEERED JOISTS & TRUSSES.

CONTRACTOR TO CONDUCT SOIL BEARING CAPACITY TEST PRIOR TO POURING OF FOOTINGS. NOTE: ASSUMED 100 KPA SOIL BEARING CAPACITY.

MECHANICAL AND ELECTRICAL WORKS SHALL CONFORM TO PROVINCIAL AND MUNICIPAL CODES & BY-LAWS, AND ENGINEERING STANDARD PRACTICES.

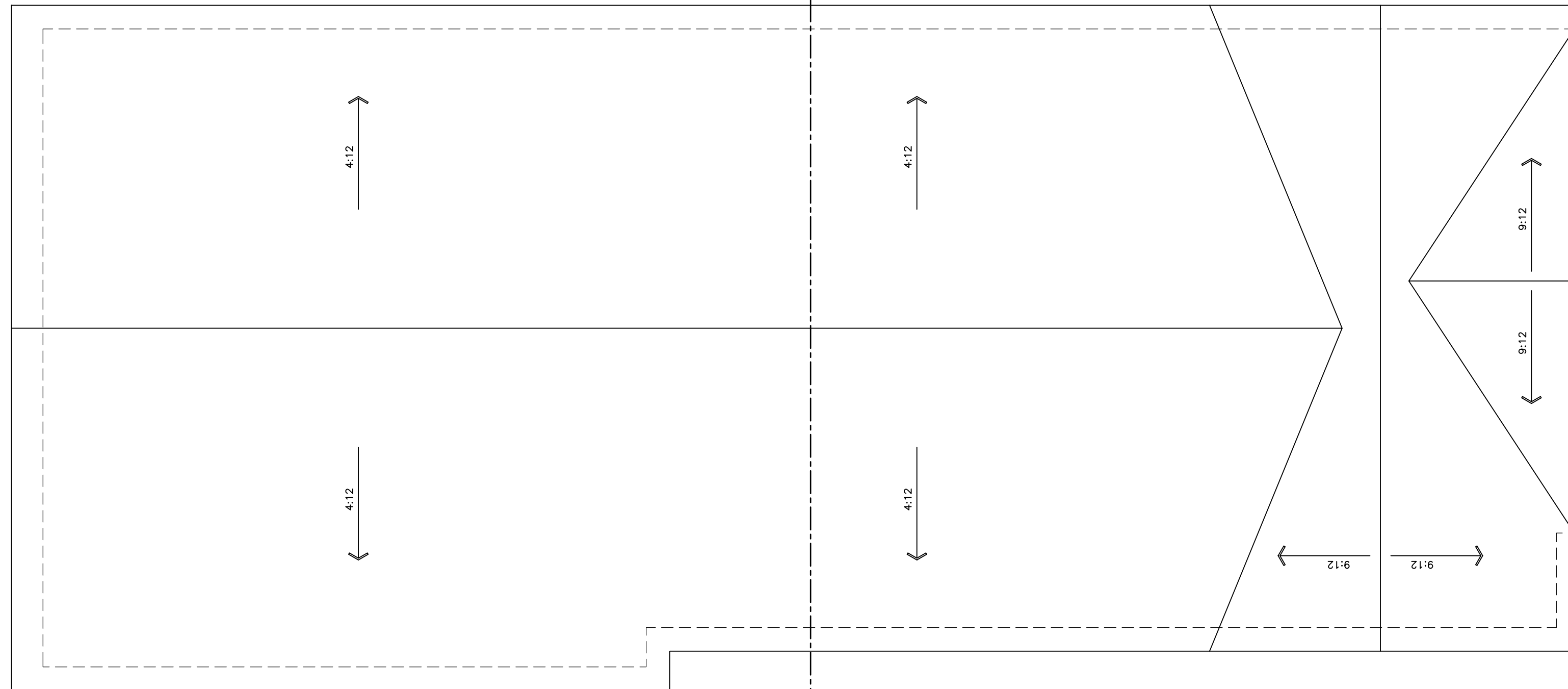
DO NOT SCALE DRAWINGS. E.&O.E.

00	JAN3/24	FOR M/V APPLICATION	
00	DEC22/23	PRELIMINARY FOR REVIEW	
No.	Date	Revision	By:



PROJECT:
PROPOSED TWO STORY
LONG SEMI-DET. WITH A.D.U.
886 BASELINE RD. OTTAWA

DRAWING TITLE: ELEVATIONS		
DESIGNED: S.D.	DRAWN: S.D.	APPROVED:
SCALE: AS SHOWN		SHEET NO.:
DATE: OCTOBER 2023		A2



1 ROOF PLAN
SCALE: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO O.B.C. 2012 (O.REG. 332/12) WITH ALL REVISIONS AND AMENDMENTS.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY CONFLICT, OMISSION, AND MODIFICATIONS TO DESIGNER.

CONTRACTOR/OWNER TO OBTAIN A BUILDING PERMIT PRIOR TO STARTING ANY CONSTRUCTION WORK, COPY OF BUILDING PERMIT TO BE POSTED AND KEPT ON SITE FOR CITY INSPECTION.

CONTRACTOR TO CHECK SUPPLIER FOR EXACT ROUGH OPENING REQ'TS OF ALL DOORS AND WINDOWS.

CONTRACTOR TO FOLLOW SUPPLIER'S LAYOUTS & SPECIFICATIONS OF ALL PRE-ENGINEERED JOISTS & TRUSSES.

CONTRACTOR TO CONDUCT SOIL BEARING CAPACITY TEST PRIOR TO POURING OF FOOTINGS. NOTE: ASSUMED 100 KPA SOIL BEARING CAPACITY.

MECHANICAL AND ELECTRICAL WORKS SHALL CONFORM TO PROVINCIAL AND MUNICIPAL CODES & BY-LAWS, AND ENGINEERING STANDARD PRACTICES.

DO NOT SCALE DRAWINGS. E.&O.E.

No.	Date	Revision	By:
00	JAN3/24	FOR M/V APPLICATION	
00	DEC22/23	PRELIMINARY FOR REVIEW	



BING PROFESSIONAL ENGINEERING INC.
Engineering Consulting, Construction Management

SDG
DESIGNS

ARCHITECTURAL BUILDING DESIGN

PROJECT:
PROPOSED TWO STORY
LONG SEMI-DET. WITH A.D.U.
886 BASELINE RD. OTTAWA

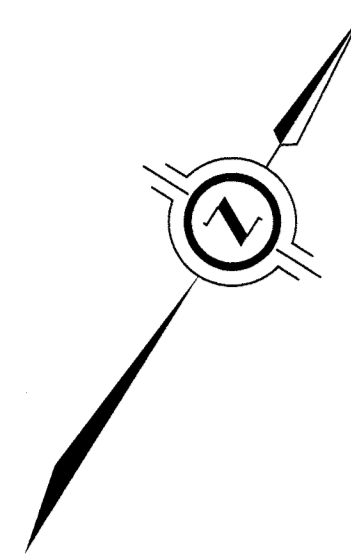
DRAWING TITLE:
ROOF PLAN
ELEVATION

DESIGNED: S.D.	DRAWN: S.D.	APPROVED:

SCALE:
AS SHOWN

DATE:
OCTOBER 2023

SHEET NO:
A3



TREE SCHEDULE				
TREE No.	TRUNK DIAMETER (m)	CROWN RADIUS (m)	NOTE:	DISTANCE FROM C/L TRUNK TO PROPERTY LINE
T1	1.5	9	DECIDUOUS	2.0 S
T2	0.55	5	DECIDUOUS	0.1 W
T3	0.4	4	CONIFEROUS	2.2 W
T4	0.5	4	CONIFEROUS	3.0 N
T5	0.4	4	CONIFEROUS	1.0 S

SURVEYOR'S REAL PROPERTY REPORT WITH TOPOGRAPHIC DETAILS
PART 1 - PLAN SHOWING
PART OF LOT 20
REGISTERED PLAN 310501
CITY OF OTTAWA
J.D. BARNES LIMITED
 © COPYRIGHT 2022
 SCALE 1 : 150
 2.5 0 2.5 5 10 metres

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES
 BEARINGS ARE MTM GRID, AND REFERRED TO THENORTHERLY LIMIT OF SUNNYCREST DRIVE PER P2 HAVING A BEARING OF N 57°41'40" E.

FOR BEARING COMPARISONS, A COUNTER-CLOCKWISE ROTATION OF 0°32'45" WAS APPLIED TO BEARINGS ON REGISTERED PLANS 310501 AND 310509. DISTANCES ARE GROUND.
 COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

PART 2 - SURVEY REPORT

- DESCRIPTION
 PART OF LOT 20 ON REGISTERED PLAN 310501, BEING ALL OF PIN 04046-0007 (LT), IN THE CITY OF OTTAWA

- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
 SUBJECT TO EASEMENT AS IN CR310572.

- BOUNDARY FEATURES
 NOTE LOCATION OF THE OVERHEAD CABLES AND THE BOARD FENCE ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF THE BOARD FENCE, THE EDGE OF ASPHALT DRIVEWAYS, THE TIMBER RETAINING WALL AND THE CONCRETE RETAINING WALL ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF THE BOARD FENCE, THE TIMBER RETAINING WALL AND THE CONCRETE RETAINING WALL ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF THE OVERHEAD CABLE AND ASPHALT DRIVEWAY ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY

ELEVATION NOTE:

1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.
 2. ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF OTTAWA CONTROL POINT 2016-0328 HAVING A PUBLISHED ELEVATION OF 82.47 METRES (CGVD-1928 DATUM).

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
IB	DENOTES	IRON BAR
IB#	DENOTES	ROUND IRON BAR
Acc.	DENOTES	ACCEPTED
MEAS	DENOTES	MEASURED
(WT)	DENOTES	WITNESS
INST	DENOTES	INSTRUMENT
1692	DENOTES	FARLEY, SMITH & DENIS SURVEYING LTD.
RP	DENOTES	REGISTERED PLAN 310501
RP1	DENOTES	REGISTERED PLAN 310509
P1	DENOTES	PLAN 4R-2664
P2	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY J.D. BARNES LTD., DATED JUNE 21, 2022
P3	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY MMM GEOMATICS ONTARIO LIMITED, DATED OCTOBER 26, 2010
P4	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY ARNETT, KENNEDY, RIDDELL & JASON SURVEYING LTD., DATED MARCH 4, 1988
D1	DENOTES	DEED CR474593 EXCEPT CR508051

N=NORTH / S=SOUTH / E=EAST / W=WEST

TOPOGRAPHIC LEGEND

RET	DENOTES	RETAINING
INT BR	DENOTES	INTERLOCK BRICK
FDN	DENOTES	FOUNDATION
CONC	DENOTES	CONCRETE
C/L	DENOTES	CENTERLINE
D	DENOTES	DIAMETER
R	DENOTES	RADIUS
CLF	DENOTES	CHAIN LINK FENCE
BF	DENOTES	BOARD FENCE
CRW	DENOTES	CONCRETE RETAINING WALL
TRW	DENOTES	TIMBER RETAINING WALL
MH_STM	DENOTES	STORM MANHOLE
MH_SAN	DENOTES	SANITARY MANHOLE
E	DENOTES	OVERHEAD HYDRO CABLE
OC	DENOTES	OVERHEAD CABLE
STM	DENOTES	UNDERGROUND STORM SEWER
SAN	DENOTES	UNDERGROUND SANITARY SEWER
WK	DENOTES	WATER KEY
(Tree symbol)	DENOTES	DECIDUOUS TREE
(Tree symbol)	DENOTES	CONIFEROUS TREE

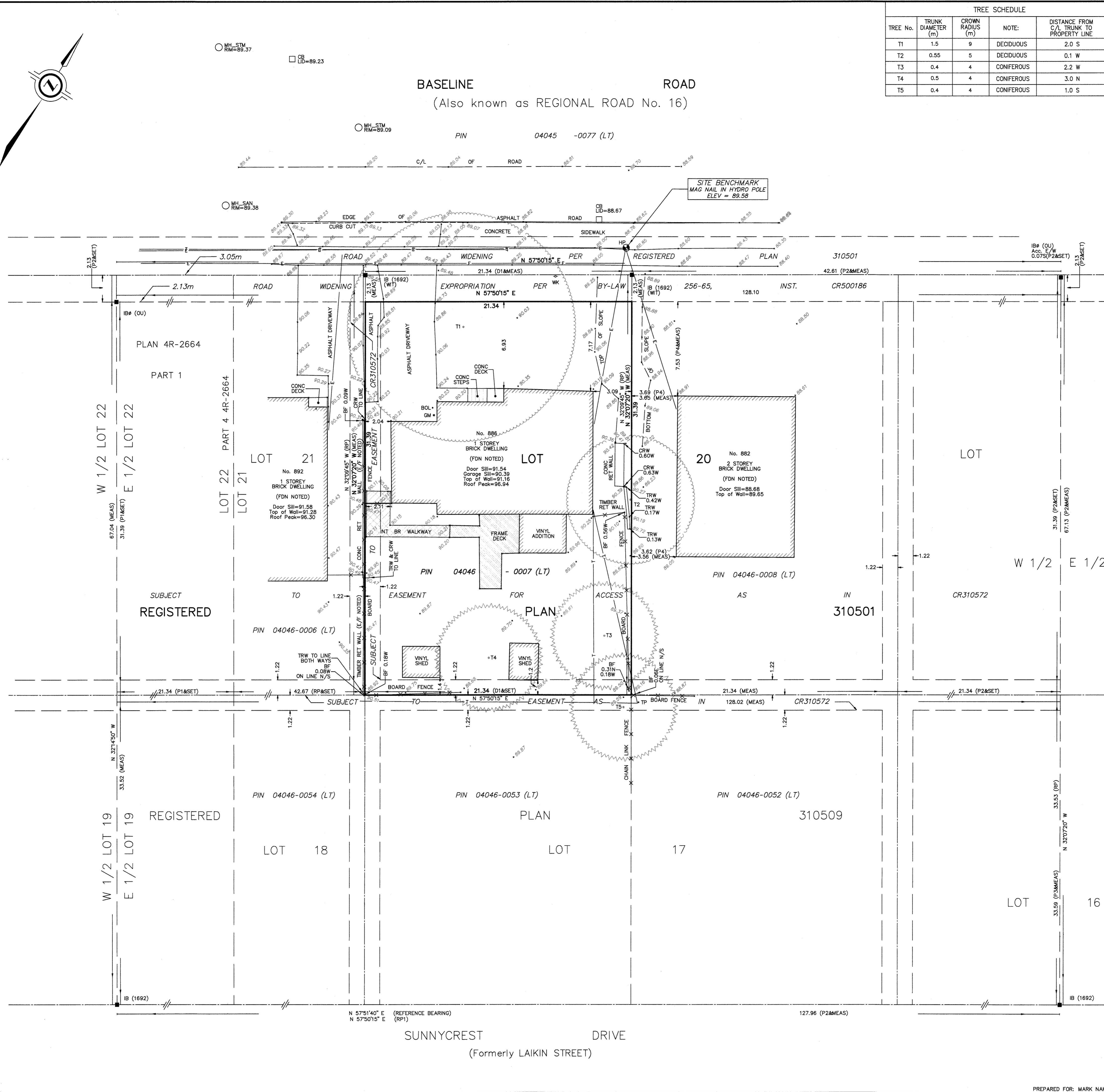
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON MAY 10, 2022.

AUGUST 25, 2022
 DATE
 [Signature]
 GEORGE ZERVOS
 ONTARIO LAND SURVEYOR

J.D. BARNES LIMITED
 SURVEYING MAPPING GIS
 LAND INFORMATION SPECIALISTS
 62 STEACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9
 T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

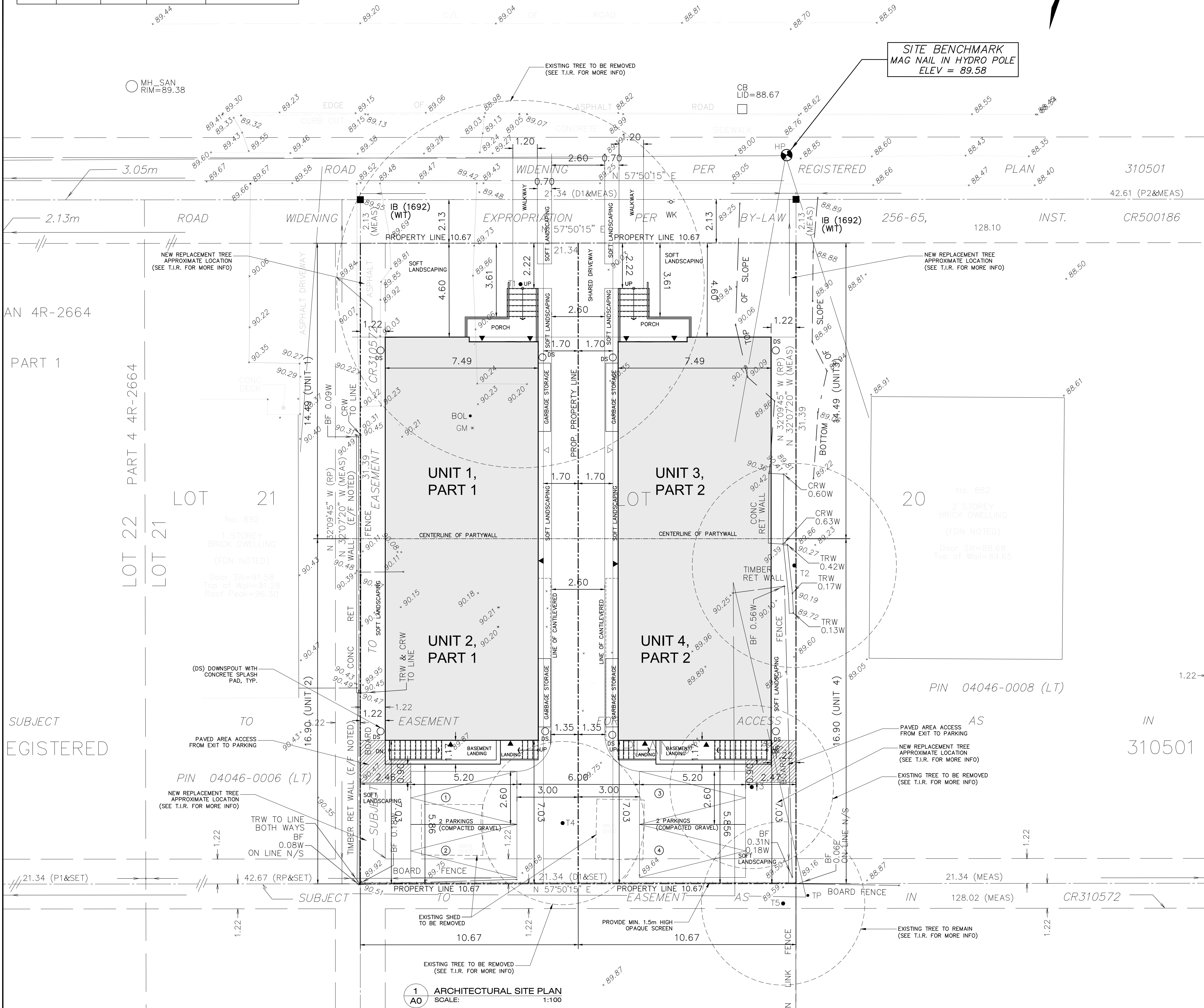
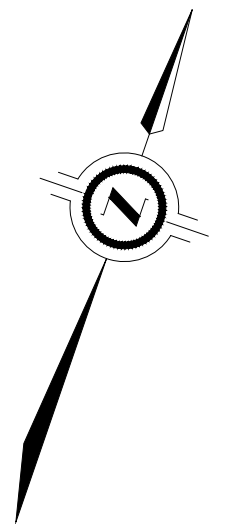
DRAWN BY:	RP/MC	CHECKED BY:	GZ	REFERENCE NO.:	22-10-058-00
PREPARED FOR:	MARK NAKHLE	PLOTTED:	8/25/2022	DATED:	08/25/22



SUNNYCREST DRIVE
 (Formerly LAIKIN STREET)
 N 57°51'40" E (REFERENCE BEARING)
 N 57°50'15" E (RP1)
 127.96 (P2&MEAS)

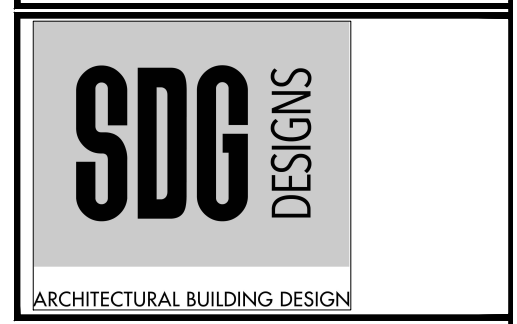
TREE No.	TRUNK DIAMETER (m)	CROWN RADIUS (m)	NOTE:	DISTANCE FROM C/L TRUNK TO PROPERTY LINE
T1	1.5	9	DECIDUOUS	2.0 S
T2	0.55	5	DECIDUOUS	0.1 W
T3	0.4	4	CONIFEROUS	2.2 W
T4	0.5	4	CONIFEROUS	3.0 N
T5	0.4	4	CONIFEROUS	1.0 S

BASELINE ROAD
(Also known as REGIONAL ROAD No. 16)



SITE STATISTICS:	
LEGAL DESCRIPTION: PART OF LOT 20 REGISTERED PLAN 310501, CITY OF OTTAWA CIVIC ADDRESS: 886 BASELINE RD. OTTAWA	
ZONING: R2J RESIDENTIAL SECOND DENSITY PERMITTED USE: LONG SEMI-DETACHED..... ZONING PROVISIONS AND MINIMUM REQUIREMENTS	PROPOSED: 2 STOREY LONG SEMI-DETACHED DWELLING WITH A.D.U.
MINIMUM LOT WIDTH	10 m LOT WIDTH: 10.67m LOT DEPTH: 31.39m
MINIMUM LOT AREA	300 m ² LOT AREA: 334.93 m ²
MAXIMUM BUILDING HEIGHT	8 m BUILDING HEIGHT: 7.82 m (T.B.D.) (FROM E.A.G. TO MID-HT OF ROOF)
MINIMUM FRONT YARD SETBACK	6 m FRONT YARD SETBACK: 4.60 m
MINIMUM REAR YARD SETBACK	8.79 m REAR YARD SETBACK: 7.03 m
MINIMUM INTERIOR SIDE YARD SETBACK	1.2 m SIDE YARD SETBACK: 1.22 m / 1.35m
MIN. FRONT YARD LANDSCAPING: 35%	17.18 m ² FRONT YARD LANDSCAPING PROVIDED: 34.10 m ²
MIN. REQUIRED REAR YARD AREA: 25% OF LOT AREA	83.73 m ² ACTUAL REAR YARD AREA: 75.01 m ²
MAX. PERMITTED REAR PARKING AREA: 70% OF ACTUAL REAR YARD AREA	52.50 m ² SPACE PROVIDED FOR 2 PARKING INCLUDING SHARED DRIVEWAY AT REAR : 50.19 m ² NOTE: REAR YARD PARKINGS TO HAVE COMPACTED GRAVEL
MIN. REQUIRED REAR YARD LANDSCAPING: 15% OF ACTUAL REAR YARD	11.25 m ² REAR YARD LANDSCAPING PROVIDED: 16.75 m ²
EXISTING AVERAGE GRADE (E.A.G.) CALC: 89.55+88.89+89.92+89.59 = 357.95/4 = 89.48	
MINOR VARIANCE REQUESTS:	
1. TO PERMIT A REDUCED FRONT YARD SETBACK OF 4.60m., WHEREAS THE BY-LAW REQUIRES A MINIMUM OF 6m.	
2. TO PERMIT A REDUCED REAR YARD SETBACK OF 7.03m, WHEREAS THE BYLAW REQUIRES 8.79m.	
3. TO PERMIT A REDUCED REAR YARD AREA OF 75.01 m2, WHEREAS THE BYLAW REQUIRES 83.73 m2.	

GENERAL NOTES:			
00	AUG20-24	REV. AS PER T.I.R. COMMENTS	
00	JUL14-24	ADDED REAR PARKINGS	
00	JAN3-24	PRELIMINARY FOR REVIEW	
00	OCT31-23	PRELIMINARY FOR REVIEW	
No.	Date	Revision	By:



DESIGNER INFORMATION:
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A DESIGNER.

S J Dolormente
SANTOS J.D. DOLORMENTE
INDIVIDUAL BCIN: 21175
FIRM BCIN: 48800, SDG DESIGNS

PROJECT:
PROPOSED SEMI-DETACHED
WITH ADDITIONAL DWELLING
886 BASELINE ROAD, OTTAWA

DRAWING TITLE:
ARCHITECTURAL SITE PLAN

DESIGNED:	DRAWN:	APPROVED:
SCALE: AS SHOWN	SHEET NO: A0	
DATE: OCTOBER 2023		