

LIEDTKE, LUISA & WERNER

2173 AUBURN RIDGE
ORLEANS, ONTARIO

OAKWOOD DESIGNERS AND BUILDERS

ISSUE: 2.4 CONCEPT (MINOR VARIANCE)

DATE: 2024.11.12

PROJECT NO: PRO-00002801

REVISIONS

| | | |
|---|------------------------------|------------|
| 1 | 1.0 AS BUILTS | 2024.10.31 |
| 2 | 2.0 CONCEPT (MINOR VARIANCE) | 2024.11.05 |
| 3 | 2.1 CONCEPT (CLIENT REVIEW) | 2024.11.05 |
| 4 | 2.2 CONCEPT (CLIENT REVIEW) | 2024.11.11 |
| 5 | 2.3 CONCEPT (CLIENT REVIEW) | 2024.11.11 |
| 6 | 2.4 CONCEPT (MINOR VARIANCE) | 2024.11.12 |

Committee of Adjustment
Received | Reçu le

2024-11-25

City of Ottawa | Ville d'Ottawa
Comité de dérogation



865 Taylor Creek Drive,
Ottawa, ON K4A 0Z9
Tel: 613-236-8001
www.oakwood.ca

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DIMENSIONS ON THIS DRAWING ARE FOR
ESTIMATING PURPOSE ONLY. IT IS THE
RESPONSIBILITY OF EACH CONTRACTOR
AND SUBCONTRACTOR TO CHECK ALL
DIMENSIONS AND CONDITIONS ON SITE
PRIOR TO IMPLEMENTATION

Project: LIEDTKE, LUISA & WERNER
Project No: PRO-00002801
Project Address: 2173 AUBURN RIDGE
ORLEANS, ONTARIO
Current Revision: 2.4 CONCEPT (MINOR VARIANCE)
Date: 2024.11.12

Client: OAKWOOD DESIGNERS AND BUILDERS
Designer:
Drawn By: J.V.

Reviewed By:
REVIEWER NAME
STAMP / SIGNATURE

INDIVIDUAL BCIN: 46879
FIRM BCIN: 39352

Structural Engineer:

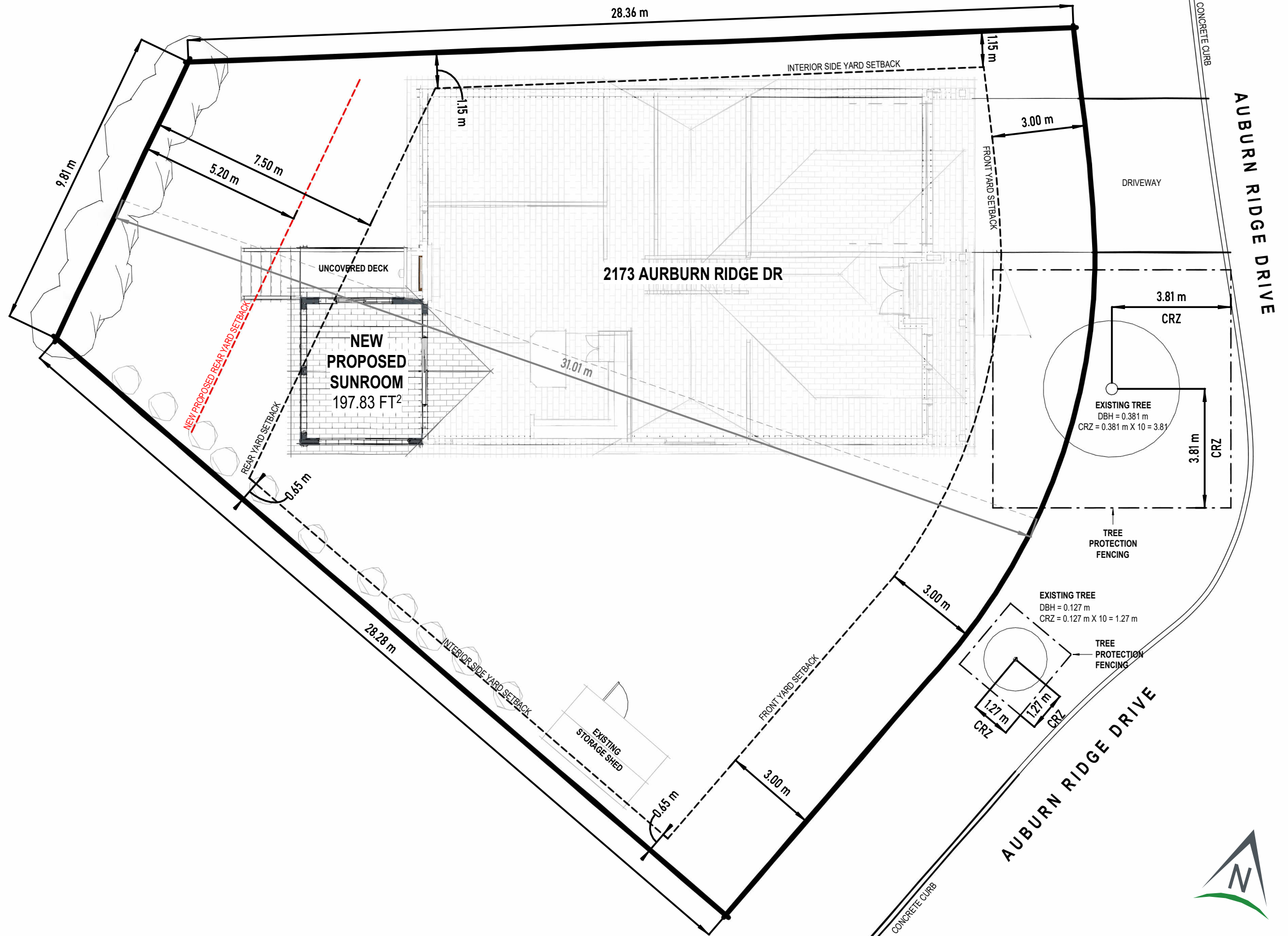
DECLARATION:
WE, OAKWOOD DESIGNERS & BUILDERS INC.
DECLARE THAT I HAVE REVIEWED AND TAKE
RESPONSIBILITY FOR THE DESIGN WORK ON
BEHALF OF A FIRM REGISTERED UNDER
SUBSECTION 3.2.4. OF DIVISION C. OF THE
BUILDING CODE. I AM QUALIFIED, AND THE
FIRM IS REGISTERED, IN THE APPROPRIATE
CLASSES/CATEGORIES

Sheet Name:
TITLE PAGE

G-000

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| SITE INFORMATION | |
|--------------------------------|---|
| ZONE / SUBZONE | R1VV |
| WARD | 19 |
| DWELLING TYPE | DETACHED |
| LOT TYPE | INTERIOR |
| LOT WIDTH | VARIABLE |
| LOT AREA | 618.90 M ² |
| LOT COVERAGE | N/A |
| LOT CRITERIA | |
| MIN. LOT WIDTH | 11 M |
| MIN. LOT AREA | 240 M ² |
| MAX. HEIGHT | 11 M |
| FRONT YARD SETBACK | 3.00 |
| REAR YARD SETBACK | 25% OF LOT DEPTH. DEEPEST POINT 31.01 M, THEREFORE 7.75M. AS PER NOTE 7 SETBACK NEED NOT EXCEED 7.5 M |
| INT. SIDE YARD SETBACK | TOTAL 1.80 M, NOT LESS THAN 0.60 EACH |
| LEGEND | |
| PROPERTY LINE | |
| SETBACKS | |
| NEW PROPOSED REAR YARD SETBACK | |



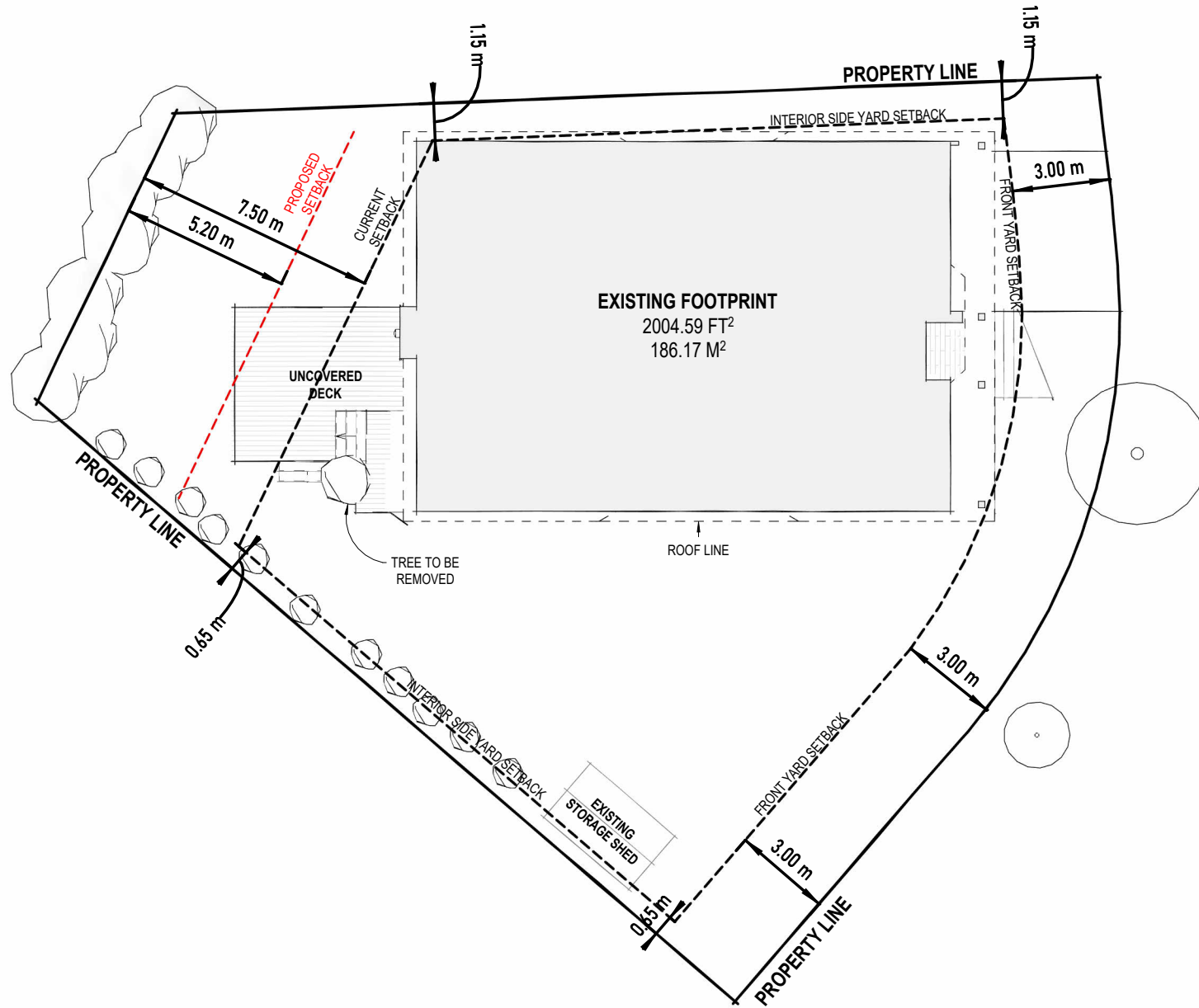
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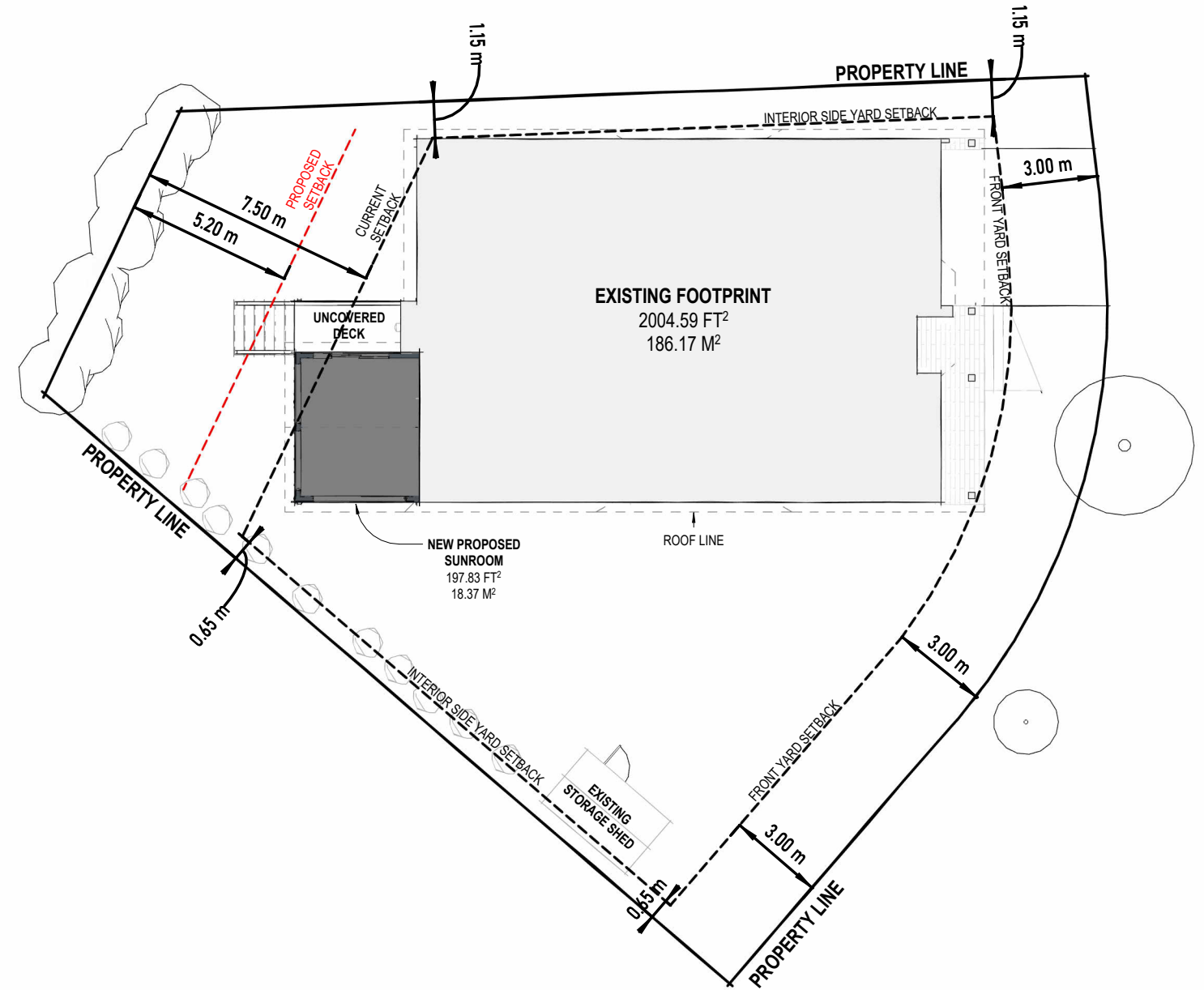
01 FOOTPRINT COMPARISON - EXISTING

SCALE: 1/16" = 1'-0"



02 FOOTPRINT COMPARISON - PROPOSED

SCALE: 1/16" = 1'-0"



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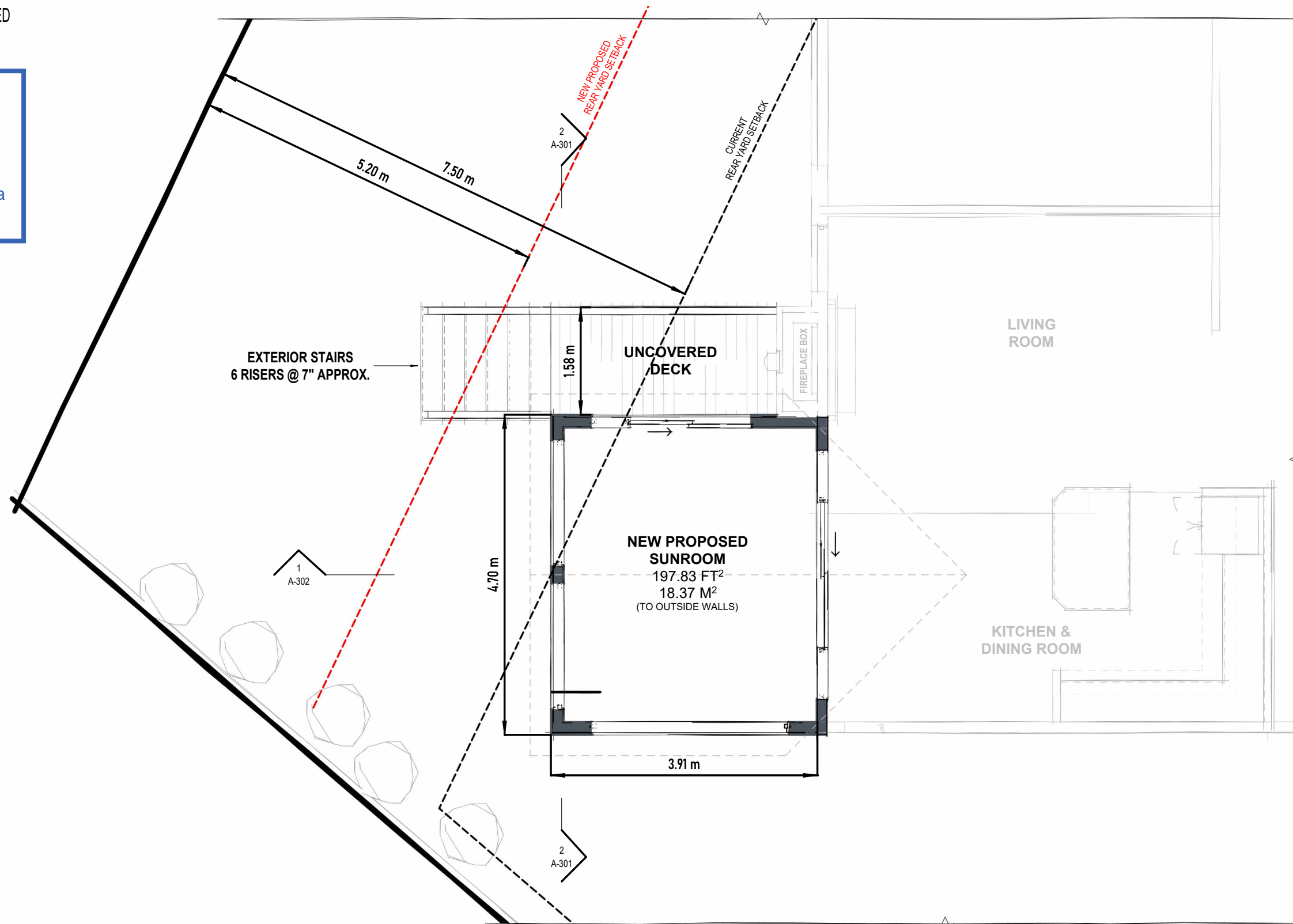
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Sheet Name: FOOTPRINT COMPARISON

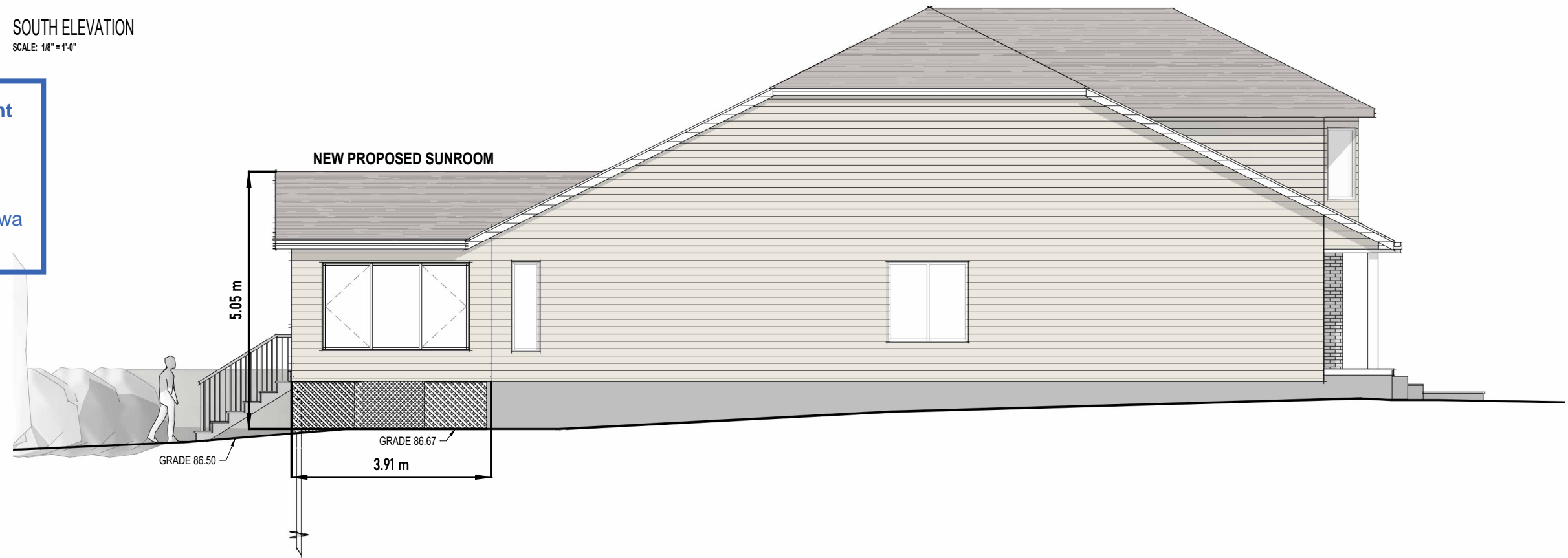
G-003

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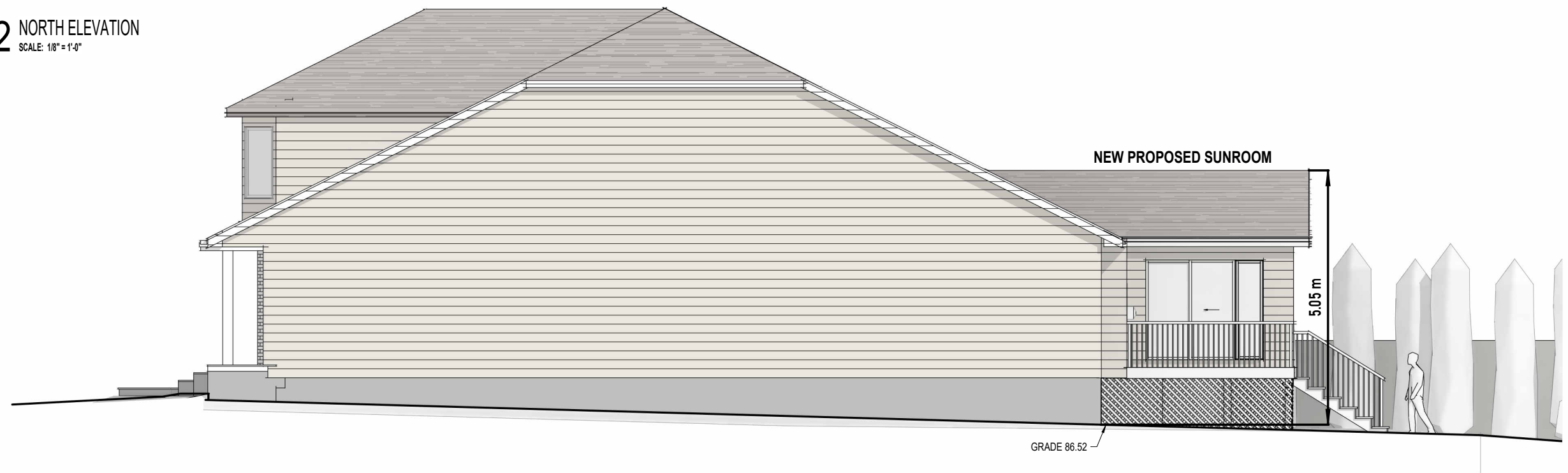


01 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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02 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



Committee of Adjustment

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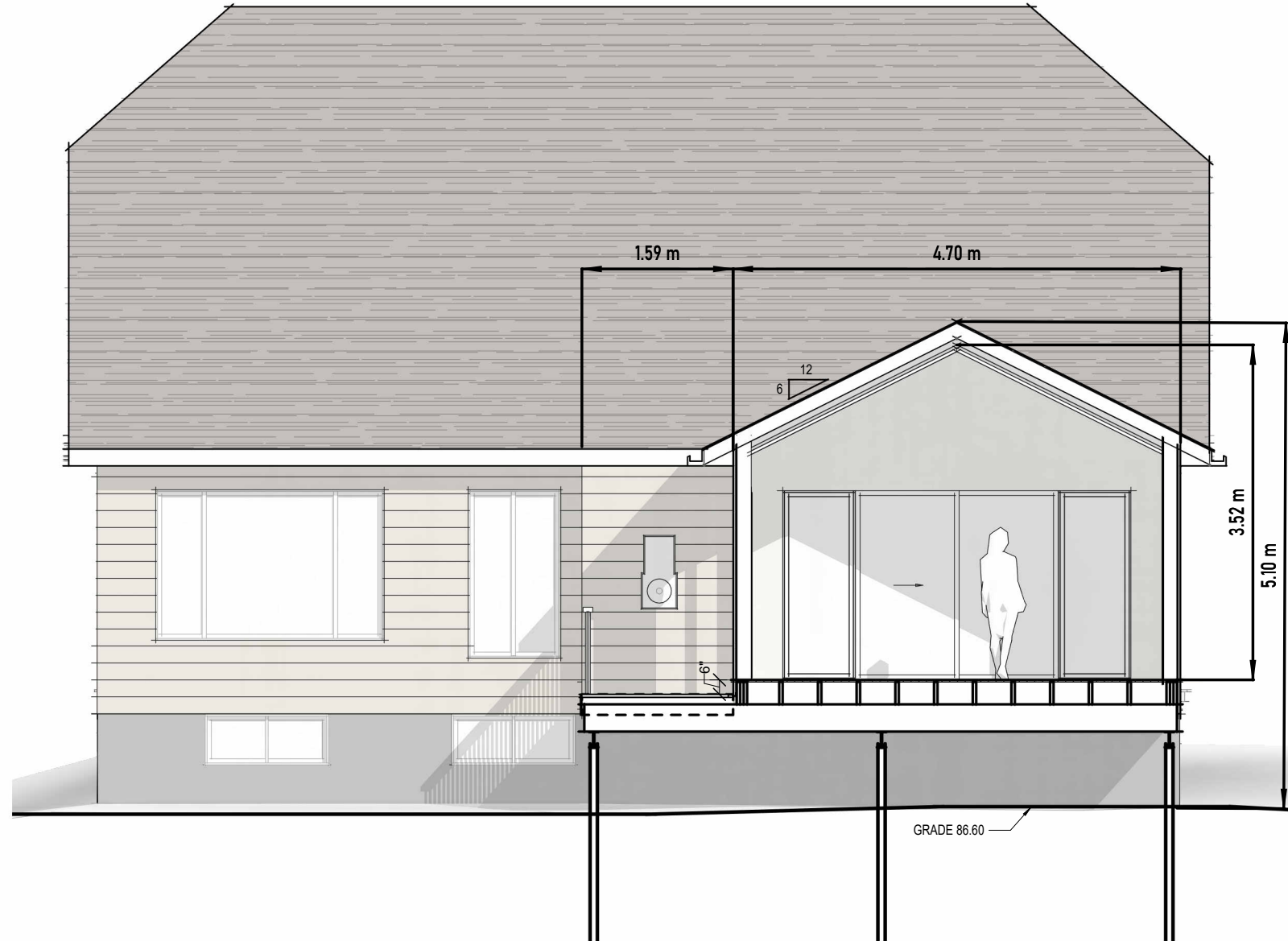
2024-11-25

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01 WEST ELEVATION
SCALE: 3/16" = 1'-0"



02 SECTION THROUGH SUNROOM
SCALE: 3/16" = 1'-0"



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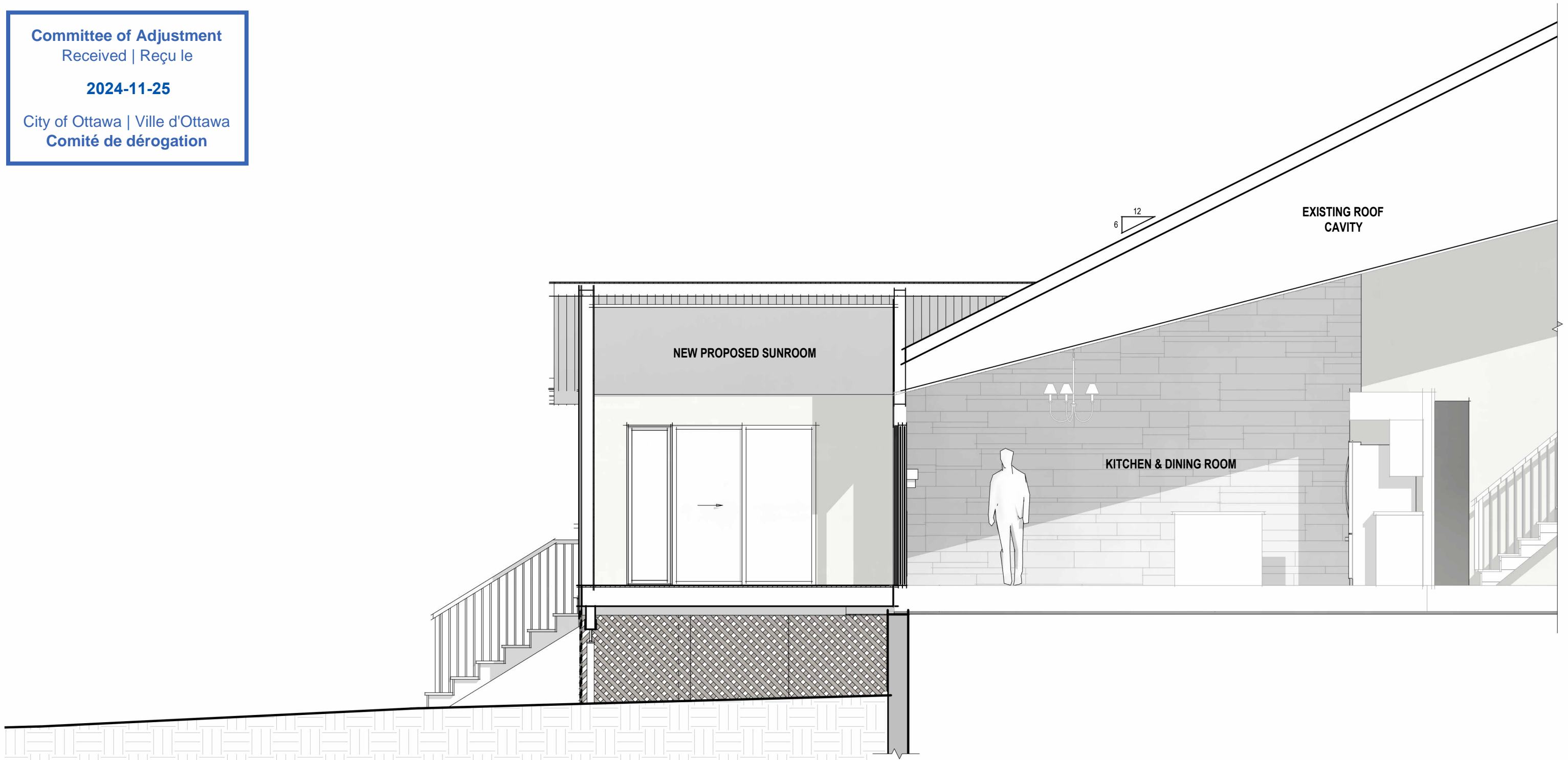
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Sheet Name: CONCEPT WEST ELEVATION & SECTION

A-301

01 SECTION THROUGH KITCHEN
 SCALE: 1/4" = 1'-0"

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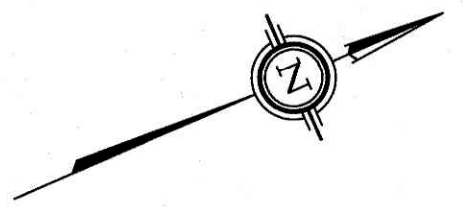
Sheet Name: EXTERIOR RENDERS

A-402

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Scale 1 : 150
6 4.5 3.0 1.5 0 3 6 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of
LOT 18
REGISTERED PLAN 4M-965
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Surveyor's Certificate
I CERTIFY THAT :
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 29th day of October, 2024.

Oct 29, 2024
Date

T. Hartwick
Ontario Land Surveyor

PART 2
THIS PLAN MUST BE READ IN CONJUNCTION WITH
SURVEY REPORT DATED: October 29, 2024

ANNIS, O'SULLIVAN, VOLLEBEK LTD. grants to Oakwood ("The Client"), their solicitors, mortgagees, and other related parties, permission to use original, signed, sealed copies of the Surveyor's Real Property Report in transactions involving The Client.

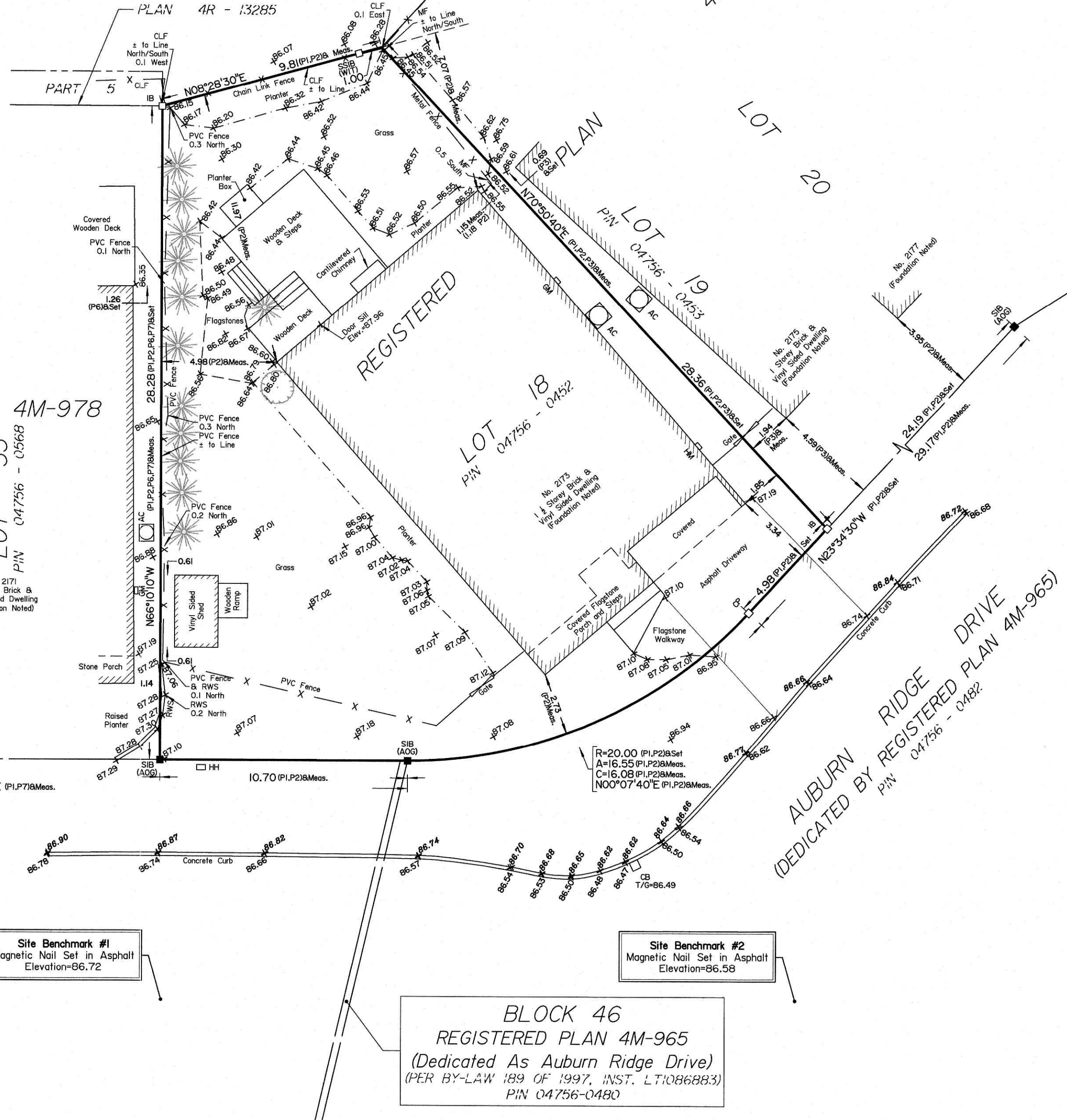
ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-90463

THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29 (3).

LOT 6 CONCESSION 3
(RIDEAU FRONT) (GLOUCESTER)

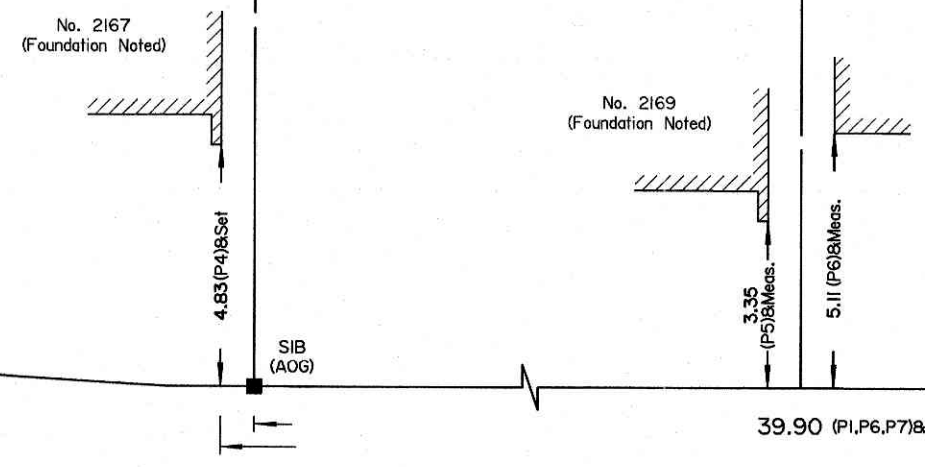
PART 4
PIN 04756 - 0902

PLAN 4R - 13285



REGISTERED PLAN
LOT 30
LOT 31
LOT 32

LOT 33
PIN 04756 - 0568
REGISTERED PLAN 4M-978



AUBURN RIDGE DRIVE
(DEDICATED BY REGISTERED PLAN 4M-978)
PIN 04756 - 0586

Site Benchmark #1
Magnetic Nail Set in Asphalt
Elevation=86.72

Site Benchmark #2
Magnetic Nail Set in Asphalt
Elevation=86.58

BLOCK 46
REGISTERED PLAN 4M-965
(Dedicated As Auburn Ridge Drive)
(PER BY-LAW 189 OF 1997, INST. LT1086883)
PIN 04756-0480

- Notes & Legend**
- Denotes Survey Monument Planted
 - " Survey Monument Found
 - SIB " Standard Iron Bar
 - SSIB " Short Standard Iron Bar
 - IB " Iron Bar
 - (WIT) " Witness
 - Meas. " Measured
 - (AOG) " Annis, O'Sullivan, Vollebek Ltd.
 - (P1) " Registered Plan 4M-965
 - (P2) " (AOG) Plan dated October 27, 1997
 - (P3) " (AOG) Plan dated August 5, 1997
 - (P4) " (AOG) Plan dated September 18, 1998
 - (P5) " (AOG) Plan dated September 3, 1998
 - (P6) " (AOG) Plan dated December 24, 1997
 - (P7) " Registered Plan 4M-978
 - CLF " Chain Link Fence
 - MF " Metal Fence
 - RWS " Retaining Wall - Stone
 - T/G " Top of Grate
 - CB " Catch Basin
 - GM " Gas Meter
 - HM " Hydro Meter
 - HH " Handhole
 - AC " Air Conditioner
 - " Deciduous Tree
 - ★ " Coniferous Tree
 - φ " Diameter
 - + 65.00 " Location of Elevations
 - + 66.00 " Location of Top of Curb Elevations
 - + 66.00 " Location of Top of Wall Elevations

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01919680184 and 019198434761, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

- ELEVATION NOTES**
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

- UTILITY NOTES**
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 2. Only visible surface utilities were located.
 3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

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ANNIS, O'SULLIVAN, VOLLEBEK LTD.
14 Concourse Gate, Suite 500
Nepean, Ont. K2E 7S6
Phone: (613) 727-0850 / Fax: (613) 727-1079
Email: Nepean@avlltd.com
Ontario Land Surveyors Job No. 25551-24 Oakwood L118 4M-965 D-E F ISV

Y:\2024\35551-24\Oakwood\35551-24\Oakwood_L118_4M-965-D-E.dwg