

TOPOGRAPHIC PLAN OF SURVEY OF  
**PART OF LOT 25 & PART OF LOT 69**  
**REGISTERED PLAN 63**  
**CITY OF OTTAWA**  
 FARLEY, SMITH & DENIS SURVEYING LTD. 2024

Scale 1: 400

**Metric Note**  
 Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

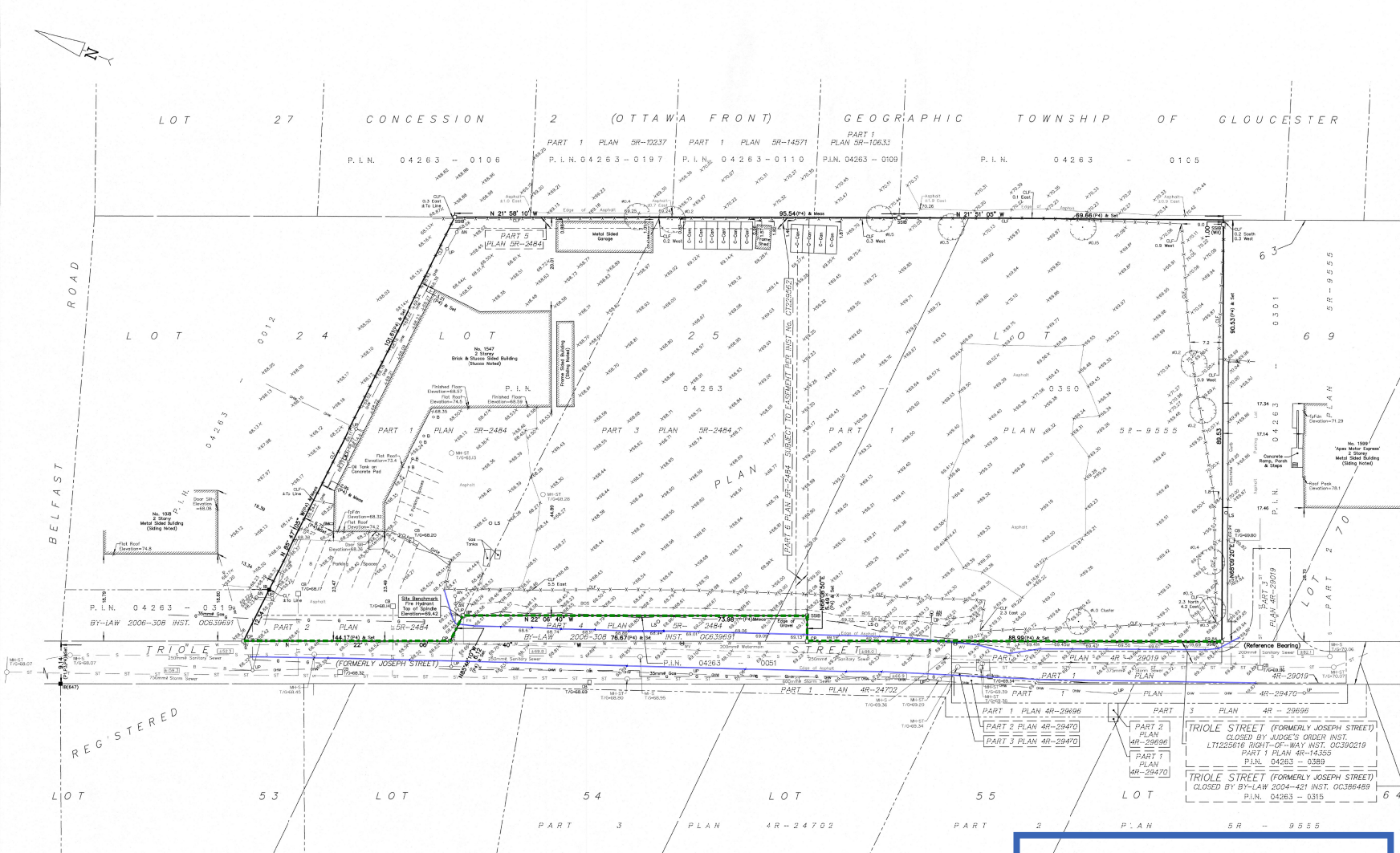
**Distance Note**  
 Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99995.

**Bearing Note**  
 Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD 83 (Original).  
 For bearing comparisons, a rotation of 0°00'50" counter-clockwise was applied to bearings on P4.

**Elevation Notes**  
 1. Elevations shown are geodetic and are referred to Geodetic Datum GVDN-1928 1975 (Monument No. 39849763).  
 2. It is the responsibility of the user of this information to verify that the job benchmarks has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

**Utility Notes**  
 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.  
 2. Only visible surface utilities were located.  
 3. Underground utility data derived from City of Ottawa utility sheet reference: W12106, W12107, W12108, S11566707 & S11566708.  
 4. Sanitary and storm sewer grades were derived from Field measurement.  
 5. A field location of underground part by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.  
 6. Not all overhead wires/transformers adjacent to the property have been located, the nearest overhead wire locations are shown on this drawing.

Site Area=16627.2 sq.m.



**Notes & Legend**

—○—	Denotes Survey Monument Planted	○ P	Denotes Utility Pole
—■—	Survey Monument Found	○ M	Anchor
—S—	Standard Iron Bar	○ LS	Light Standard
—S(10)	Short Standard Iron Bar	○ B	Catch Basin
—S(10) L	Short Standard Iron Bar (0.3m Long)	○ F	Fire Hydrant
—I—	Iron Bar	○ W	Water Valve
—I(10)	Iron Bar (0.3m Long)	○ G	Gas Meter
—C—	Concrete Pin	○ B	Bollard
—W	Witness	○ D	Diameter
—M	Measured	—CL—	Chain Link Fence
—P1	Registered Plan 63	—Iv—	Invert Gate
—P2	Plan S8-2484	—Tf	Top of Foundation
—P3	Plan S9-555	—C	Centreline
—P4	Plan by (990) dated November 27, 1998 (Ref. No. 125-98)	—Tf(Sh)	Top of Slope
—P5	Plan by (1692) dated March 27, 2020 (File No. 31-20)	—BOS	Bottom of Slope
—Q	Maintenance Hole (Storm)	—TCS	Location of Elevations
—Q S	Maintenance Hole (Sanitary)	—+55.00	Top of Concrete Curb Elevation
—Q M S	Underground Storm Sewer	—+55.00	Property Line
—S	Underground Sanitary Sewer	—	
—P	Underground Power	—	
—G	Underground Gas	—	
—B	Underground Bell	—	
—W	Overhead Wires	—	

**Committee of Adjustment**  
 Received | Reçu le  
**2024-09-20**  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation

**Surveyor's Certificate**  
 I verify that:  
 1. This survey and plan are correct and in accordance with the Survey Act, the Surveyors Act and the Regulations made under them.  
 2. The survey was completed on the 4th day of June, 2024.

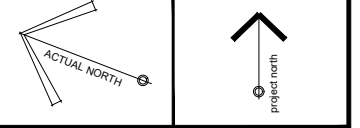
Date: **June 06/2024**  
 Signature:   
 Emad Alrefaie  
 Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-80447  
**FARLEY, SMITH & DENIS SURVEYING LTD.**  
 ONTARIO LAND SURVEYORS  
 CANADIAN LAND SURVEYORS  
 UNIT 275, 30 COLONADE ROAD, OTTAWA, ONTARIO K2E 7E6  
 TEL: (613) 727-8220 E-mail: fscsurvey@bellnet.ca

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS. ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS, FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
  - IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE. REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.
  - GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE. GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
  - ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2012) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.
  - DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.

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**ISSUE RECORD:**

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	2024-07-16

**Committee of Adjustment  
Received | Reçu le**

**2024-09-20**

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Comité de dérogation

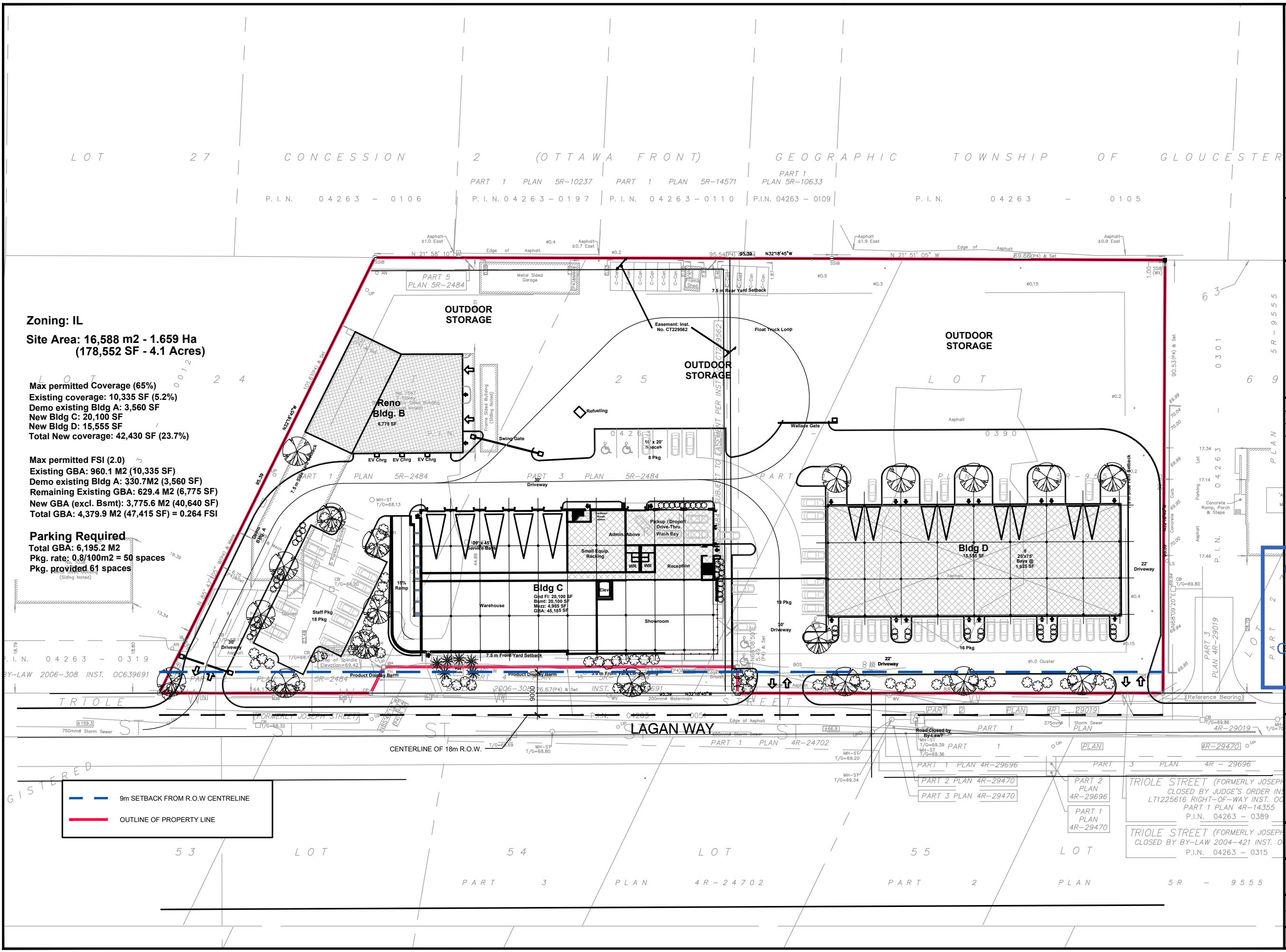


**PROJECT TITLE**  
1547 LAGAN WAY

**DRAWING TITLE**  
SITE PLAN

DATE	DRAWN	JOB NO.	DRAWING NO.
JULY 2024	CL	3620	A100
SCALE 1:500	REVIEWED TD		

**ARCHITECTURAL**



**Zoning: IL**

**Site Area: 16,588 m<sup>2</sup> - 1.659 Ha  
(178,552 SF - 4.1 Acres)**

Max permitted Coverage (65%)  
Existing coverage: 10,335 SF (5.2%)  
Demo existing Bldg A: 3,560 SF  
New Bldg C: 20,100 SF  
New Bldg D: 15,555 SF  
Total New coverage: 42,430 SF (23.7%)

Max permitted FSI (2.0)  
Existing GBA: 960.1 M<sup>2</sup> (10,335 SF)  
Demo existing Bldg A: 330.7M<sup>2</sup> (3,560 SF)  
Remaining Existing GBA: 629.4 M<sup>2</sup> (6,775 SF)  
New GBA (excl. Bsmt): 3,775.6 M<sup>2</sup> (40,640 SF)  
Total GBA: 4,379.9 M<sup>2</sup> (47,415 SF) = 0.264 FSI

**Parking Required**  
Total GBA: 6,195.2 M<sup>2</sup>  
Pkg. rate: 0.8/100m<sup>2</sup> = 50 spaces  
Pkg. provided 61 spaces

9m SETBACK FROM R.O.W. CENTRELINE

OUTLINE OF PROPERTY LINE



Committee of Adjustment  
Received | Reçu le

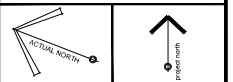
2024-09-20

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**REVISION RECORD**

NO.	DESCRIPTION	DATE



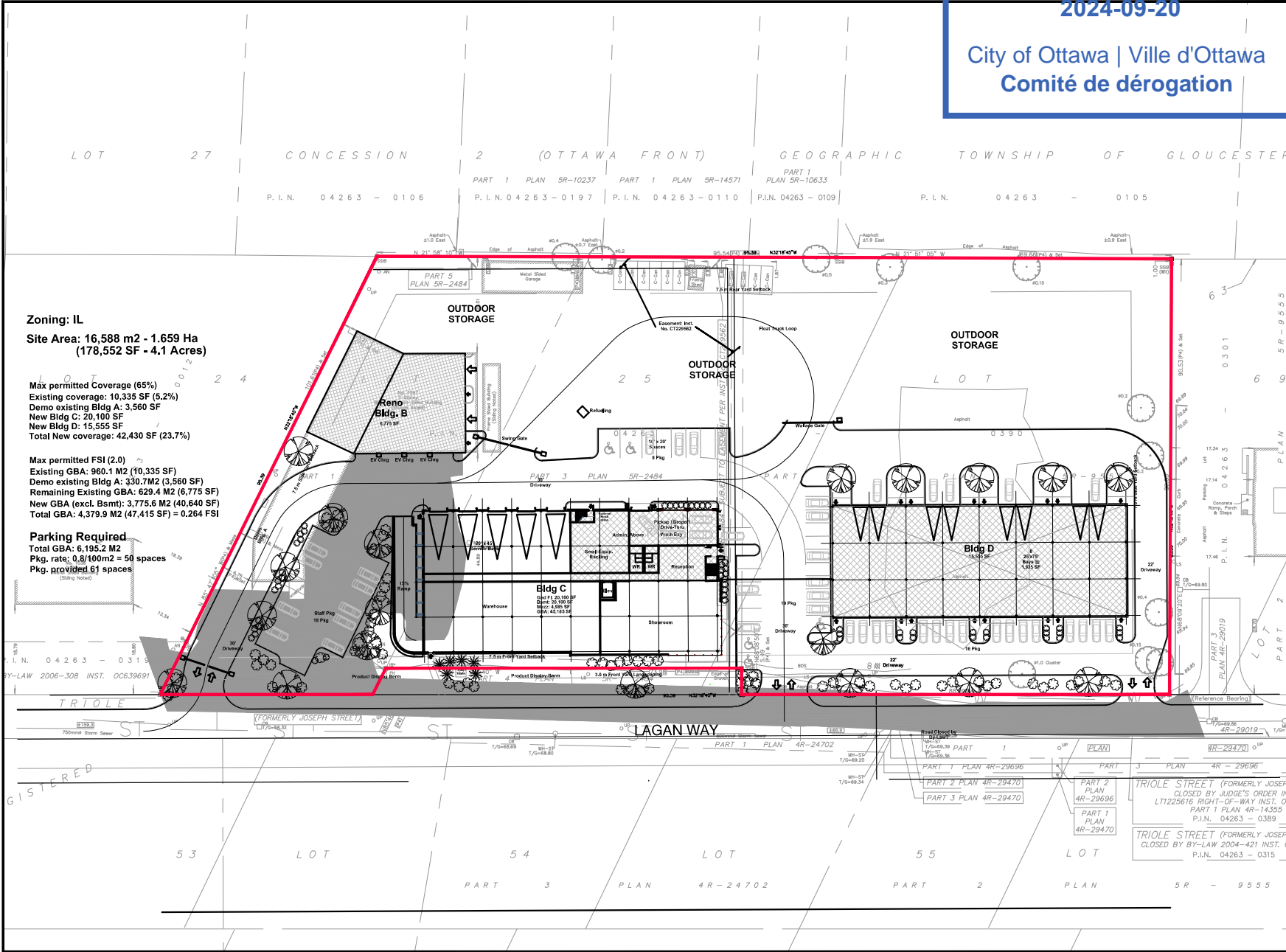
20+139 WELLINGTON ST., WEST OTTAWA ON K1Y 3B8  
WWW.ARCHITECTSDCA.COM 613.75.2294

PROJECT TITLE  
**1547 LAGAN WAY**

DRAWING TITLE  
**SITE PLAN**

DATE	DRAWN	JOB NO.	DRAWING NO.
2024	CL	3620	A100

ARCHITECTURAL



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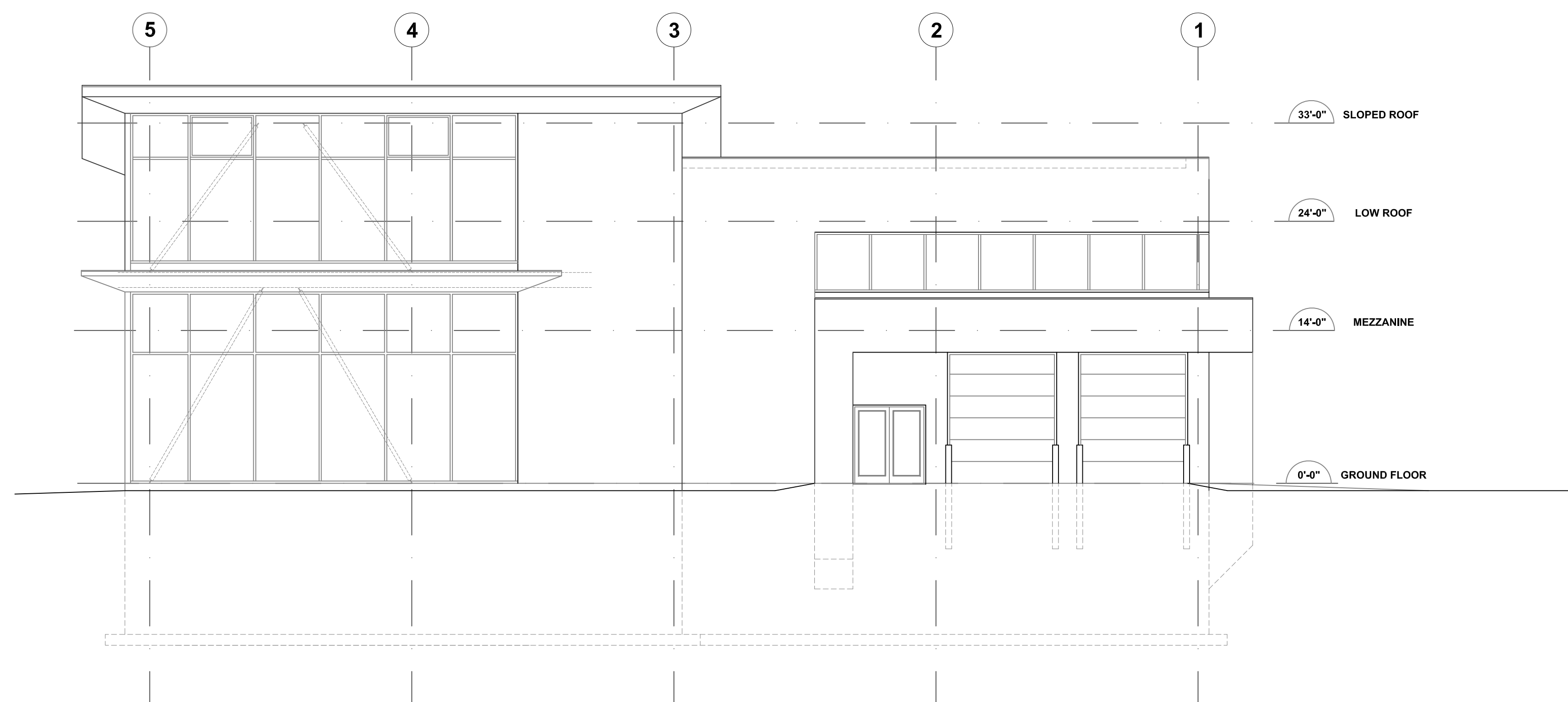
**Parking Required**  
Total GBA: 6,195.2 M<sup>2</sup>  
Pkg. rate: 0.8/100m<sup>2</sup> = 50 spaces  
Pkg. provided 61 spaces  
(Sliding Noted)

Dickie Moore OHQ,  
1547 Lagan Way.,  
Ottawa, ON.

Committee of Adjustment  
Received | Reçu le  
2024-09-20  
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**East Elevation**



**South Elevation**


Issue for Review	Apr 26/24
Issue/Revision	Date:


 1406-3590 Rivergate Way,  
Ottawa, ON K1V 1V5  
(613) 850-9865  
gorderskine@gmail.com

Sub Consultant

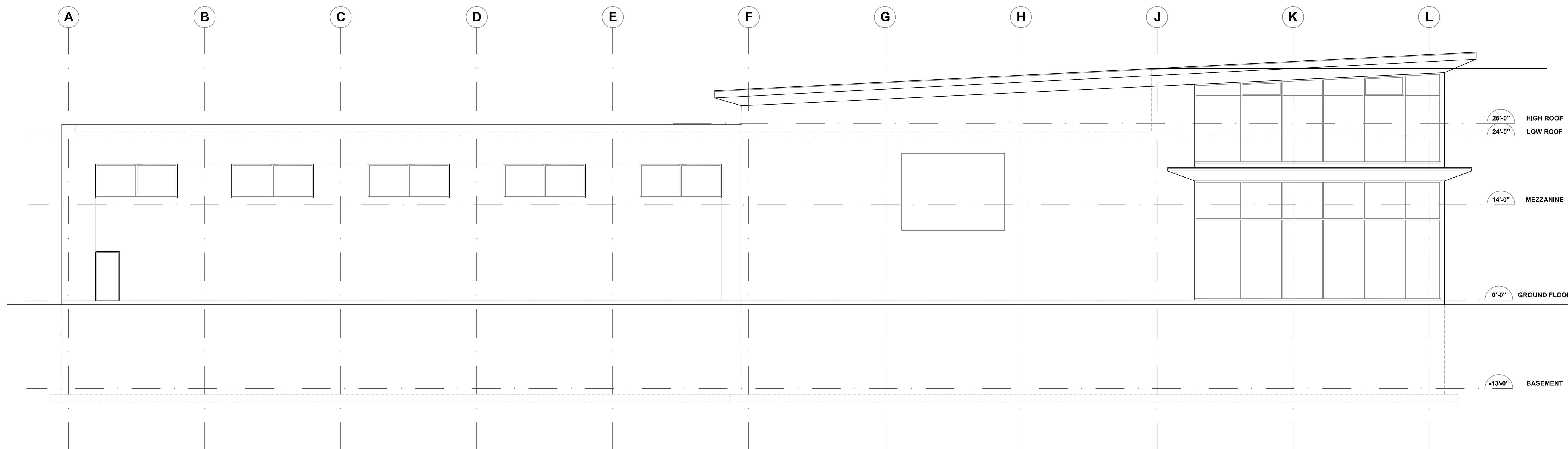
**Building C Elevations**

GE	Checked:
Approved: JGE	Scale: 1/8" = 1'-0"
2023-038	Date: Feb 27, 2024

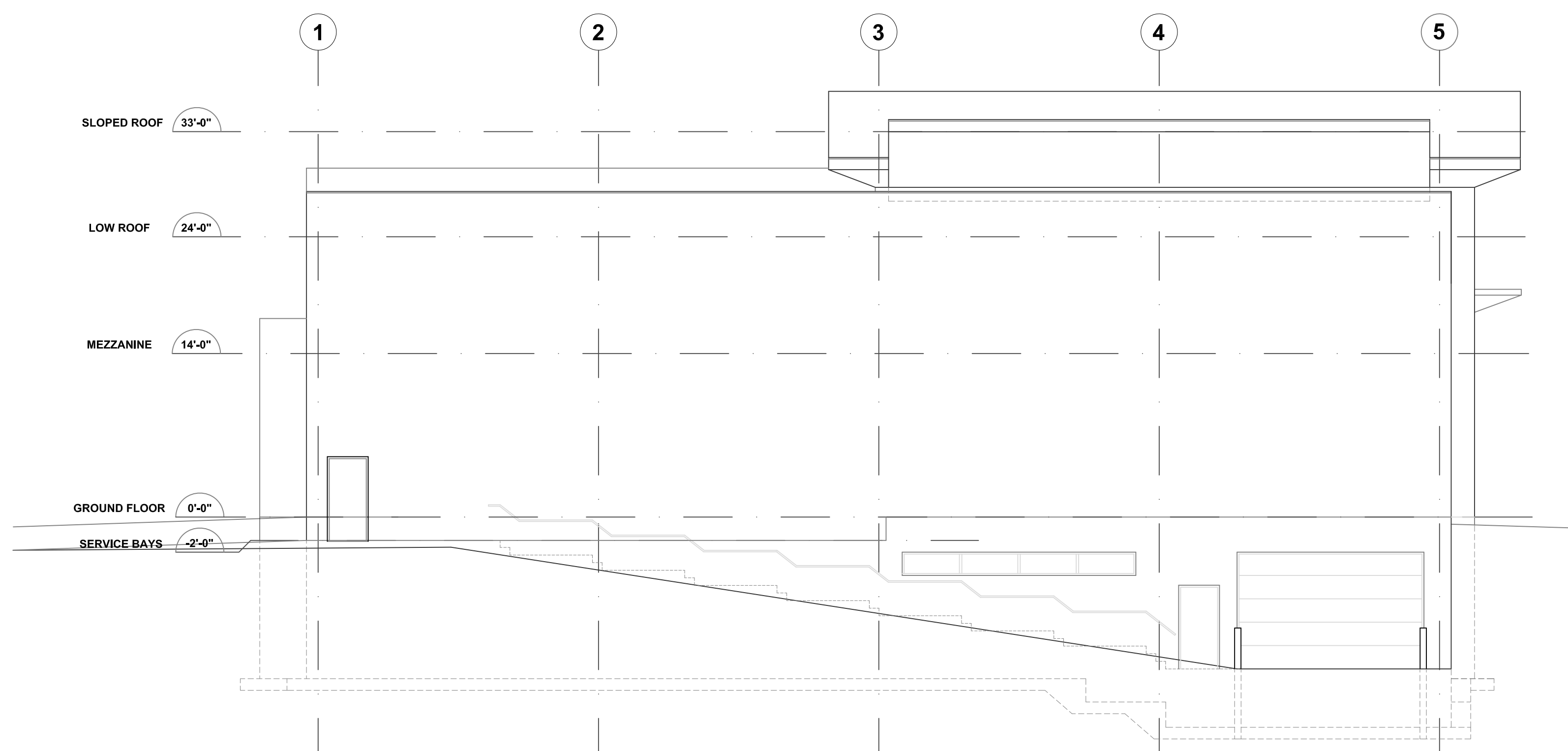

 Drawing  
**A-301**  
 Rev. -

Dickie Moore OHQ,  
1547 Lagan Way.,  
Ottawa, ON.

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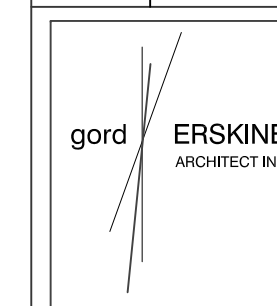


**West Elevation**



**North Elevation**

Issue for Review	Feb 27/24
Issue/Revision	Date:



1406-3590 Rivergate Way,  
Ottawa, ON K1V 1V5  
(613) 850-9865  
gorderskine@gmail.com

Sub Consultant

**Building C Elevations**

GE	Checked:
Approved: JGE	Scale: 1/8" = 1'-0"
2023-0308	Date: Feb 27, 2024



**A-300**

Rev. -