

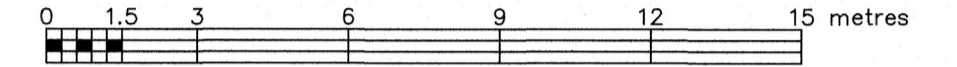
Committee of Adjustment  
Received | Reçu le  
2024-11-20  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT  
PART 1 Plan of

PART OF LOTS 15 AND 16  
REGISTERED PLAN 462 AND  
PART OF BLOCK D  
REGISTERED PLAN 652  
CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2024

Scale 1: 150



Metric Note

Distances and coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note

Bearings are astronomic and are derived from the westerly limit of Part 2 Plan 5R-9341 having a bearing of N 19° 34' 20" E.

Notes & Legend

Denotes	
□	Survey Monument Planted
■	Survey Monument Found
SIB	Standard Iron Bar
SSIB	Short Standard Iron Bar
IB	Iron Bar
IP	Iron Pipe
(Wit)	Witness
Meas	Measured
(P1)	Registered Plan 462
(P2)	Registered Plan 652
(P3)	Plan 5R-9341
(P4)	Plan 4R-24925
(P5)	Plan 5R-12114
(P6)	Plan by (1692) dated February 5, 2021 (File No. 636-20)
OHW	Overhead Wires
UP	Utility Pole
AN	Anchor
CLF	Chain Link Fence
TRW	Timber Retaining Wall
C/L	Centreline

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- PART 2**
- REGISTERED RIGHTS-OF-WAY/EASEMENTS**  
No rights-of-way or easements were found to be registered against the subject property.
  - PROPERTY IMPROVEMENTS**  
The location of the fencing and retaining walls in relation to the property lines are noted on the plan.
  - COMPLIANCE WITH MUNICIPAL ZONING BYLAWS**  
Compliance is not certified by this report.
  - ADDITIONAL REMARKS**  
Site Area=1958.2 sq.m.

THIS REPORT WAS PREPARED FOR:  
Ihsan Saritoprak ("The Client"), the Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

**Surveyor's Certificate**  
I certify that:  
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.  
2. The survey was completed on the 22nd day of August, 2024.

Aug. 30/24  
Date  
Daniel Robinson  
Ontario Land Surveyor

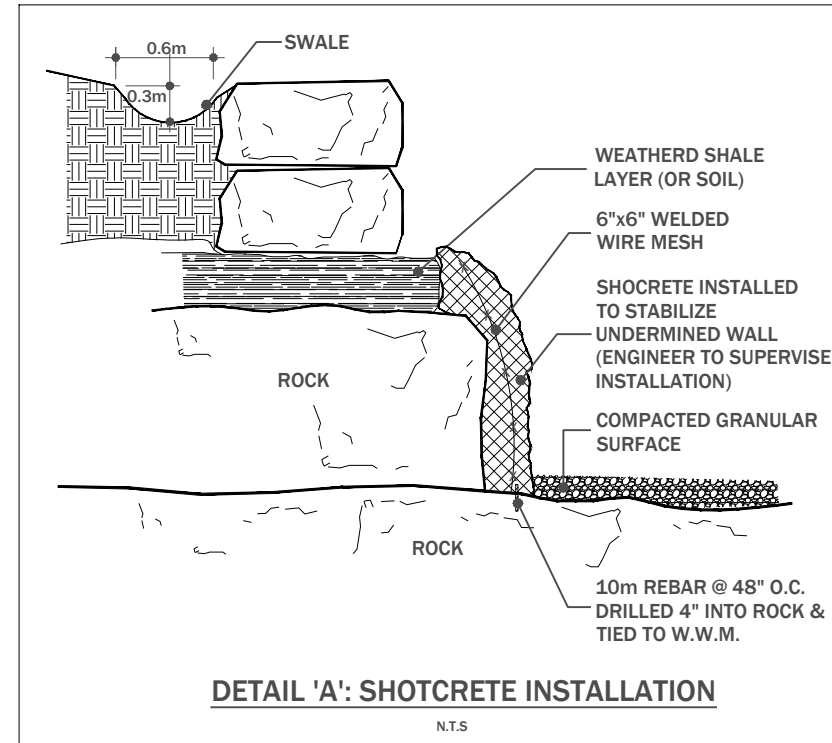
This plan of survey relates to AOLS Plan Submission Form Number V-80510  
FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS  
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6  
TEL. (613) 727-8226 E-mail: fsdsurveys@bellnet.ca

FILE No.: 297-24

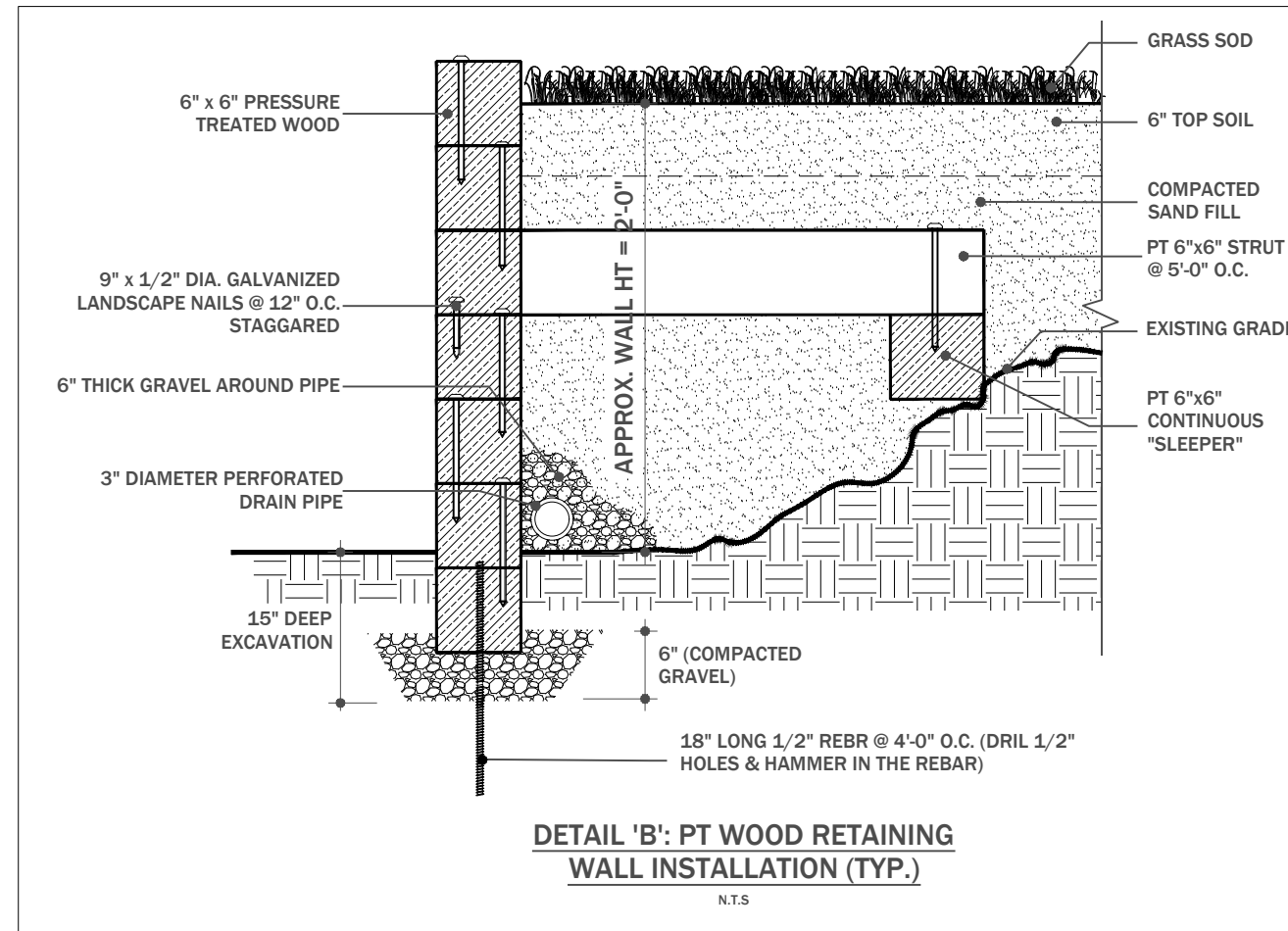
**PROPERTY INFORMATION:**

- PART OF LOT 15 & 16 REGISTERED PLAN 462 & PART OF BLK 'D' REGISTERED PLAN 652 CITY OF OTTAWA
- ZONING: R1A1
- LOT AREA: 2,347.9 sq.m
- ZONING PROVISIONS:  
 MIN LOT WIDTH = 30m  
 MIN LOT AREA = 1,390 sq.m  
 MAX BLDG HEIGHT = 11m  
 MIN FRONT YARD SETBACK = 5m  
 MIN REAR YARD SETBACK = 7m  
 MIN INTERIOR YARD SETBACK = 3m  
 MAX LOT COVERAGE = N.A



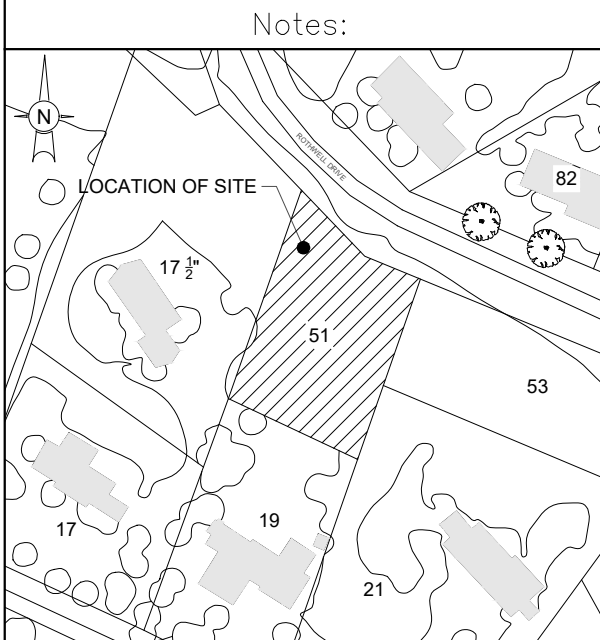
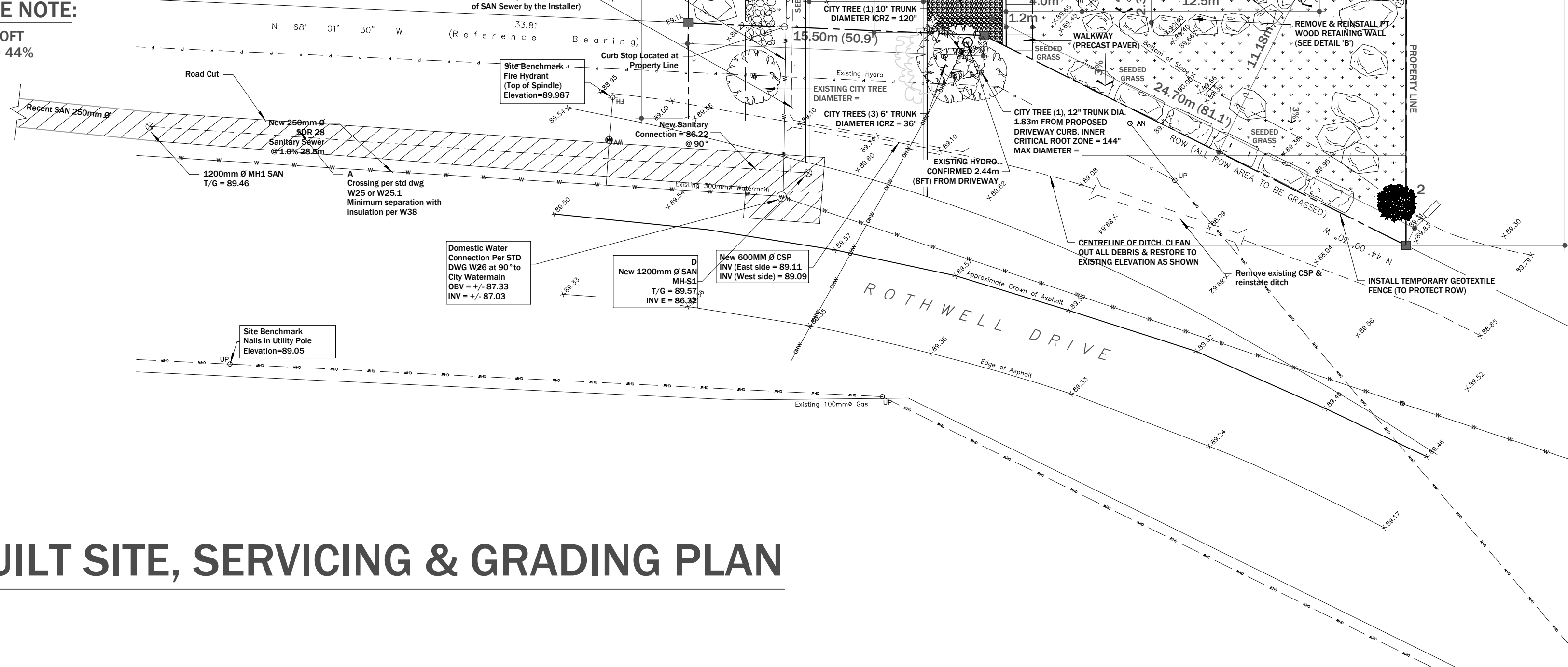
**LEGEND**

- EXISTING ELEVATION
- PROPOSED ELEVATION
- AMOR STONE
- D.S. DOWNSPOUT
- EM ELECTRIC METER
- RM REMOTE WATER METER
- H HYDRO



**SOFT LANDSCAPE NOTE:**

- TOTAL FRONT YARD SOFT LANDSCAPED AREA = 44%



**KEY PLAN**  
N.T.S.



REVISION	DESCRIPTION	DATE
6	REVISION	03/11/24
5	REVISION	18/10/24
4	REVISION	16/10/24
3	REVISION	22/09/24
2	REVISION	08/09/24
1	AS-BUILT	25/08/24

PROJECT: **NEW SINGLE FAMILY DWELLING**

CLIENT:

ENGINEER: **ROCKVILLE ENG INC**  
 323 COVENTRY RD, UNIT 7  
 OTTAWA, ON  
 K1K 3X6  
 rockvilleenginc.com

SITE: **49 ROTHWELL DR**  
**GLOUCESTER, ON**

TITLE: **AS-BUILT SITE, SERVICING & GRADING PLAN**

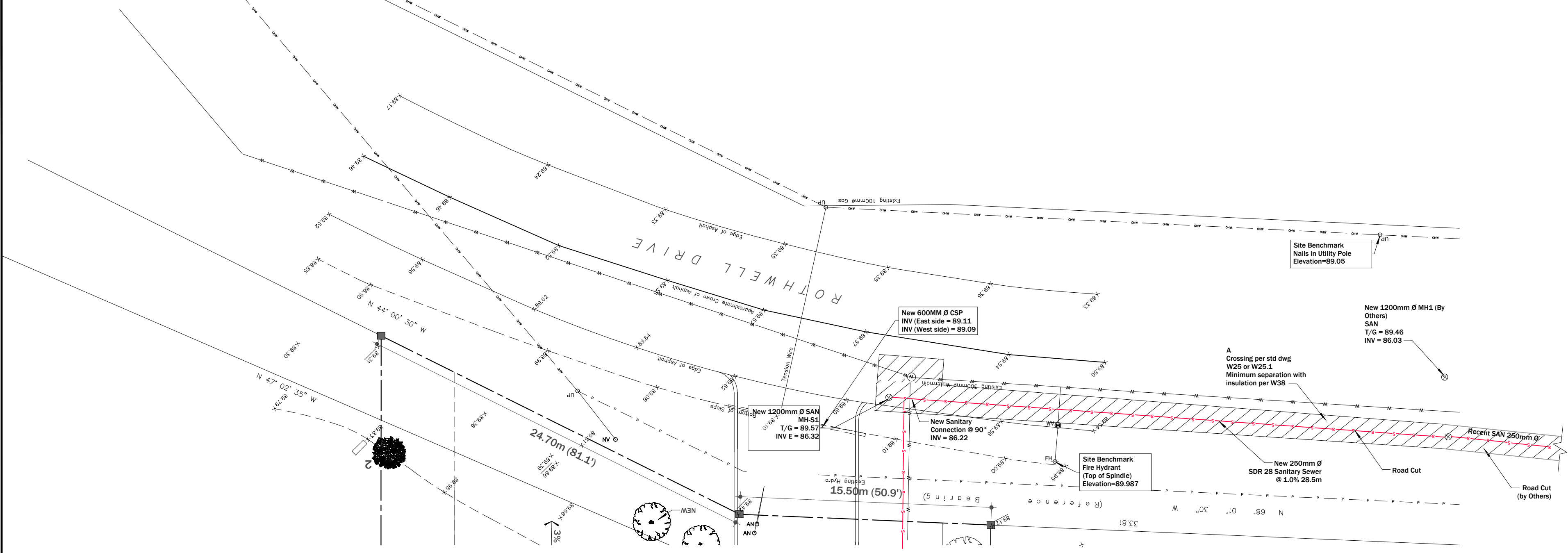
DATE: 03/11/2024  
 DESIGNED: CE  
 DRAWN: NE  
 CHECKED: CE

SCALE: 1:200  
 DRAWING NO: S1  
 SHEET: 2 of 17



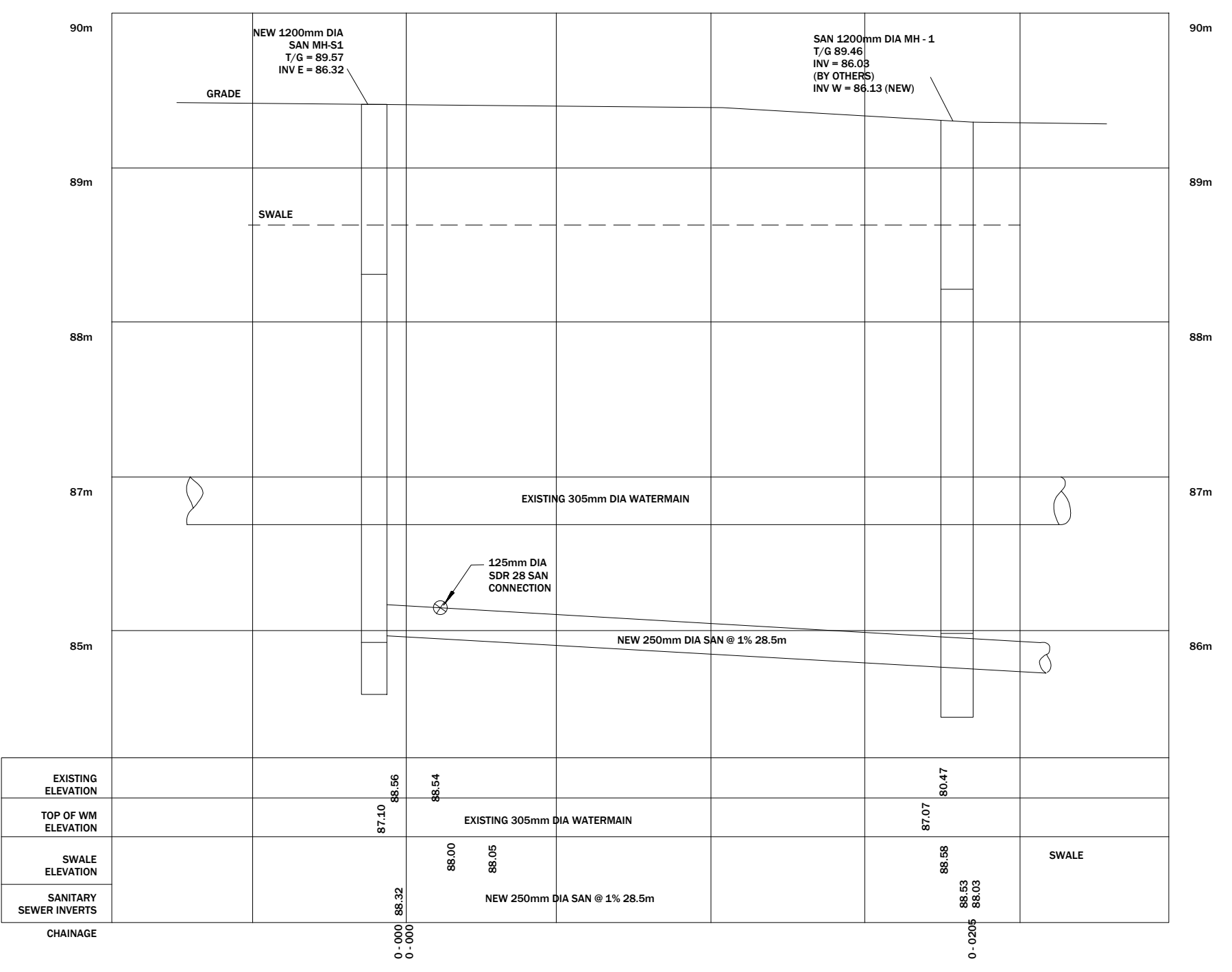
**AS-BUILT SITE, SERVICING & GRADING PLAN**

SCALE: 1:200

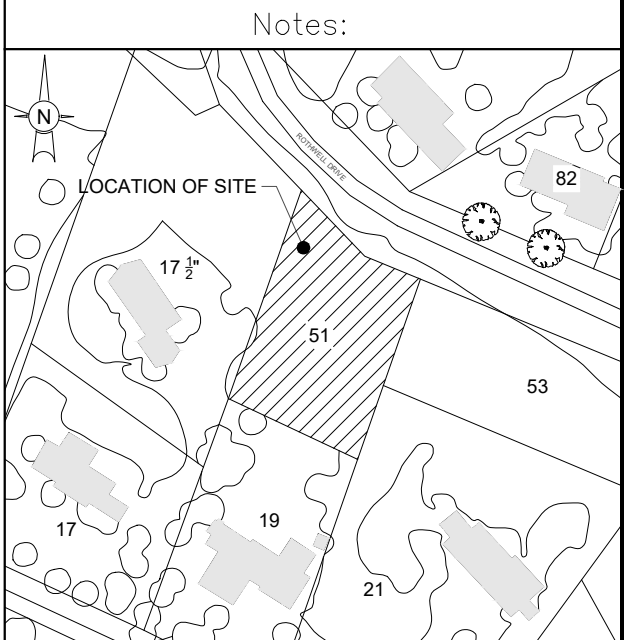


**SEWER NOTES:**

- 1) SPECIFICATIONS:  
ITEM SPEC. No. REFERENCE  
SEWER SERVICE CONNECTION - RIGID PIPE S11 CITY OF OTTAWA  
SEWER SERVICE ABANDONMENT S11.4 CITY OF OTTAWA / OPSD  
SEWER TRENCH - BEDDING (GRANULAR A) S6, S7, W17 CITY OF OTTAWA / OPSD  
COVER (GRANULAR A OR GRANULAR B TYPE 1, S6, S7, W17 WITH MAXIMUM PARTICLE SIZE = 25mm)  
STORM SEWER PVC DR 35
- 2) INSULATE ALL PIPES (SAN/STM) THAT HAVE LESS THAN 1.5m COVER WITH 50mm x 1200mm HI-40 INSULATION. PROVIDE 150mm CLEARANCE BETWEEN PIPE AND INSULATION.
- 3) SERVICES ARE TO BE CONSTRUCTED TO 1.0m FROM FACE OF BUILDING AT A MINIMUM SLOPE OF 1.0%.
- 4) PIPE BEDDING, COVER AND BACKFILL ARE TO BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. THE USE OF CLEAR CRUSHED STONE AS A BEDDING LAYER SHALL NOT BE PERMITTED.
- 5) FLEXIBLE CONNECTIONS ARE REQUIRED FOR CONNECTING PIPES TO MANHOLES (FOR EXAMPLE KOR-N-SEAL, PSX, POSITIVE SEAL AND DURASEAL). THE CONCRETE CRADLE FOR THE PIPE CAN BE ELIMINATED.
- 6) THE OWNER SHALL REQUIRE THAT THE SITE SERVICING CONTRACTOR PERFORM FIELD TESTS FOR QUALITY CONTROL OF ALL SANITARY SEWERS. LEAKAGE TESTING SHALL BE COMPLETED IN ACCORDANCE WITH OPSS 410.07.16.04 AND 407.07.24. DYE TESTING IS TO BE COMPLETED ON ALL SANITARY SERVICES TO CONFIRM PROPER CONNECTION TO THE SANITARY SEWER MAIN.
- 7) FULL PORT BACKWATER VALVES ARE REQUIRED ON THE SANITARY SERVICES. INSTALLED AS PER THE MANUFACTURERS RECOMMENDATIONS AND A BACKWATER VALVE IS REQUIRED ON THE STORM SERVICES / FOUNDATION DRAINS FOR EACH BUILDING; INSTALLED AS PER STD. DWG S14.
- 8) REINSTATE ALL EXISTING PAVEMENT, CURB AND BOULEVARDS AS PER CITY OF OTTAWA R10.
- 9) MONITORING TEST PORTS FOR BUILDING SERVICES TO BE INSTALLED IN PARKING GARAGE.



PROFILE  
HORIZONTAL 1:200  
VERTICAL 1:20



KEY PLAN  
N.T.S.



REV.	DESCRIPTION:	BY:	DATE:
6	REVISION		03/11/24
5	REVISION		18/10/24
4	REVISION		16/10/24
3	REVISION		22/09/24
2	REVISION		08/09/24
1	AS-BUILT		25/08/24

PROJECT:  
**NEW SINGLE FAMILY DWELLING**

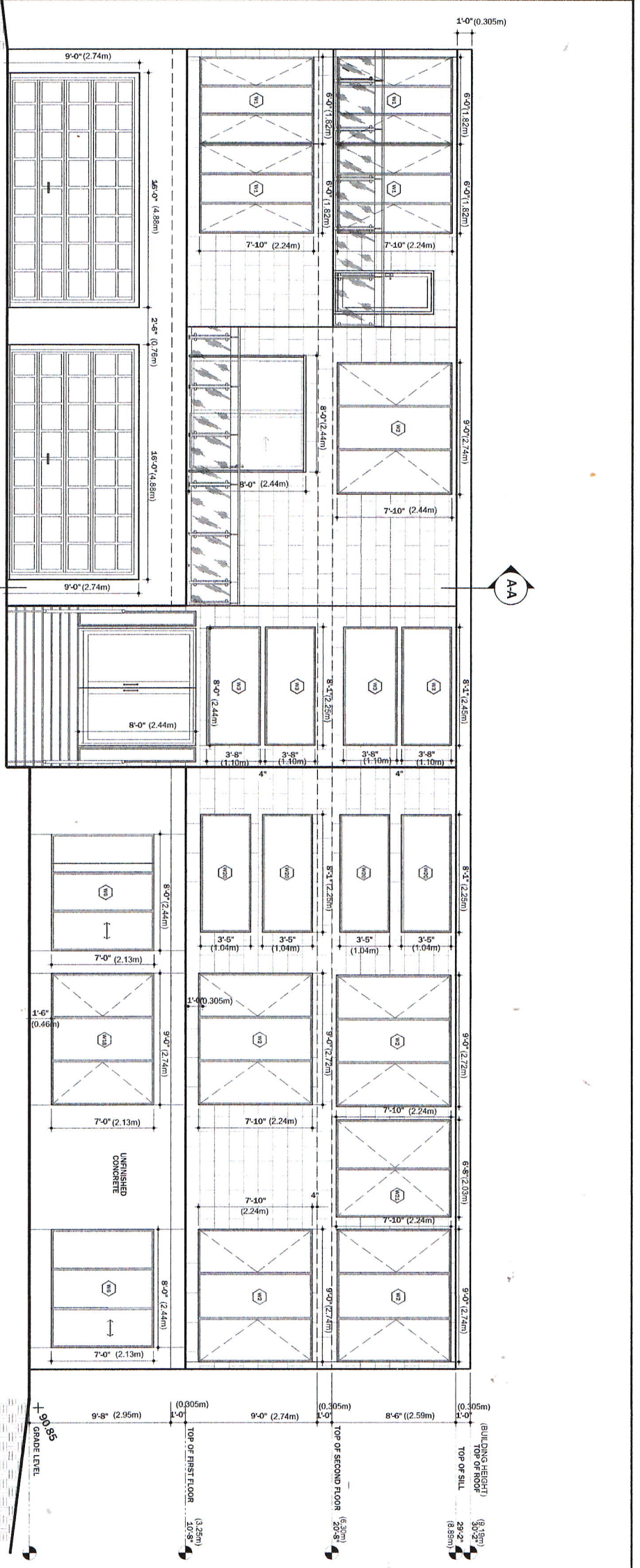
CLIENT:  
ENGINEER: **ROCKVILLE ENG INC**  
323 COVENTRY RD, UNIT 7  
OTTAWA, ON  
K1K 3X6  
rockvilleenginc.com

SITE: **49 ROTHWELL DR**  
**GLOUCESTER, ON**  
TITLE: **AS-BUILT SITE, GRADING & SERVICING PLAN**  
DATE: **03/11/2024** DESIGNED: **CE** DRAWN: **NE** CHECKED: **CE**  
SCALE: **1:200** DRAWING NO: **S2** SHEET: **3 of 17**



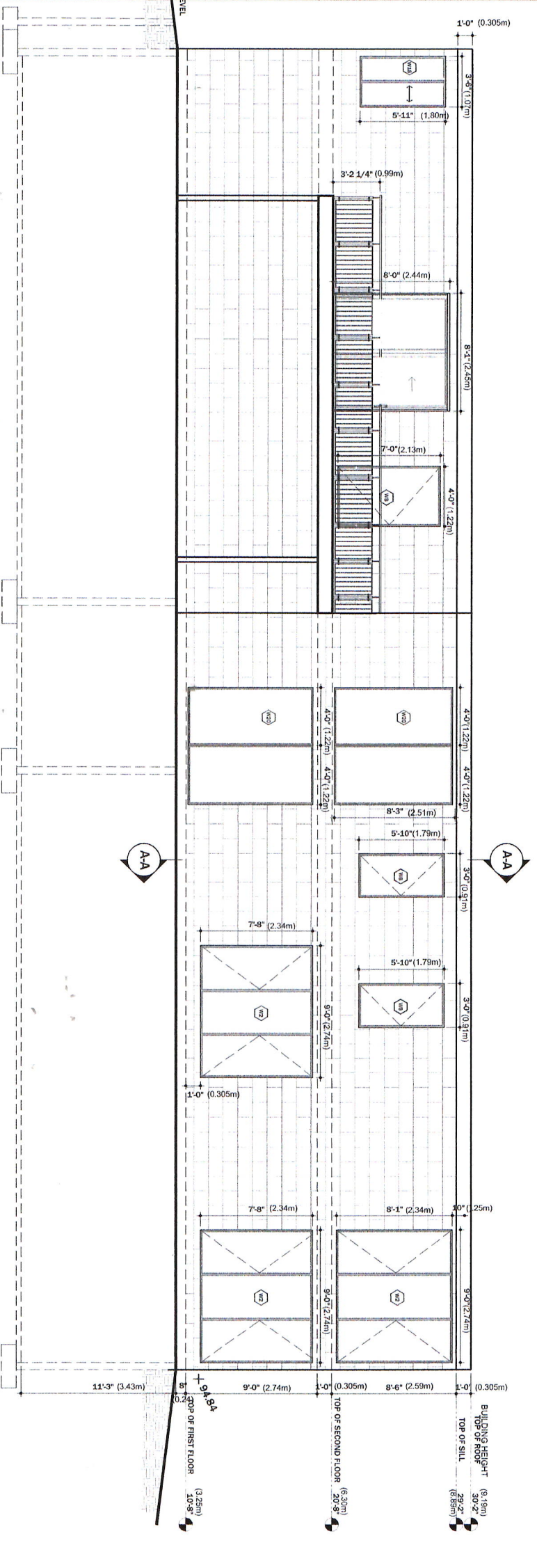
# AS-BUILT SITE, GRADING & SERVICING PLAN

SCALE: 1:200



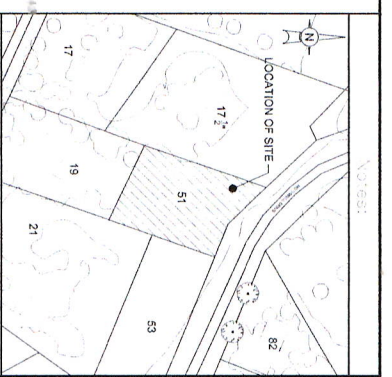
**1**  
A2  
SCALE: 3/16" = 1'-0"  
(SCALE = 1:75)

**FRONT ELEVATION**



**2**  
A2  
SCALE: 3/16" = 1'-0"  
(SCALE = 1:75)

**REAR ELEVATION**



**KEY PLAN**  
N.T.S.



NO.	REVISION	DATE
5	REVISION	01/24/22
4	REVISION	10/04/21
3	REVISION	09/06/21
1	REVISION	03/28/21
0	DESCRIPTION	DATE
0	00/00/00	00/00/00

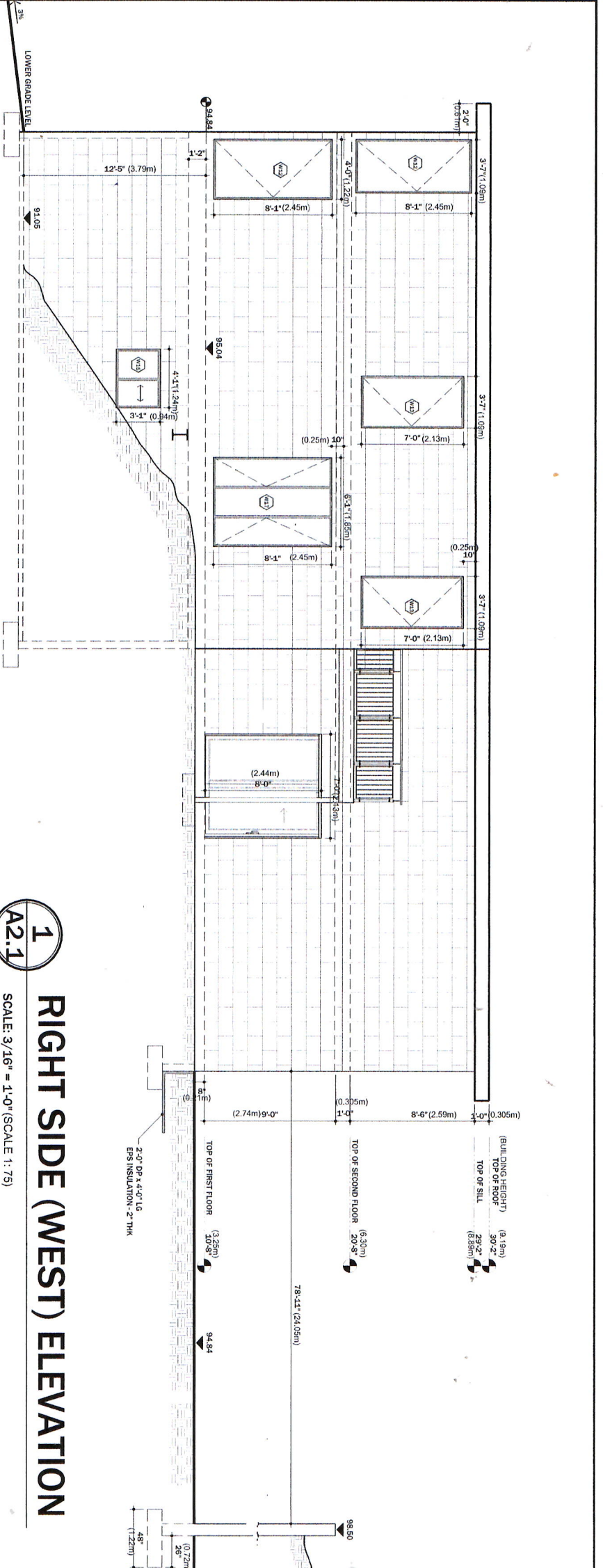
**NEW SINGLE FAMILY DWELLING**

ROCKVILLE ENG INC  
323 COVENTRY RD. UNIT 7  
OTTAWA, ON  
K1K 3X6  
rockvilleenginc.com

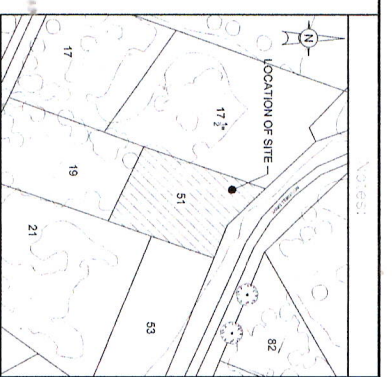


49 ROTHWELL DR  
GLOUCESTER, ON

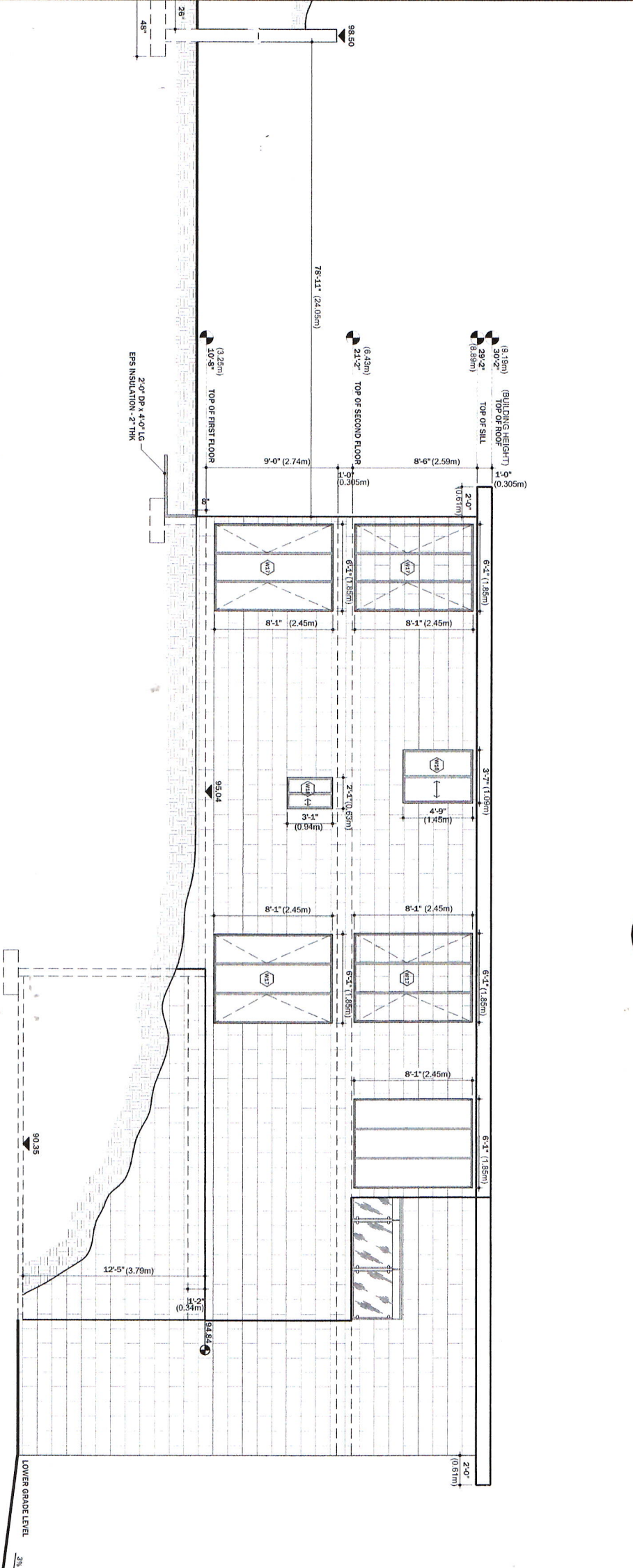
01/24/2022  
CE  
NE  
CE  
3/16" = 1'-0" A2 3 of 17



**1**  
**A2.1**  
 RIGHT SIDE (WEST) ELEVATION  
 SCALE: 3/16" = 1'-0" (SCALE 1:75)



**KEY PLAN**  
 N.T.S.



**2**  
**A2.1**  
 LEFT SIDE (EAST) ELEVATION  
 SCALE: 3/16" = 1'-0" (SCALE 1:75)



NO.	REVISION	DATE
5	REVISION	01/24/22
4	REVISION	10/04/21
3	REVISION	09/06/21
1	REVISION	03/28/21
0	DECEPTION	DATE

PROJECT:  
**NEW SINGLE FAMILY DWELLING**

CLIENT:  
**ROCKVILLE ENG INC**  
 323 CONVENTRY RD. UNIT 7  
 OTTAWA, ON  
 K1K 3X6  
 rockvilleenginc.com



DESIGNER:  
**49 ROTHWELL DR**  
**GLOUCESTER, ON**

DATE	REVISION	BY	CHKD BY
01/24/2022	CE	NE	CE
3/1/6" = 1'-0"	A2.1		4 of 17