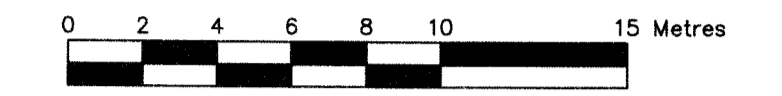


Committee of Adjustment
Received | Reçu le
2024-12-05
City of Ottawa | Ville d'Ottawa
Comité de dérogation

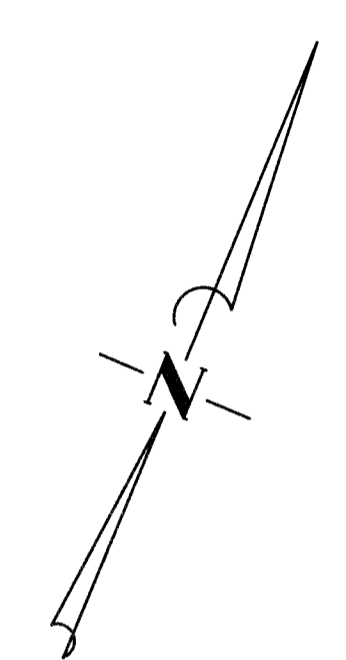
TOPOGRAPHIC PLAN OF
PART OF LOT 1
CONCESSION 4 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
NOW IN THE
CITY OF OTTAWA
2 0 2 4
SURVEYED BY: ARPENTAGE DUTRISAC SURVEYING INC.
SCALE 1 : 200



METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- 1) THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
- 2) ELEVATIONS SHOWN ON THIS PLAN ARE GEODETIC (CGVD 28:78) AND ARE DERIVED FROM CONTROL MONUMENT N° 001196530229, IT HAVING AN ELEVATION OF 86.120.



SURVEYOR'S CERTIFICATE

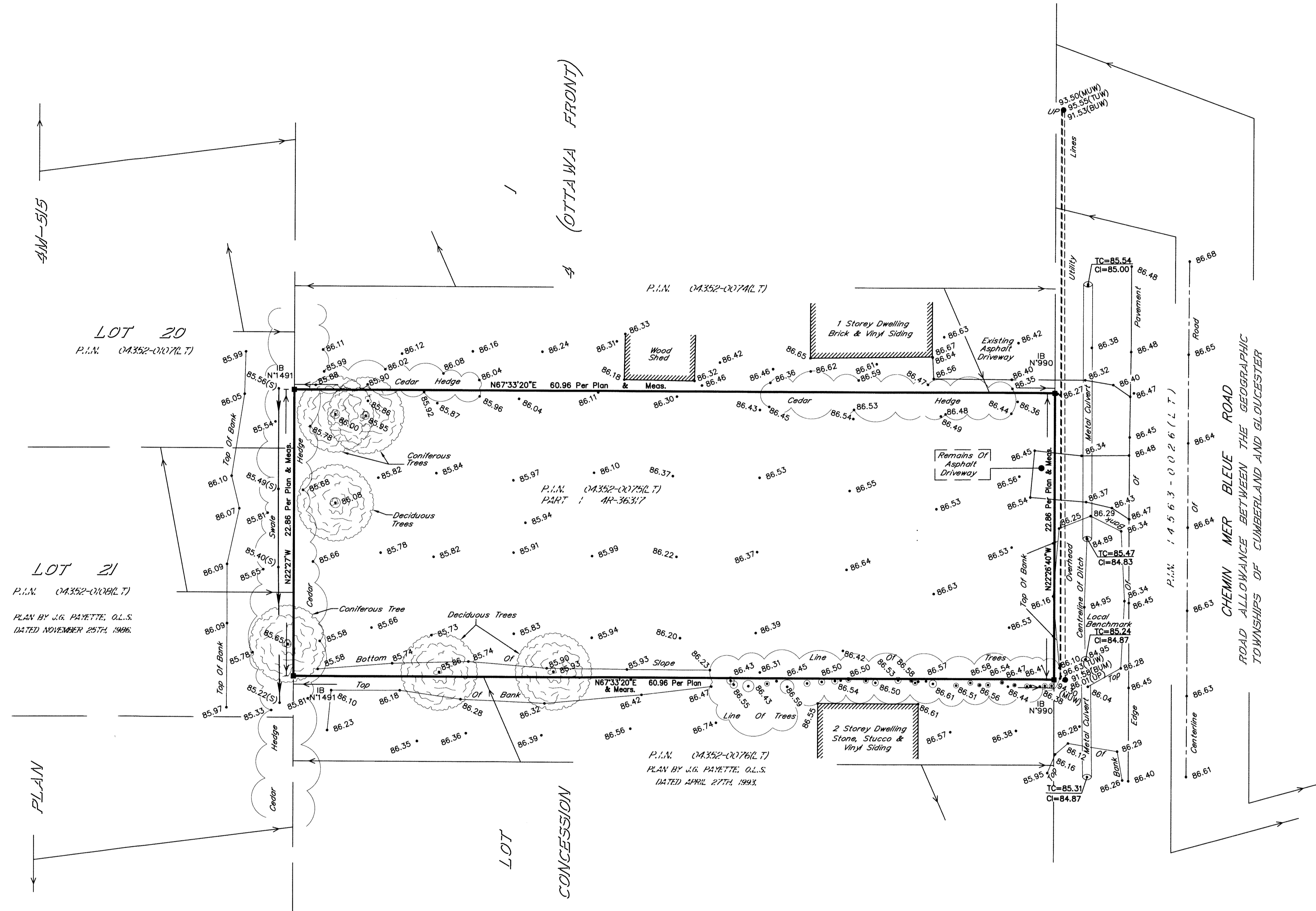
THE SURVEY WAS COMPLETED ON
THE 27th DAY OF SEPTEMBER, 2024

22nd OCTOBER, 2024

DATE DENIS DUTRISAC
ONTARIO LAND SURVEYOR
ROCKLAND, ONTARIO

LEGEND

■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT PLANTED
IB	DENOTES STANDARD IRON BAR (25 mm x 120 cm)
SSB	DENOTES IRON BAR (16 mm x 80 cm)
⊕	DENOTES SHORT STANDARD IRON BAR (25 mm x 80 cm)
○	DENOTES ROUND
(S)	DENOTES SWALE
UP	DENOTES UTILITY POLE
Mees	DENOTES MEASURED
TUW	DENOTES TOP UTILITY WIRE
BUW	DENOTES BOTTOM UTILITY WIRE
MUW	DENOTES MIDDLE UTILITY WIRE
Acc.	DENOTES ACCEPTED
P.I.N.	DENOTES PARCEL IDENTIFICATION NUMBER
O.L.S.	DENOTES ONTARIO LAND SURVEYOR
N°990	DENOTES J.G. PAYETTE, O.L.S.
N°1491	DENOTES DENIS DUTRISAC, O.L.S.
ADV	DENOTES ANNIS O'SULLIVAN VOLLEBEKK, O.L.S.
Plan	DENOTES PLAN 4R-36317
86.22	DENOTES EXISTING ELEVATION



NOTE: NOT FOR REGISTRATION PURPOSES



REVISION: R-1	PHONE: (613) 446-7101 FAX: (613) 446-7102 © 2024 ARPENTAGE DUTRISAC SURVEYING INC.	JOB NUMBER: 2024155
------------------	---	------------------------

THIS IS BASED ON CONCEPTUAL RENDERERS AND COULD BE DIFFERENT THAN THE ACTUAL FINISHED PLANS



Committee of Adjustment
Received | Reçu le

2024-12-05

City of Ottawa | Ville d'Ottawa
Comité de dérogation



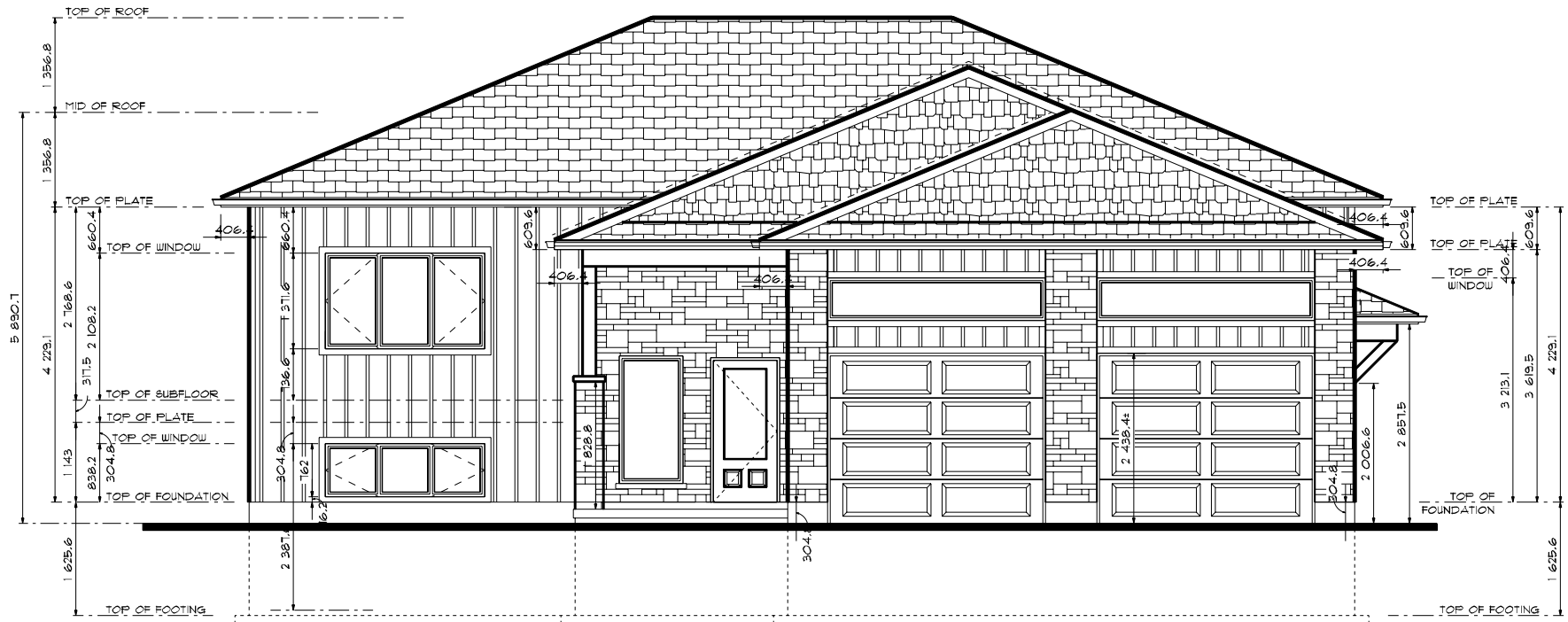
1041 NOTRE DAME STREET, P.O. BOX 928,
EMBRUN, ON. K0A 1W0
WEBSITE: WWW.LAVOIEDESIGN.CA
EMAIL: INFO@LAVOIEDESIGN.CA
613-443-3461

DRAWINGS INDEX:	
PAGE 1	FRONT & REAR ELEVATION
PAGE 2	RIGHT & LEFT ELEVATION
PAGE 3	FOUNDATION PLAN
PAGE 4	MAIN FLOOR PLAN
PAGE 8/PI SITE PLAN	

PROJECT NUMBER: 2024-0068
DRAWN BY: LUC LAVOIE
VERIFIED BY: LUC LAVOIE
ISSUED FOR PERMISSION: NOVEMBER 12, 2024

PROPOSED RESIDENCE & SECONDARY UNIT FOR U&I BUILDERS 2022 LTD
2560 MER BLEUE ROAD, OTTAWA, ON.





FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND
(COLORS & MATERIALS TO BE CONFIRMED BY CLIENTS)

	ASPHALT SHINGLE
	BOARD & BATTEN
	HORIZONTAL SIDING
	STONE

PROFESSIONAL ENGINEER

**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION**

PRODUCTS & MATERIAL
SHALL NOT BE ORDERED
WITH THESE DRAWINGS

I, _____, DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.

INDIVIDUAL B.C.I.N.: _____
FIRM B.C.I.N.: 112054

DATE: _____

REGISTERED B.C.I.N.
ARCHITECTURAL DESIGNER

NO.	REVISIONS	DATE
5	ISSUED FOR PERMISSION	12/11/2024
4	ISSUED FOR APPROVAL	24/09/2024
3	ISSUED FOR CHANGES	11/09/2024
2	ISSUED FOR CHANGES	15/08/2024
1	ISSUED FOR PRELIMINARY	09/08/2024

LAVOIE
DESIGN & DRAFTING INC.

1041 NOTRE DAME STREET, P.O. BOX 929,
EMBRUN, ON. K0A 1W0

WEBSITE: WWW.LAVOIEDESIGN.CA
EMAIL: INFO@LAVOIEDESIGN.CA
613-443-3461

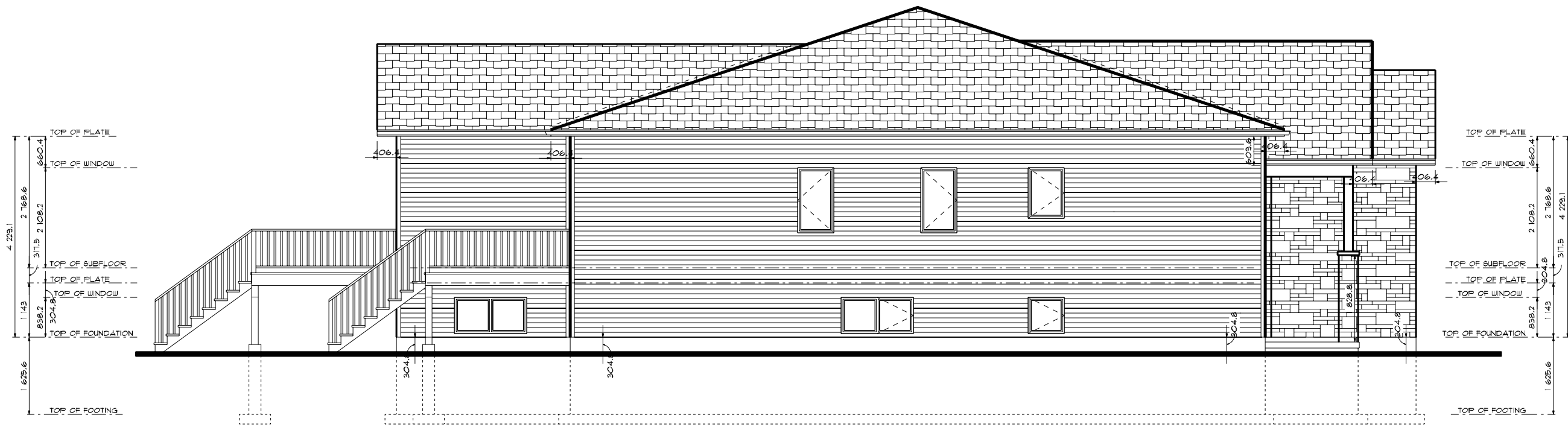
PROJECT NAME

**PROPOSED RESIDENCE
& SECONDARY UNIT
FOR
U&I BUILDERS 2022 LTD**
2560 MER BLEUE ROAD, OTTAWA, ON.

PROJECT NO.	2024-0068	DRAWINGS NO.	1/4
DRAWN BY	L.Lavoie		
VERIFIED BY			



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND
(COLORS & MATERIALS TO BE CONFIRMED BY CLIENTS)

	ASPHALT SHINGLE
	BOARD & BATTEN
	HORIZONTAL SIDING
	STONE

PROFESSIONAL ENGINEER

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INDIVIDUAL B.C.I.N.: _____
FIRM B.C.I.N.: 112054

DATE: _____

REGISTERED B.C.I.N.
ARCHITECTURAL DESIGNER

NO.	REVISIONS	DATE
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LAVOIE
DESIGN & DRAFTING INC.

1041 NOTRE DAME STREET, P.O. BOX 929,
EMBRUN, ON. K0A 1W0

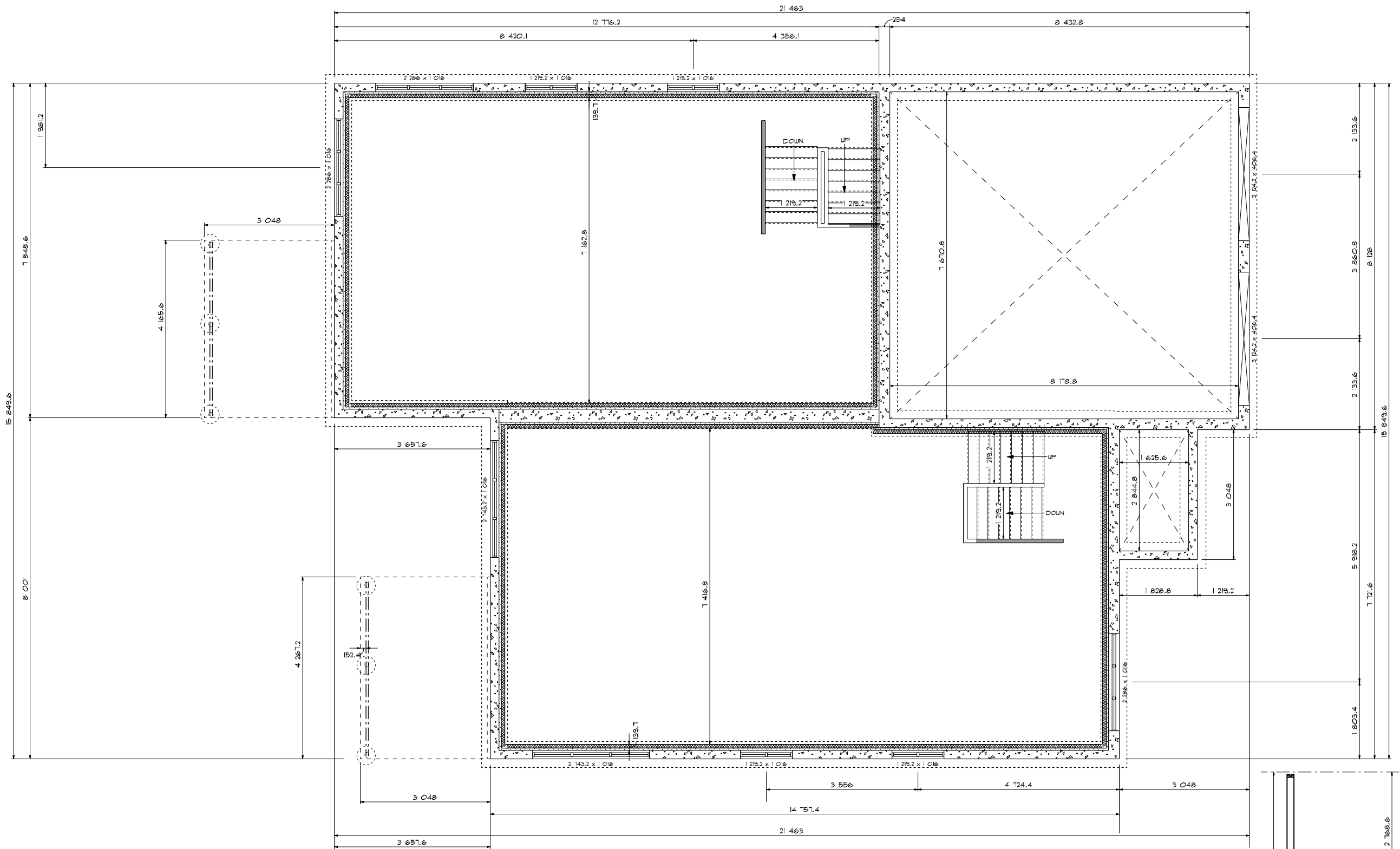
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613-443-3461

PROJECT NAME

**PROPOSED RESIDENCE
& SECONDARY UNIT
FOR
U&I BUILDERS 2022 LTD**

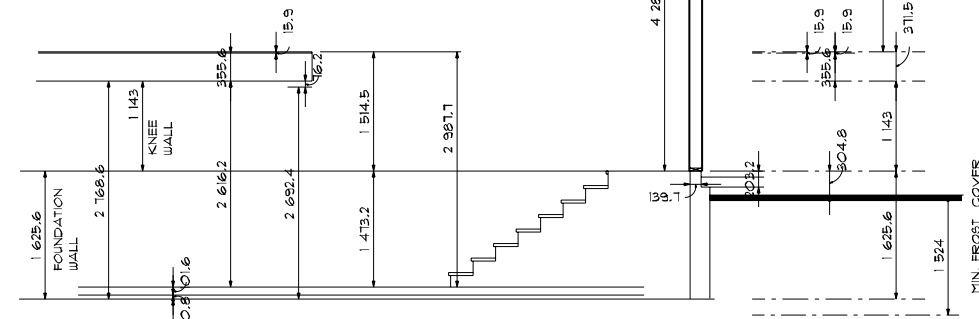
2560 MER BLEUE ROAD, OTTAWA, ON.

PROJECT NO.	2024-0068	DRAWINGS NO.	2 / 4
DRAWN BY	L.Lavoie		
VERIFIED BY			



BASEMENT PLAN

SCALE: 1/8" = 1'-0"



POST TABLE :

P1 = 3" DIA. TELEPOST
 P2 = 3 1/2"x3 1/2"x0.25" H.S.S. STEEL COLUMN C/W 5 1/2" x 9" x 1/2" STEEL PLATE C/W TWO 1/2" ANCHOR BOLTS @ BOTTOM & TOP OR ADJUSTABLE STEEL COLUMN BY MITEK (RED JACK POST)
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 3 1/4" x 5 1/4" PARALLAM POST
 P6 = 5 1/4" x 5 1/4" PARALLAM POST
 P.L. = POINT LOAD

LINTEL TABLE:

L1 = 2- 2X10 WITH P2 ON EACH SIDE (1 STUD + 1 JACK)
 L2 = 3- 2X10 WITH P3 ON EACH SIDE (1 STUD + 2 JACK)
 L3 = 2- 1 3/4" x 9 1/2" L.V.L. WOOD BEAM WITH P3 ON EACH SIDE (1 STUD + 2 JACK)
 L4 = 3- 1 3/4" x 9 1/2" L.V.L.
 L5 = 2- 1 3/4" x 11 7/8" L.V.L.
 L6 = 3- 1 3/4" x 11 7/8" L.V.L.

PROFESSIONAL ENGINEER

**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION**

**PRODUCTS & MATERIAL
SHALL NOT BE ORDERED
WITH THESE DRAWINGS**

I, _____, DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C, OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.

INDIVIDUAL B.C.I.N.: _____
 FIRM B.C.I.N.: 112054

DATE _____

REGISTERED B.C.I.N.
 ARCHITECTURAL DESIGNER

NO.	REVISIONS	DATE
5	ISSUED FOR PERMISSION	12/11/2024
4	ISSUED FOR APPROVAL	24/09/2024
3	ISSUED FOR CHANGES	11/09/2024
2	ISSUED FOR CHANGES	15/08/2024
1	ISSUED FOR PRELIMINARY	09/08/2024

LAVOIE
 DESIGN & DRAFTING INC.

1041 NOTRE DAME STREET, P.O. BOX 928,
 EMBURUN, ON. K0A 1W0

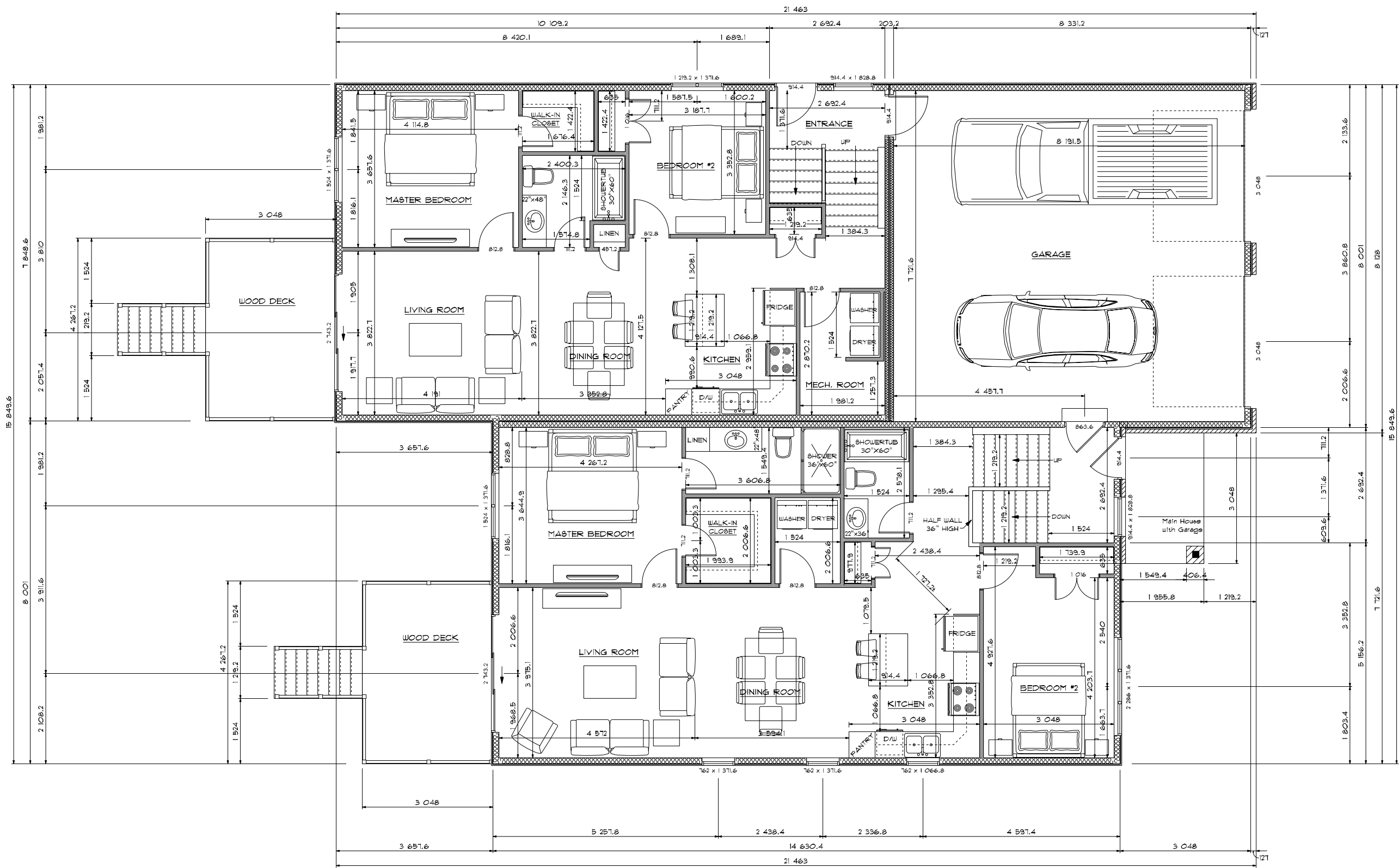
WEBSITE: WWW.LAVOIEDESIGN.CA
 EMAIL: INFO@LAVOIEDESIGN.CA
 613-443-3461

PROJECT NAME

**PROPOSED RESIDENCE
& SECONDARY UNIT
FOR
U&I BUILDERS 2022 LTD**

2560 MER BLEUE ROAD, OTTAWA, ON.

PROJECT NO.	2024-0068	DRAWINGS NO.	3/4
DRAWN BY	L.Lavoie		
VERIFIED BY			



MAIN FLOOR UNIT 1256 SQ.FT. + GARAGE 718 SQ.FTSECOND UNIT 1036 SQ.FT.

MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

- POST TABLE :**
 P1 = 3" DIA. TELEPOST
 P1a = 3 1/2"x3 1/2"x0.25" H.S.S. STEEL COLUMN C/W 5 1/2" x 9" x 1/2" STEEL PLATE C/W TWO 1/2" ANCHOR BOLTS @ BOTTOM 4 TOP OR ADJUSTABLE STEEL COLUMN BY MITEK (RED JACK POST)
 P2 = 2x4 OR 2x6
 P3 = 3x4 OR 3x6
 P4 = 4x4 OR 4x6
 P5 = 3 1/4" x 5 1/4" PARALLAM POST
 P6 = 5 1/4" x 5 1/4" PARALLAM POST
 P.L. = POINT LOAD
- LINTEL TABLE:**
 L1 = 2- 2X10 WITH P2 ON EACH SIDE (1 STUD + 1 JACK)
 L2 = 3- 2X10 WITH P3 ON EACH SIDE (1 STUD + 2 JACK)
 L3 = 2- 1 3/4" x 9 1/2" L.V.L. WOOD BEAM WITH P3 ON EACH SIDE (1 STUD + 2 JACK)
 L4 = 3- 1 3/4" x 9 1/2" L.V.L.
 L5 = 2- 1 3/4" x 11 7/8" L.V.L.
 L6 = 3- 1 3/4" x 11 7/8" L.V.L.

PROFESSIONAL ENGINEER

**PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION**

**PRODUCTS & MATERIAL
SHALL NOT BE ORDERED
WITH THESE DRAWINGS**

I, _____, DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF DIVISION C. OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.

INDIVIDUAL B.C.I.N.: _____
 FIRM B.C.I.N.: 12054

DATE _____

REGISTERED B.C.I.N.
 ARCHITECTURAL DESIGNER

NO.	REVISIONS	DATE
5	ISSUED FOR PERMISSION	12/11/2024
4	ISSUED FOR APPROVAL	24/09/2024
3	ISSUED FOR CHANGES	11/09/2024
2	ISSUED FOR CHANGES	05/08/2024
1	ISSUED FOR PRELIMINARY	09/08/2024

LAVOIE
 DESIGN & DRAFTING INC.

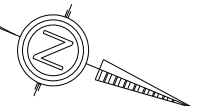
1041 NOTRE DAME STREET, P.O. BOX 928,
 EMBURUN, ON. K0A 1W0

WEBSITE: WWW.LAVOIEDESIGN.CA
 EMAIL: INFO@LAVOIEDESIGN.CA
 613-443-3461

PROJECT NAME

**PROPOSED RESIDENCE
& SECONDARY UNIT
FOR
U&I BUILDERS 2022 LTD**
 2560 MER BLEUE ROAD, OTTAWA, ON.

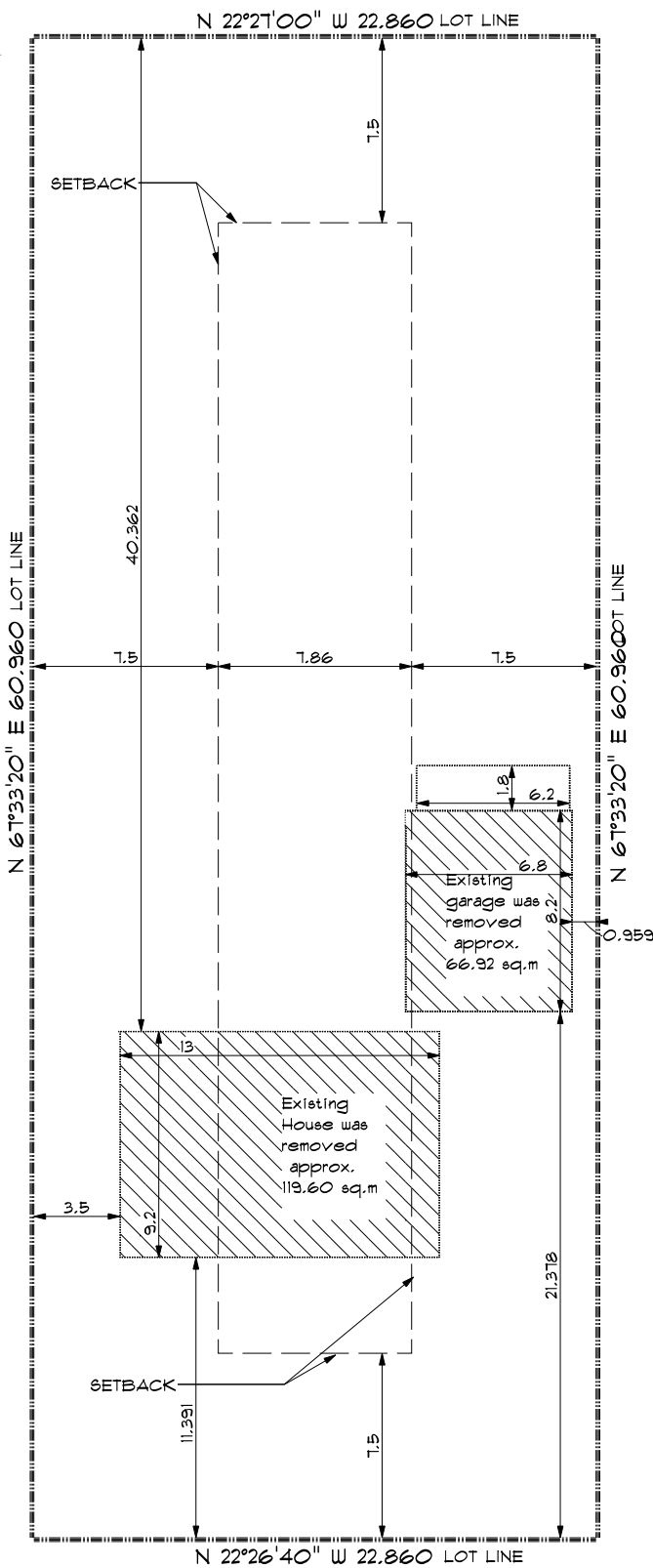
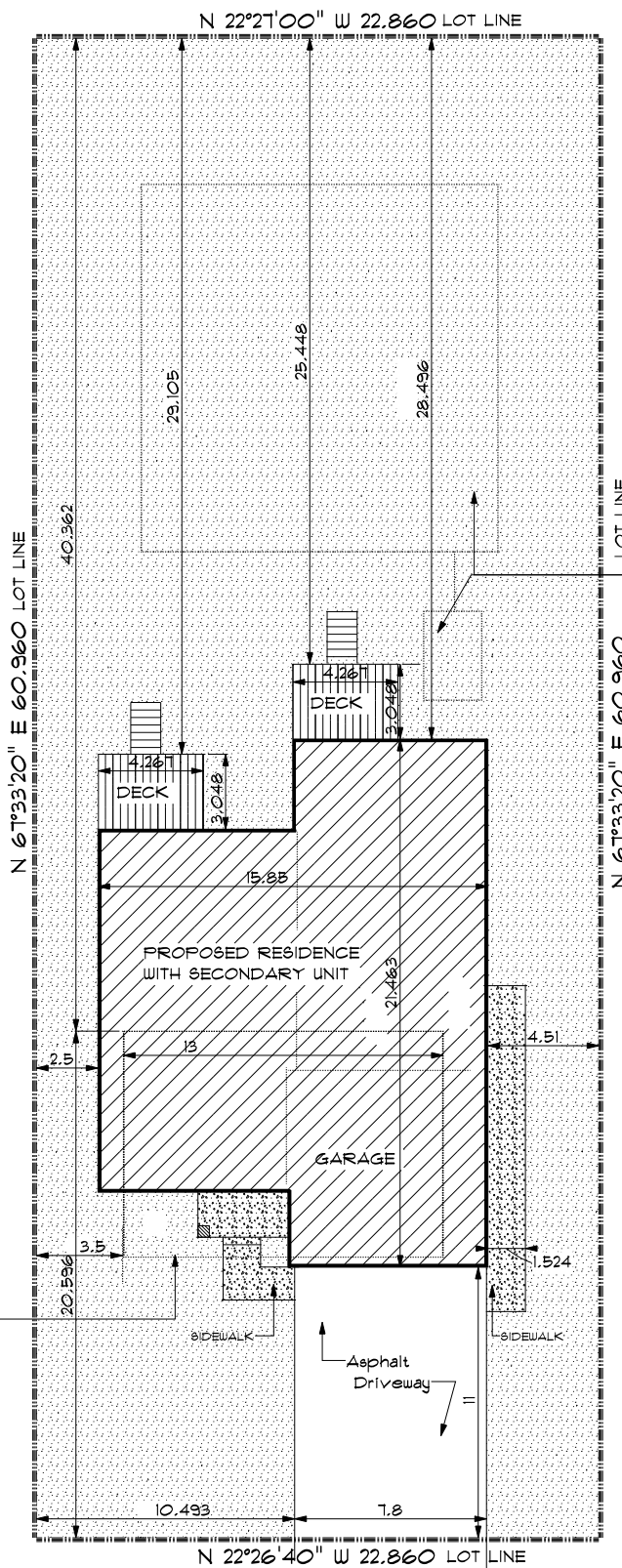
PROJECT NO.	2024-0068	DRAWINGS NO.
DRAWN BY	L.Lavoie	4 4
VERIFIED BY		



PART OF LOT 1
CONCESSION 4 (OTTAWA FRONT)
CITY OF OTTAWA

SITE LINE AS PER
SURVEY FROM
ARPENTAGE DUTRISAC SURVEYING INC.

Committee of Adjustment
 Received | Reçu le
2024-12-05
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



DATA			
PROJECT : PROPOSED RESIDENCE WITH SECONDARY UNIT			
ZONING DR			
BUILDING SIZE - 15.85 M X 21.463 M			
BUILDING AREA	PROPOSED PROJECT	EXISTING BURNT BUILDING	
- MAIN UNIT 116.68 SQ.M - SECONDARY UNIT 101.82 SQ.M - GARAGE 66.70 SQ.M TOTAL= 284.9 SQ.M + DECK /VERANDA 31.58 SQ.M TOTAL AREA= 316.48 SQ.M		- MAIN HOUSE 119.60 SQ.M - SEPARATE GARAGE 66.92 SQ.M TOTAL AREA= 186.52 SQ.M	
I	SUB-ZONE -		
(A)	LOT WIDTH (M) - MIN. LOT WIDTH REQ'D -	22.96 M N/A	22.96 M N/A
(B)	LOT AREA (SQ. M) - MIN. LOT AREA REQ'D -	1393.14 SQ.M N/A	1393.14 SQ.M N/A
(C)	FRONT YARD SETBACK (M) - MIN. FRONT YARD REQ'D -	11.0 M 1.5 M	+/- 11.39 M 1.5 M
(D)	REAR YARD SETBACK (M) - MIN. REAR YARD REQ'D -	+/- 28.496 M 1.5 M	+/- 40.362 M 1.5 M
(E)	INTERIOR SIDE YARD SETBACK (M) - MIN. INTERIOR SIDE YARD REQ'D -	2.5 M 1.5 M	+/- 3.5 M 1.5 M
(F)	CORNER SIDE YARD SETBACK (M) - MIN. CORNER SIDE YARD REQ'D -	N/A	N/A
(G)	BUILDING HEIGHT (M) - MAX. BUILDING HEIGHT	5.89 M 11 M	+/- 4.5 M 11 M
(H)	LOT COVERAGE (%) - MAX. LOT COVERAGE -	22.111 %=316.48 SQ.M 30 %	13.39 %=186.54 SQ.M 30 %

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

PRODUCTS & MATERIAL
SHALL NOT BE ORDERED
WITH THESE DRAWINGS

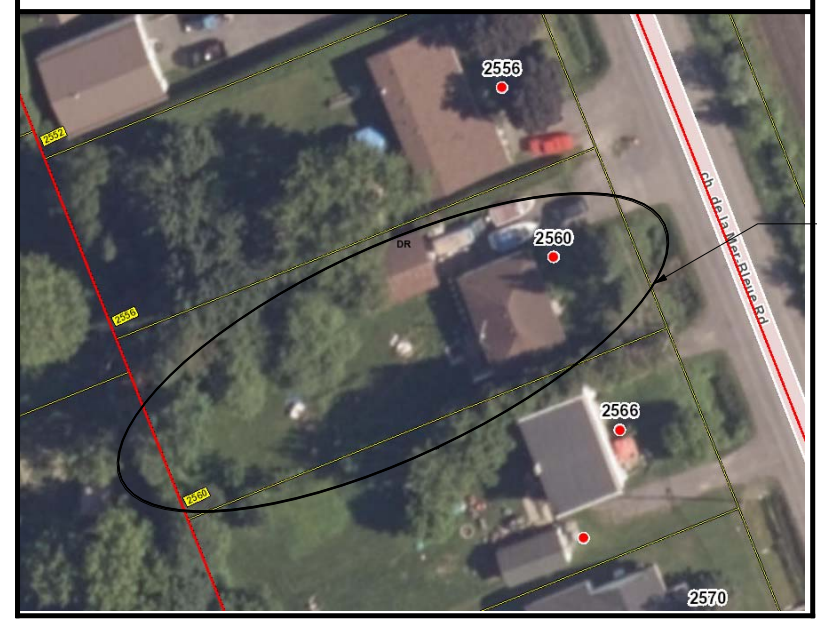
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INDIVIDUAL B.C.I.N.:
FIRM B.C.I.N.: 112054

DATE _____

REGISTERED B.C.I.N.
ARCHITECTURAL DESIGNER

KEY PLAN



SUBJECT PROPERTY
2560

SITE PLAN - PROPOSED PROJECT
SCALE 1 : 300

SITE PLAN - EXISTING BURNT BUILDING & SETBACK
SCALE 1 : 300

NO.	REVISIONS	DATE
3	ISSUED FOR PERMISSION	12/11/2024
2	ISSUED FOR CHANGES	11/09/2024
1	ISSUED FOR PRELIMINARY	15/08/2024

LAVOIE
DESIGN & DRAFTING INC.

1041 NOTRE DAME STREET, P.O. BOX 928,
EMBRUN, ON. K0A 1W0

WEBSITE: WWW.LAVOIEDESIGN.CA
EMAIL: INFO@LAVOIEDESIGN.CA
613-443-3461

PROJECT NAME
PROPOSED DWELLING & SECONDARY UNIT FOR U & I BUILDERS 2022 LTD
2560 MER BLEUE RD, OTTAWA, ON

PROJECT NO. 2024-0068	DRAWINGS NO. SP1
DRAWN BY B.CLEMENS L.LAVOIE	SP1
VERIFIED BY	SP1