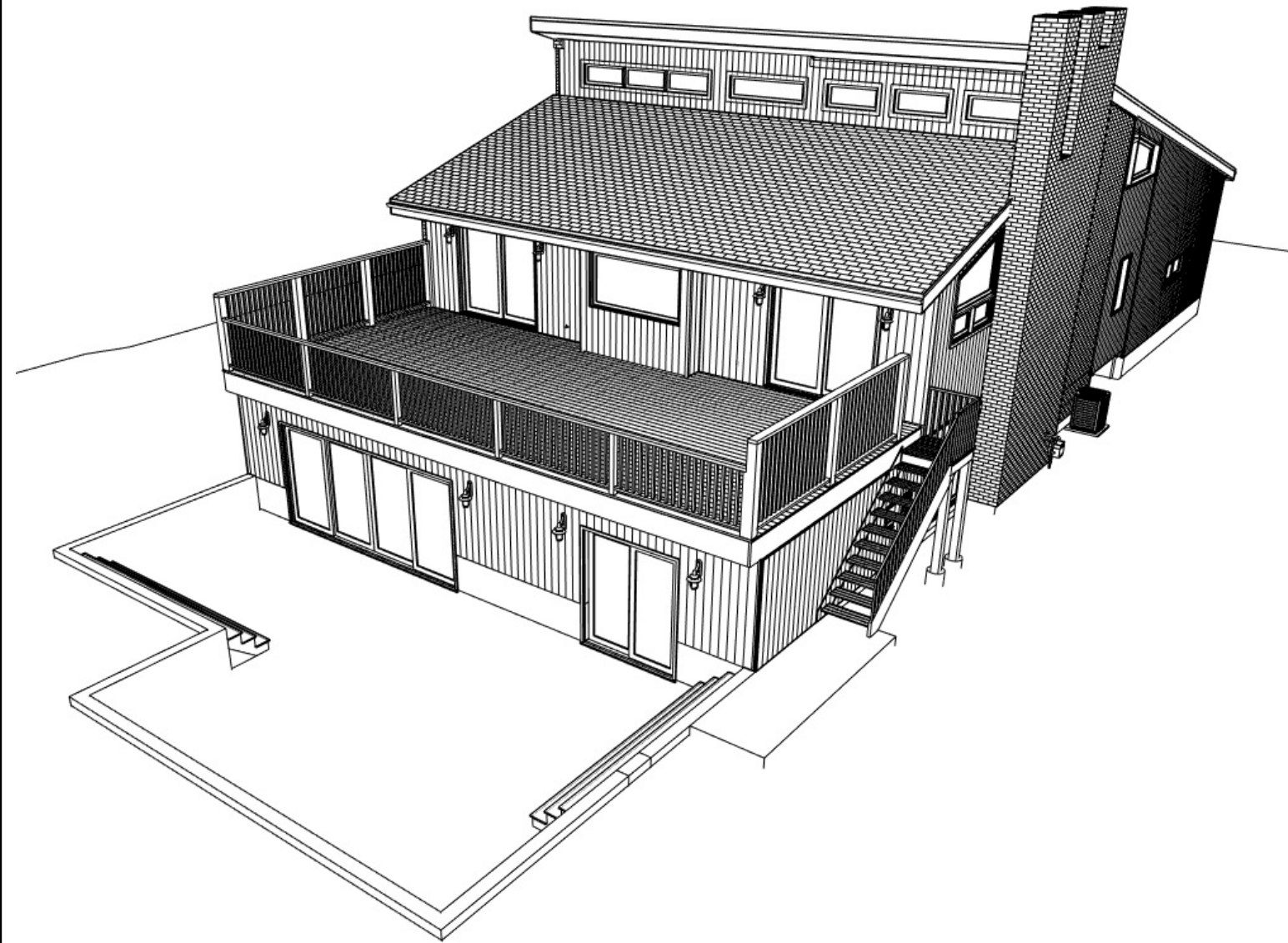
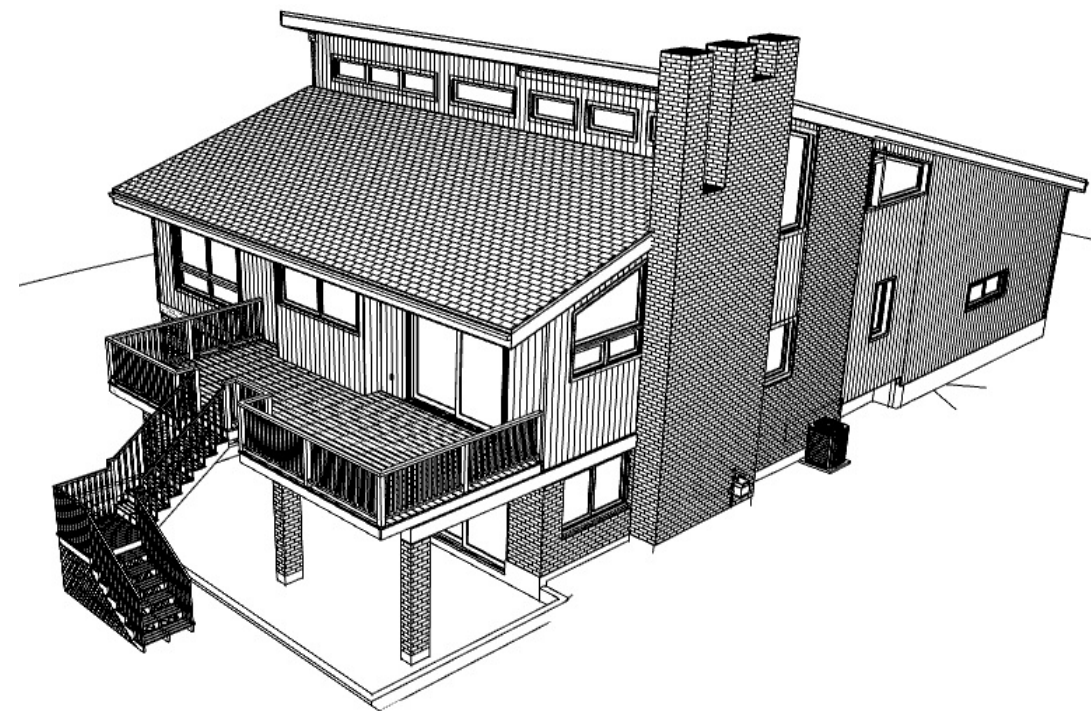


ADDITION ARTIST RENDERING



BEFORE RENDERING



**Committee of Adjustment**  
 Received | Reçu le  
  
**2024-05-21**  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation

LABEL

- A0
- A1.0
- A2.0
- A2.1
- A2.2
- A3.0
- A3.1
- A3.2
- A3.3
- A4.1
- A4.2
- A4.3
- A5.0

LAYOUT PAGE TABLE

LABEL	TITLE
	PERSPECTIVES
A0	CONSTRUCTION NOTES & ASSEMBLY
A1.0	SITE PLAN
A2.0	EXISTING BASEMENT FLOOR DEMOLITION PLAN
A2.1	EXISTING GROUND FLOOR DEMOLITION PLAN
A2.2	EXISTING SECOND FLOOR DEMOLITION PLAN
A3.0	PROPOSED BASEMENT FLOOR PLAN
A3.1	PROPOSED BASEMENT FLOOR PLAN
A3.2	PROPOSED GROUND FLOOR PLAN
A3.3	PROPOSED SECOND FLOOR PLAN
A4.1	EXTERIOR ELEVATION (REAR)
A4.2	EXTERIOR ELEVATION (LEFT SIDE)
A4.3	EXTERIOR ELEVATION (LEFT SIDE)
A5.0	BUILDING SECTION



DO NOT SCALE DRAWINGS.  
 ALL DIMENSIONS TO BE CHECKED AND VERIFIED.  
 DESIGN IS IN ACCORDANCE WITH LOCAL BYLAWS AND the 2012 ONTARIO BUILDING CODE. ALL FABRICATIONS AND ERECTION SHALL BE IN ACCORDANCE WITH LOCAL BYLAWS AND the 2012 ONTARIO BUILDING CODE.  
 HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.  
 TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/ OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE AT THE OWNER'S AND/ OR CONTRACTOR'S EXPENSE AND RESPONSIBILITY.  
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE DESIGNER/ ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

**DISCLAIMER NOTE:**  
 - DUSTIN DESIGN & DRAFTING COMPANY IS NOT RESPONSIBLE FOR ANY PURCHASES REGARDING THE CONSTRUCTION (FLOOR & ROOF MATERIALS, WINDOWS & DOORS MATERIALS OR ANY OTHER TYPE OF MATERIALS IN ORDER TO BUILD THIS BUILDING).  
 - NONE OF THESE MATERIALS SHOULD BE PURCHASED UNTIL THE PERMIT PLANS HAS BEEN APPROVED BY THE CITY.  
 - THE OWNER(S) AND/OR CONTRACTOR(S) IS TAKING FULL RESPONSIBILITY ON THESE PURCHASES AND THE CONSEQUENCES THAT MAY OCCUR OF THESE DECISIONS.

Dustin Poole  
 BCIN# 37560  
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*Dustin Poole*

QUALIFICATION INFO:  
 SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT BUILDING CODE REQUIREMENTS AND ON-SITE CONDITIONS.

#	DESCRIPTION	YY/MM/DD
01	ISSUED FOR BUILDING PERMIT	23/08/01

PROJECT  
 150 BILLINGS AVENUE  
 RESIDENTIAL DRAWING OTTAWA ONTARIO

PERSPECTIVES

TYPE ADDITION	SCALE NTS
DESIGNED BY	DRAWN BY DP
DATE AUG 01, 2023	SHEET OF [ENT. # PG'S IN SET]



**SPECIFICATIONS**

**1 GENERAL**

-PROTECT ALL WORK FROM DAMAGE. KEEP ALL MATERIALS SECURE. ERECT ALL HOARDING, FENCING, BARRIERS, SCAFFOLDING, AND SIGNAGE AS REQUIRED. -WORKMANSHIP SHALL BE TO THE BEST STANDARD FOR EACH RESPECTIVE TRADE. ERECT ALL WORK ACCURATELY, SQUARE, SECURE, PLUMB, STRAIGHT, TRUE AND TO ACCEPTED TOLERANCES. -PROVIDE AND COMPLY WITH MANUFACTURER'S PRINTED INSTRUCTIONS. CARRY ON WORK ONLY IN WEATHER, TEMPERATURE OR ENVIRONMENTAL CONDITIONS ACCEPTABLE TO INDUSTRY STANDARDS. -MAKE GOOD ALL EXISTING CONDITIONS AS REQUIRED FOR A COMPLETE JOB. CLEAN ALL WORK AND WORK AREAS ON AN ONGOING BASIS. -WHERE FILLING AND PATCHING IS REQUIRED TO MAKE GOOD SUBSTRATE MATERIALS, THIS WORK MUST BE AT LEAST THE SAME QUALITY AS EXISTING AND MUST PROVIDE A FULLY ACCEPTABLE BACKING FOR OVERLAYING FINISHES. -WHERE EXISTING FINISHES ARE EXTENDED OR PATCHED, THE EXISTING FINISHES SHALL BE CUT BACK OR REMOVED AS REQUIRED SO THAT THE JUNCTION BETWEEN NEW AND EXISTING WORK IS NOT APPARENT. -CO-ORDINATE WITH THE PROJECT MANAGER FOR ALL REQUIREMENTS FOR TEMPORARY SERVICES AND FACILITIES. -ALL NEW OR RELOCATED WORK SHALL MATCH ALL EXISTING WORK IN ALL RESPECTS INCLUDING QUALITY, MATERIALS, DETAILS, FINISHES, COLOURS, ETC. -CONTRACTORS ARE TO ENSURE THAT THE CONSTRUCTION IS NOT TO INTERFERE WITH THE NORMAL OPERATION OF THE BUILDING. -TAKE PROPER CARE TO AVOID UNNECESSARY NOISE. ADVISE THE PROJECT MANAGER OF TIME AND MAKE SUITABLE ARRANGEMENTS WHEN EXCESSIVE NOISE OR OBSTRUCTION IS UNAVOIDABLE.

**GENERAL NOTES:**

- ANY CABINETRY, FURNITURE AND EQUIPMENT SHOWN IS FOR GUIDANCE ONLY. THE CLIENT/ CONTRACTOR SHALL PROVIDE ALL CABINETRY, FURNITURE AND EQUIPMENT AND ITS FINAL LAYOUT.

- 1 CO-ORDINATE THE LOCATION AND REQUIREMENTS OF ALL MECHANICAL & ELECTRICAL ITEMS WITH THE CLIENT / CONTRACTOR, SUCH AS SINKS, PLUMBING, DRAINS, VENTS, FANS, TELEPHONE, DATA LINES, RECEPTACLES, SWITCHES, SECURITY SYSTEMS, TELEVISIONS, COMPUTERS, ETC.
- 2 REPAIR ALL HOLES, ROUGH AREAS, ETC. OF ALL EXISTING GYP. WALLS.
- 3 PAINT - AS SELECTED BY CLIENT / CONTRACTOR. PAINT ALL EXPOSED DRYWALL, WOOD DOORS & STEEL FRAMES - ALL SIDES & EDGES
- 4 CERAMIC TILE (CT) AND CT BASEBOARDS AS SELECTED BY THE CLIENT / CONTRACTOR.
- 5 ENSURE BUILDING ENVELOPE CONTINUITY FROM EXISTING TO NEW CONSTRUCTION.

6 ATTIC HATCH MIN SIZE 21 5/8"x35" EXCEPT THAT WHERE THE HATCH SERVES A SINGLE DWELLING UNIT, THE HATCH MAY BE REDUCED TO 3.4FT2 IN AREA WITH NO DIMENSION LESS THAN 21 1/2" & SHALL BE LOCATED WITH UNOBSTRUCTED ACCESS AS PER OBC 9.19.2.1 (2)

7 ALL PRE-ENGINEERED JOISTS SHOP DWG'S WILL BE SUBMITTED TO BUILDING INSPECTOR UPON INSPECTION

8 WINDOWS ARE NUMBERED AND SIZES ARE NOTED ON PLAN DRAWINGS. 9 EXTERIOR AND INTERIOR DOORS ARE NUMBERED AND SIZES ARE NOTED ON PLAN DRAWINGS.

**1 DEMOLITION/REPAIRS/SITWORK**

-LEGALLY DISPOSE OFF-SITE ALL ITEMS REQUIRING REMOVAL. - DO NOT COVER-UP ANY WORK UNTIL PROPERLY INSPECTED BY THE PERTINENT CONSULTANT AND/OR AUTHORITY. -REPAIR ANY FLOORS, WALLS, CEILINGS, ETC. LEFT ROUGH OR DAMAGED BY DEMOLITION. NEW FINISHES TO BE FLUSH AND SMOOTH UNLESS NOTED OTHERWISE. -INSPECT ALL INTERIOR FLOORS, BASES, WALLS AND CEILING AND REPAIR ANY DEFECTS OR DAMAGE. ENSURE ALL SURFACES ARE SMOOTH, FREE FROM PROTRUSIONS, LEVEL, PLUMB, ETC.

-EXISTING DOORS, HARDWARE, FURNITURE, EQUIPMENT, MECHANICAL & ELECTRICAL FIXTURES ETC. REMAIN THE PROPERTY OF THE CLIENT. CO-ORDINATE WITH THE PROJECT MANAGER ON THE DISPOSITION OF SAID OBJECTS. -CO-ORDINATE ALL STRUCTURAL, MECHANICAL & ELECTRICAL REQUIREMENTS. PIPING, VENTS, DUCTS, WIRING, ETC. CO-ORDINATE ALL ROUTES WITH THE PROJECT MANAGER. MAKE GOOD ALL BUILDING ELEMENTS.

**3. CONCRETE - N/A**

**4. MASONRY**

- MASONRY VENEER TIES ARE REQUIRED TO HAVE A MAXIMUM VERTICAL SPACING CONFORMING TO OBC TABLE 9.20.9.5. - FLASHING ON MASONRY WALLS MUST BE INSTALLED BENEATH JOINTED MASONRY SILLS, OVER THE BACK AND TOP OF PARAPET WALLS, OVER THE HEADS OF GLASS BLOCK PANELS, BENEATH WEEP HOLES, AND OVER THE HEADS OF DOORS AND WINDOWS IF THE DISTANCE BETWEEN THE TOP OF THE OPENING AND THE BOTTOM OF THE EAVE EXCEEDS 1/4 OF THE EAVE OVERHANG (OBC 9.20.13.3.) - THROUGH WALL FLASHING SHALL BE PROVIDED IN MASONRY VENEER WALLS IN SUCH THAT ANY MOISTURE THAT ACCUMULATES IN THE AIR SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING (OBC 9.20.13.3.(2)) - WEEP HOLES MUST NOT BE SPACED MORE THAN 27" APART AND BE PROVIDED AT THE BOTTOM OF EVERY MASONRY VENEER CAVITY (OBC 9.20.13.8)

**5. METALS - N/A**

**6. CARPENTRY**

-SUPPLY & INSTALL ROUGH AND FINISHED CARPENTRY AS REQUIRED FOR A COMPLETE PROJECT, INCLUDING ALL FRAMING, PLYWOOD, SHEATHING, SETTING OF ROUGH BUCKS, CANTS, CURBS, SLEEPERS, VAPOUR BARRIER, HATCHWAYS, STRAPPING, FURRING, METER EQUIPMENT BOARDS, DOORS AND TRIM, HARDWARE, FLASHING, INSULATION, CABINETRY & MILLWORK, ETC. INSTALL NAILS, SCREWS, BOLTS AND SUNDRY ANCHORS AS REQUIRED FOR SOUND CONSTRUCTION. USE APPROVED NON-CORROSIVE FASTENERS WHEREVER THERE IS THE POSSIBILITY OF STAINING OR CORROSION. EXAMINE THE DRAWINGS TO DETERMINE THE TOTAL SCOPE OF THIS WORK. -ALL FINISHED ITEMS TO THE PROJECT MANAGER'S SELECTION FOR: - CABINETS, COUNTERS, SHELVING, RECEPTION DESK, ETC. - PLASTIC LAMINATES - DOOR & CABINET HARDWARE PROVIDE SHOP DRAWINGS OF ALL ITEMS FOR REVIEW. - ALL WOOD IN CONTACT WITH CONCRETE THAT IS NOT PRESSURED TREATED IS REQUIRED TO BE SEPARATED BY AT LEAST 0.002IN POLYETHYLENE FILM OR TYPE S ROLL ROOFING. - ALL WOOD WITHIN 5 7/8" OF GRADE SHALL BE TREATED FOR DECAY (TYPICAL) - ALL LINTELS TO HAVE MIN 1 1/2" END BEARING. -ALL BEAMS TO HAVE MIN 3 1/2" END BEARING

-WHERE BRIDGING AND STRAPPING ARE SPECIFIED, MAX SPACING BETWEEN EACH SUPPORT SHALL BE 6'10" AND SHALL COMPLY WITH OBC 9.12.9.4.

**7. THERMAL AND MOISTURE PROTECTION**

**1. ROOFING - N/A**

**2. INSULATION -**

-INSULATE WHERE INDICATED ON OR REASONABLY INFERABLE FROM THE DRAWINGS AS NECESSARY FOR A COMPLETE JOB, INCLUDING BUT NOT LIMITED TO THERMAL & ACOUSTICAL INSULATION -ALL WALLS ABOVE GRADE TO BE MIN. R-24 (UNLESS NOTED OTHERWISE) -ALL WALLS BELOW GRADE TO BE MIN R-20 (UNLESS NOTED OTHERWISE) -ALL CEILING CAVITIES WITH ATTIC SPACES TO BE MIN R-50 -ALL EXPOSED FLOORS AND/OR CEILING AREAS WITH ATTIC SPACES TO BE MIN R-31 (UNLESS NOTED OTHERWISE) - USE INSULATION BAFFLES IN ATTIC TO PREVENT BLOCKED AIR FLOW 3. CAULKING & SEALING -CAULK AND SEAL TO ENSURE A COMPLETE WEATHER AND WATERTIGHT PROJECT, INCLUDING AROUND ALL EXTERIOR DOOR AND WINDOW FRAMES, LOUVERS, VENTS, THRESHOLDS, ETC., AND BETWEEN DIFFERENT EXTERIOR MATERIALS. PACK SPACES DEEPER THAN 13 mm (1/2") AND WIDER THAN 6 mm (1/4") WITH CLOSED-CELL POLYETHYLENE ROD FILLER. -SUPPLY AND INSTALL INTERIOR SEALANTS, WASHROOM SEALANTS AND ACOUSTICAL SEALANTS AS DETAILED AND AS REQUIRED FOR A COMPLETE JOB. -CAULK AROUND ALL BATHTUBS, SINKS, AND JUNCTIONS WITH OTHER MATERIALS OF ALL KITCHEN & BATHROOM COUNTERS AND VANITIES. -CAULK PERIMETERS, BOTH SIDES OF ALL FIRE-RATED PARTITIONS. -PRODUCTS: 1. EXTERIOR SEALANT: TWO PART POLYTREMCLYNE TERPOLYMER. EQUAL TO 'DYMERIC' BY TREMCO CANADA LTD. OR DOW CORNING 790 SILICONE BUILDING SEALANT. 2. WASHROOM SEALANT: FUNGUS AND MILDEW RESISTANT SILICONE BATHTUB CAULK. 'TREMIL 600' BY TREMCO. OR DOW CORNING 786. 3. INTERIOR SEALANTS EQUAL TO 'ACRYLIC LATEX CAULK' BY TREMCO CANADA LTD. 4. ACOUSTIC CAULKING EQUAL TO 'ACOUSTICAL SEALANT' BY TREMCO CANADA LTD. 5. BEDDING MATERIAL: 'ETHAFOAM' CLOSED-CELL POLYETHYLENE ROPE, SIZED TO ALLOW 25% (MIN) COMPRESSION WHEN INSERTED IN JOINT. 6. PRIMERS: AS RECOMMENDED BY THE SEALING MANUFACTURERS. 7. COLOURS: TO MATCH ADJACENT MATERIALS AND TO ARCHITECTS APPROVAL. 8. DOORS AND WINDOWS -SUPPLY AND INSTALL ALL DOORS & WINDOWS AS SHOWN ON THE DRAWINGS. -SUPPLY ALL HARDWARE AS REQUIRED FOR A COMPLETE JOB. SUBMIT HARDWARE SCHEDULE FOR PROJECT MANAGER APPROVAL. PROVIDE KEY SYSTEMS & KEYS AS REQUIRED BY PROJECT MANAGER. - WINDOWS AND SLIDING GLASS DOORS SHALL CONFORM TO CAN/CSA A440-2 (OBC 12.3.1.2.) - THERMAL RESISTANCE OF WINDOWS SHALL CONFORM TO SB-12 (OBC 12.2.1.1. (3)) -THERMAL RESISTANCE OF DOORS SHALL CONFORM TO SB-12 (OBC 12.2.1.1.(3)) - WINDOWS TO COMPLY WITH SECTION SB-12 OF THE OBC FOR THERMAL RESISTANCE BY USING A MINIMAL LOW E, DOUBLE GLAZING. MAX U-VALUE OF 1.8 AS PER OBC SB-12 TABLE 2.1.1.10 - WHEN REQUIRED, WINDOW WELL WIDTH MIN 21 5/8" (OBC 9.9.10.1) - DRAIN WINDOW WELL IN ACCORDANCE TO 9.14.6.3 - OBC 9.7.5.2 PROVIDE EXT. DOORS WITH HINGES OR PINS SO THAT THE DOOR CANNOT BE REMOVED WHEN THEY ARE IN THE CLOSED POSITION - ENSURE UNOBSTRUCTED EXTERIOR DOOR OPENING OF MIN 30"x78" C/W WEATHER STRIPPING - THE GLASS IN INTERIOR & EXTERIOR DOORS TO CONFORM TO 9.6.1.3 9. FINISHES -PROVIDE UNDERLAYS, SUBSTRATES, ADHESIVES, GROUT, ETC., AS RECOMMENDED BY THE RESPECTIVE MANUFACTURERS. -ALL FINISHES AS SELECTED BY THE PROJECT MANAGER. INSTALLATION TO COMPLY WITH DIVISION 1 HEREIN -TAPE AND FILL JOINTS IN GYPSUM WALL BOARD (GWB), WITH 3 COATS APPROVED JOINT COMPOUND. SAND IN ACCORDANCE WITH QUALITY CONTROL STANDARDS ESTABLISHED ON SITE -PARTITIONING TO INCLUDE ALL INSULATION, CAULKING, ETC. AS SHOWN. -ALL PAINTING ONE PRIMER COAT AND TWO FINISH COATS. PAINT BRAND AS APPROVED BY THE PROJECT MANAGER. ALL DOORS, FRAMES, TRIM, CASINGS, BASEBOARD SEMI-GLOSS; ALL OTHER PAINT FLAT. ACCEPTABLE PRODUCTS AS PER ONTARIO PAINTING CONTRACTORS' ASSOCIATION MANUAL, CHAPTER 5.

**10. SPECIALTIES -N/A**

**11. STAIRS**

- STAIR DIMENSIONS AS PER OBC 9.8.2.1 AND 9.8.4. - MAX. RISE 7-7/8" MIN. 4-7/8" - MAX. RUN 14" MIN. 8-1/4" - MIN. STAIR HEADROOM CLEARANCE 6'-5" (OBC 9.8.2.2.) - STRINGERS MIN 2"x10" SPACED MAX 2'-11" APART. - GUARDRAIL CONSTRUCTION SHALL COMPLY WITH O.B.C. 9.8.8.2. AND SB-7 - WHERE DIFFERENCE IN ELEVATION FROM TOP OF WALKING SURFACES TO GRADE EXCEEDS 23 5/8" A GUARDRAIL SHALL BE PROVIDED IN ACCORDANCE TO 9.8.8 AND SB-7 - HANDRAIL HEIGHT 32"AT STAIRS 36" AT LANDING - SPINDLES TO HAVE NO MORE THAN 4" SPACE BETWEEN EACH PICKET WHEN USED AS GUARDS. - LANDING AS PER OBC 9.8.6. - EXTERIOR STAIRS: PROVIDE A HINGED CONNECTION BETWEEN THE STAIR AND FIXED STRUCTURE TO ENSURE NO DAMAGE TO THE STRUCTURE DURING THE FROST/THAW CYCLE. -WHERE ELEVATIONS EXCEEDS 5'-11" GUARD TO BE 42" HIGH, WHERE ELEVATION IS LESS THAN 5'-11" GUARD TO BE 35"

**12. ROOFS - RESERVED**

**13. BASEMENTS**

- ENSURE ONE WINDOW IN BASEMENT IS; - OPERABLE WITHOUT USE OF TOOLS (INSIDE) - AS PER 9.9.10.1 1 BEDROOM WINDOW PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 3.8 FT2 WITH NO DIMENSION LESS THAN 15" - FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 200mm ABOVE FINISH FLOOR LEVEL OF BASEMENT AS PER OBC SB-12 - 2.1.1.6.(1)

**15.MECHANICAL**

-TAKE OUT ANY PERMITS REQUIRED -GUARANTEE ALL WORK AND MATERIAL FOR ONE YEAR FROM DATE OF COMPLETION. -CONFORM TO ALL APPLICABLE CODES AND STANDARDS INCLUDING BUT NOT LIMITED TO PART 6 & PART 7 OF THE BUILDING CODE OF ONTARIO, CITY BYLAWS AND STANDARDS, GOVERNMENT OF ONTARIO PLUMBING CODE, ONTARIO GAS UTILIZATION CODE. NFPA 13, C.G.A. SMACNA AND ASHRAE STANDARDS. -MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL ROOF PENETRATIONS, VENTS, STACKS, AND TRAPS. -HOOK-UP ALL DRAINS, SEWER AND WATER CONNECTIONS AS REQUIRED. -MAKE ALL ADJUSTMENTS TO THE EXISTING HEATING AND VENTILATING SYSTEM TO PROVIDE PROPER HEATING, VENTILATION, CONTROLS TO ALL AREAS. PROVIDE DAMPERING, FIRESTOPPING, ATC. AS REQ'D AT ALL FIRE SEPARATIONS - PROVIDE WARM AIR SUPPLY GRILLE IN W.I.C. WHEN EXTERIOR WALL IS USED. - HEATING SYSTEM TO BE DETERMINED BY HVAC INSTALLER. WALL CHASES TO BE DETERMINED PRIOR TO AND DURING DEMOLITION. ANY CHANGES TO PLAN FOR WALLS AND BULKHEADS ARE TO BE DISCUSSED WITH CONTRACTOR. R-VALUED & U-VALUED TO BE UPGRADED IF THE ADDITION IS HEATED WITH ELECTRIC AS PER OBC SB-12 TABLE 2.1.1.10. -REMOVE ALL REDUNDANT EQUIPMENT AND TURN OVER TO PROJECT MANAGER. - WATER EFFICIENCY AS PER 7.6.4 - WATER TEMP. CONTROL AS PER 7.6.5 - ALL NEW PLUMBING FIXTURES TO BE CAN/CSA-B45 CERTIFIED W/ MAX FLUSH CYCLE OF 6 LITRES. TEMPERATURE CONTROL VALVE REQ'D TO MAXIMIZE HOT WATER @49C - CO-ORDINATE WITH THE ELECTRICAL CONTRACTORS AS REQUIRED.

**16. ELECTRICAL**

-TAKE OUT AND PAY FOR ANY PERMITS REQUIRED. PRESENT FINAL HYDRO INSPECTION CERTIFICATE UPON COMPLETION. -GUARANTEE ALL WORK AND MATERIAL FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE. -THE RULES AND REGULATIONS OF THE ELECTRICAL SAFETY CODE AND THE ONTARIO BUILDING CODE (LATEST EDITION) SHALL FORM PART OF THE WORK. -HOOK-UP ALL MECHANICAL EQUIPMENT, VENTILATION FANS, ETC. AS REQUIRED. -PROVIDE ALL LIGHT FIXTURES AS REQUIRED. INCLUDE LAMPS FOR ALL LIGHT FIXTURES; LAYOUTS TO PROJECT MANAGER'S APPROVAL. - AN EXTERIOR LIGHTING OUTLET WITH FIXTURE CONTROLLED BY A SWITCH LOCATED WITHIN THE BUILDING SHALL BE PROVIDED AT EVERY ENTRANCE TO BUILDING OF RESIDENTIAL OCCUPANCY. (OBC 9.34.2.1) - PROVIDE 3 WAY LIGHT SWITCH IN A STAIRCASE IN ACCORDANCE TO 9.34.2.3 - ALL WIRING SHALL BE CONCEALED; COPPER. ALL SWITCHES SHALL BE SILENT; ALL COVER PLATES TO MATCH EXISTING. ALL MATERIALS TO BE CSA APPROVED. -ALL EXISTING LIGHT FIXTURES AND DEVICES IN THIS CONTRACT AREA TO BE CHECKED, REPAIRED IF REQUIRED (INCLUDING NEW LENSES AND NEW BALLASTS IF REQUIRED.) AND RELAMP WITH NEW LAMPS WHERE MISSING OR DEFECTIVE. AT COMPLETION ALL LIGHTS TO BE OPERATING. -ENSURE ALL EXISTING RECEPTACLES IN THIS CONTRACT AREA ARE OPERATIONAL. PROVIDE NEW RECEPTACLES, ELECTRICAL DEVICES AS SHOWN & AS REQUIRED FOR A COMPLETE JOB. -PROVIDE ALL NECESSARY CIRCUITS AND SWITCHING FOR EACH SUBDIVIDED AREA. -REMOVE ALL REDUNDANT WIRING DEVICES, ETC. -REVERIFY FIRE ALARM SYSTEM - SMOKE ALARMS SHALL BE PROVIDED ON ALL LEVELS. IT IS RECOMMENDED THAT THE EXISTING FIRE ALARM BE INTERCONNECTED (AC, NOT BATTERY) (9.10.19) SMOKE ALARMS SHALL BE INSTALLED SUCH THAT THEY ARE LOCATED WITHIN 16'-5" OF ANY BEDROOM DOOR ON THE SAME LEVEL AND WITHIN 49'-3" OF ANY OTHER SMOKE ALARM ON THE SAME LEVEL (9.10.19.3) - CARBON MONOXIDE MONITORS ARE REQUIRED ADJACENT TO SLEEPING AREAS (9.33.4.2) IT IS RECOMMENDED THAT MONITORS BE INSTALLED DURING RENOVATION AND INTERCONNECTED.

**WALL ASSEMBLY NOTES (CONT.):**



**NEW 2X6 SIDING EXTERIOR WALL** -NEW FINISHED SIDING (AS PER OWNER'S INSTRUCTIONS) -NEW 1x3 VERTICAL STRAPPING @16" O.C. FASTENED TO STUDS -NEW 2" RIGID INSULATION - MIN R5 -NEW TYVEK WEATHER BARRIER -NEW 7/16" O.S.B. SHEATHING -NEW 2x6 STUDS @16" O.C. -NEW 5 1/2" FIBRE-GLASS BATT INSULATION - MIN R22 -NEW 0.6 MIL POLY VAPOUR BARRIER -NEW 1/2" GYPSUM BOARD



**NEW POURED CONCRETE FOUNDATION WALL** -NEW CEMENT PARGING TO EXTEND 6" BELOW GRADE -NEW PLATON AIR GAP MEMBRANE -NEW BITUMINOUS DAMPPROOFING -NEW 8" POURED CONC. WALL (25 MPa AT 28 DAYS) (SEE PLANS FOR THICKNESS/SCHEDULE)

**FLOOR ASSEMBLY NOTES:**



**NEW SLAB ON GRADE** -NEW FLOOR FINISH (AS PER OWNER'S INSTRUCTION) -NEW 4" POURED CONC. SLAB - 32 MPa W/ 5-8% AIR ENTRAINMENT FOR CONC. PATIO SLAB BY P.ENG -NEW 0.6 MIL POLY VAPOUR BARRIER -NEW 2" SM EXTRUDED RIGID INSULATION - MIN R20 -8" ±3/4" COMPACTED CRUSHED STONE TO 98% PROCTOR DENSITY -UNDISTURBED SOIL

**WALL ASSEMBLY NOTES:**



**EXIST. POURED CONC. FOUNDATION WALL W/FRAMING** -EXISTING GYPSUM BOARD -EXISTING STUDS -EXISTING POURED CONC. WALL -EXISTING AIR GAP -EXISTING STUDS -NEW 1/2" GYPSUM BOARD



**EXIST. POURED CONC. FOUNDATION WALL W/FRAMING** -EXISTING POURED CONC. WALL -EXISTING AIR GAP -EXISTING STUDS -EXISTING INSULATION -NEW 1/2" GYPSUM BOARD



**EXIST. 2X4 EXTERIOR WALL W/ NEW SIDING** -NEW FINISHED SIDING (AS PER OWNER'S INSTRUCTIONS) -NEW 1x3 VERTICAL STRAPPING @16" O.C. FASTENED TO STUDS -NEW 2" RIGID INSULATION - MIN R5ci -NEW TYVEK WEATHER BARRIER -EXISTING SHEATHING -EXISTING 2x4 STUDS -NEW FIBRE-GLASS BATT INSULATION TO MATCH EXISTING -NEW 0.6 MIL POLY VAPOUR BARRIER -NEW 1/2" GYPSUM BOARD



**EXISTING BRICK VENEER EXTERIOR WALL UPPER WALL:** -EXISTING FINISHED BRICK -EXISTING AIR SPACE -EXISTING AIR BARRIER -EXISTING SHEATHING -EXISTING 2x4 WD STUDS -EXISTING 2x4 WD STUDS -EXISTING INSULATION -EXISTING VAPOUR BARRIER -EXISTING GYPSUM BOARD



**LOWER WALL:** -EXISTING 10" POURED CONC. WALL -EXISTING 2x4 WD STUDS -NEW FIBRE-GLASS BATT INSULATION TO MATCH EXISTING -NEW 0.6 MIL POLY VAPOUR BARRIER -NEW 1/2" GYPSUM BOARD



**EXISTING 2X4 BRICK VENEER EXTERIOR WALL W/NEW FRAMING WHERE REQ'D.** -EXISTING FINISHED BRICK -EXISTING AIR SPACE -EXISTING AIR BARRIER -EXISTING SHEATHING -EXISTING 2x4 WD STUDS -NEW FIBRE-GLASS BATT INSULATION TO MATCH EXISTING -NEW 0.6 MIL POLY VAPOUR BARRIER -NEW 2x4 STUDS @16" O.C. -NEW 1/2" GYPSUM BOARD



**EXIST. 2X4 SIDING EXTERIOR WALL** -EXISTING FINISHED SIDING -EXISTING STRAPPING -EXISTING WEATHER BARRIER -EXISTING SHEATHING -EXISTING 2x4 STUDS -NEW FIBRE-GLASS BATT INSULATION TO MATCH EXISTING -NEW 0.6 MIL POLY VAPOUR BARRIER -NEW 1/2" GYPSUM BOARD



**EXIST. 2x4 OR 2x6 INTERIOR PARTITION** -EXISTING GYPSUM BOARD -EXISTING 2x4 OR 2x6 STUDS -NEW 1/2" GYPSUM BOARD WHERE REQ'D



**NEW 2X6 SIDING EXTERIOR WALL UPPER WALL:** -NEW FINISHED SIDING (AS PER OWNER'S INSTRUCTIONS) -NEW 1x3 VERTICAL STRAPPING @16" O.C. FASTENED TO STUDS -NEW TYVEK WEATHER BARRIER -NEW 7/16" O.S.B. SHEATHING -NEW 2x6 STUDS @16" O.C. -NEW 5 1/2" FIBRE-GLASS BATT INSULATION - MIN R22 -NEW 2" RIGID INSULATION - MIN R5 -NEW 2x4 STUDS @16" O.C. -NEW 0.6 MIL POLY VAPOUR BARRIER -NEW 1/2" GYPSUM BOARD



**NEW 2X4 SIDING EXTERIOR WALL** -NEW FINISHED SIDING (AS PER OWNER'S INSTRUCTIONS) -NEW 1x3 VERTICAL STRAPPING @16" O.C. FASTENED TO STUDS -NEW 2" RIGID INSULATION - MIN R5 -NEW TYVEK WEATHER BARRIER -NEW 7/16" O.S.B. SHEATHING -NEW 2x4 STUDS @16" O.C. -NEW INSULATION TO MATCH EXISTING -NEW 0.6 MIL POLY VAPOUR BARRIER -NEW 1/2" GYPSUM BOARD



**NEW 2x4 OR 2x6 INTERIOR PARTITION WALL** -NEW FINISHED SIDING (AS PER OWNER'S INSTRUCTIONS) -NEW 1x3 VERTICAL STRAPPING @16" O.C. FASTENED TO STUDS -NEW 2" RIGID INSULATION - MIN R5 -NEW TYVEK WEATHER BARRIER -NEW 7/16" O.S.B. SHEATHING -NEW 2x4 STUDS @16" O.C. -NEW INSULATION TO MATCH EXISTING -NEW 0.6 MIL POLY VAPOUR BARRIER -NEW 1/2" GYPSUM BOARD



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Dustin Poole  
BCIN# 37560  
FRIM# 100988  
613-795-2860  
*Dustin Poole*  
QUALIFICATION INFO:  
SMALL BUILDINGS  
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#	DESCRIPTION	YY/MM/DD
01	ISSUED FOR BUILDING PERMIT	23/08/01

PROJECT  
**150 BILLINGS AVENUE**  
RESIDENTIAL DRAWING  
OTTAWA ONTARIO  
**CONSTRUCTION NOTES & ASSEMBLY**  
TYPE: ADDITION  
SCALE: NTS  
DESIGNED BY: [ ]  
DRAWN BY: DP  
SHEET: [ ]  
DATE: AUG 01, 2023  
OF [ENT. # PG'S IN SET] **A0**



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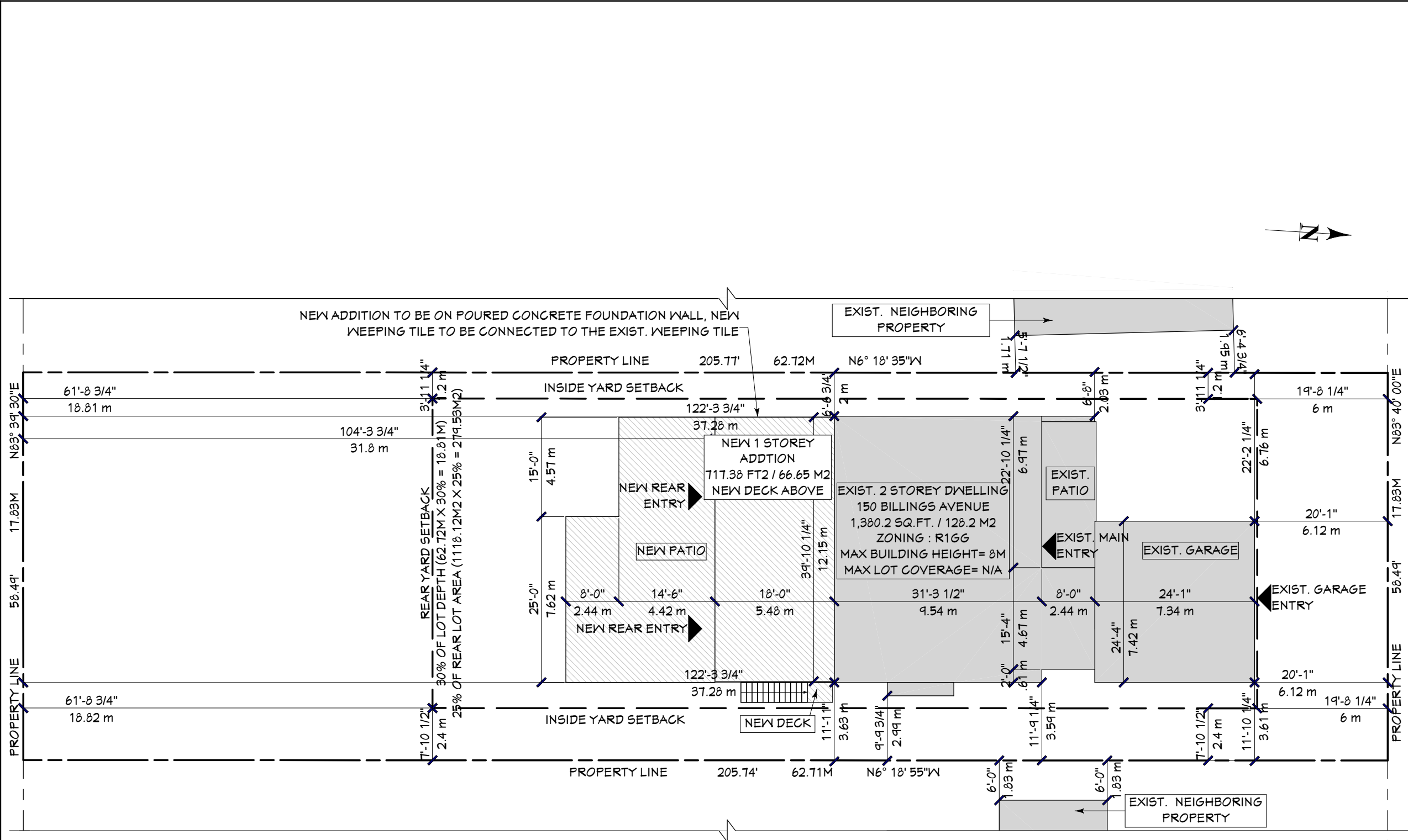
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#	DESCRIPTION	YY/MM/DD
01	ISSUED FOR BUILDING PERMIT	23/08/01

PROJECT  
**150 BILLINGS AVENUE**  
 RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

## SITE PLAN

TYPE <b>ADDITION</b>	SCALE <b>AS SHOWN</b>
DESIGNED BY DP	SHEET <b>A1.0</b>
DATE <b>AUG 01, 2023</b>	OF [ENT. # PG'S IN SET]

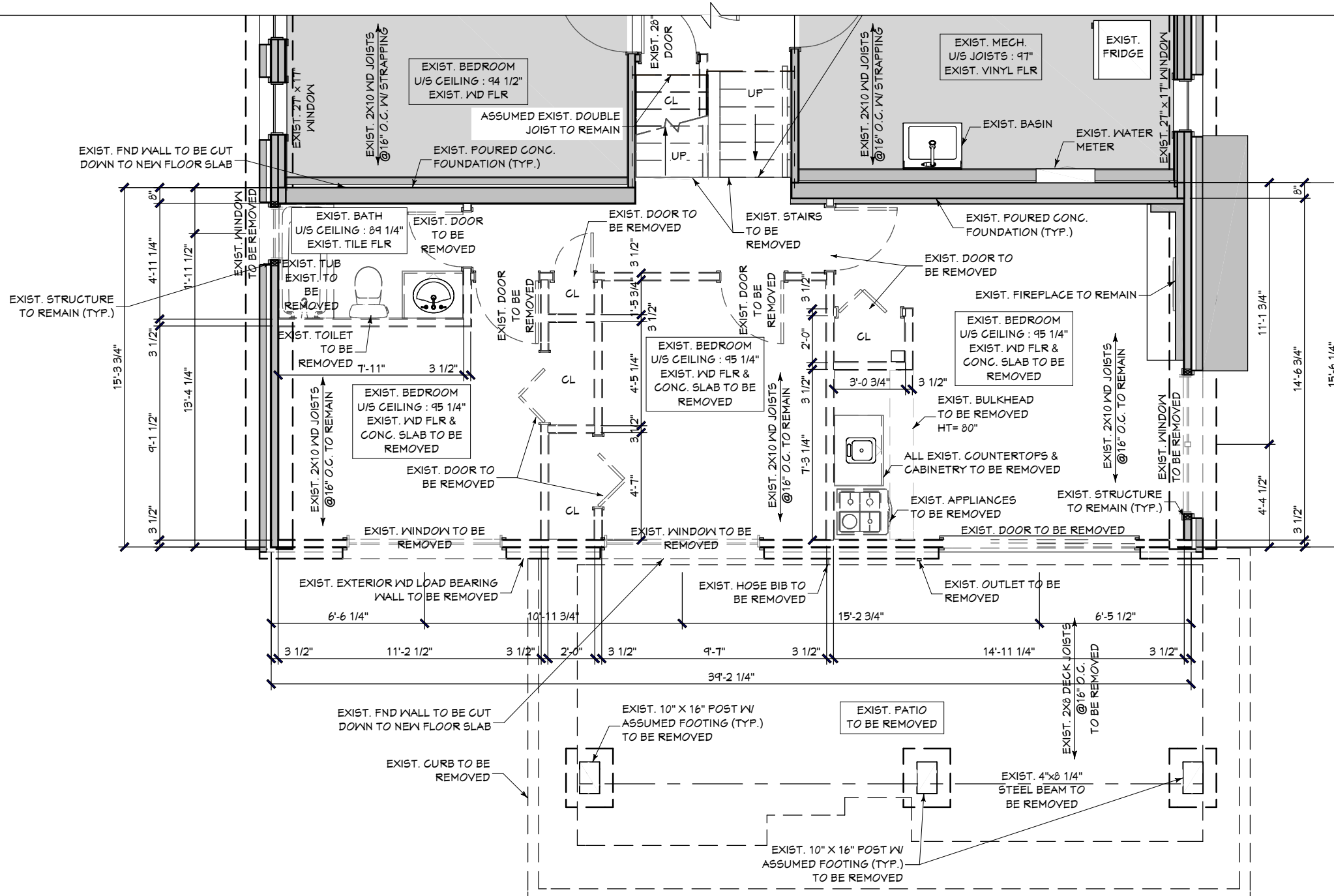


SCHEDULE 342,343,344 :  
 FRONT YARD SETBACK CALCULATION FROM EXISTING BUILDINGS:  
 LEFT PROPERTY : 6.14 M  
 RIGHT PROPERTY : 7.09 M  
 AVG FRONT YARD LINE : 6.6 M (6 M AS THE AVG CALC. EXCEEDS TABLE)

NOTES :  
 - PROPERTY LIMITS AND EXISTING BUILDING LOCATION FROM SURVEY BY: FARLEY, SMITH & DENIS SURVEYING LTD.  
 - ZONING INFORMATION FROM THE CITY OF OTTAWA

BILLINGS AVENUE





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**PROJECT**  
 150 BILLINGS AVENUE

RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

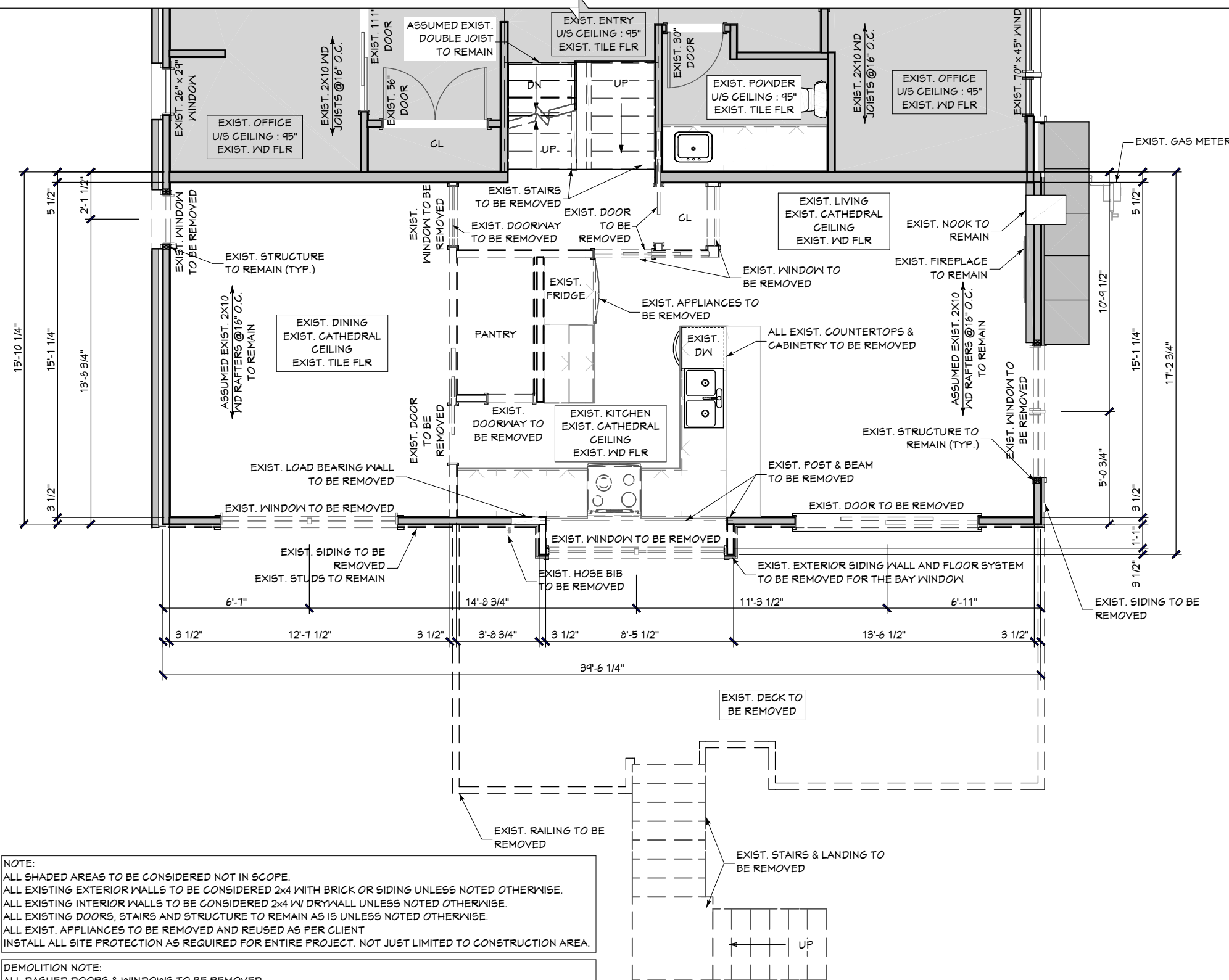
**EXISTING BASEMENT FLOOR DEMOLITION PLAN**

TYPE: ADDITION  
 SCALE: AS SHOWN

DESIGNED BY: [ ] DRAWN BY: DP  
 SHEET: A2.0

DATE: AUG 01, 2023  
 OF [ENT. # PG'S IN SET]





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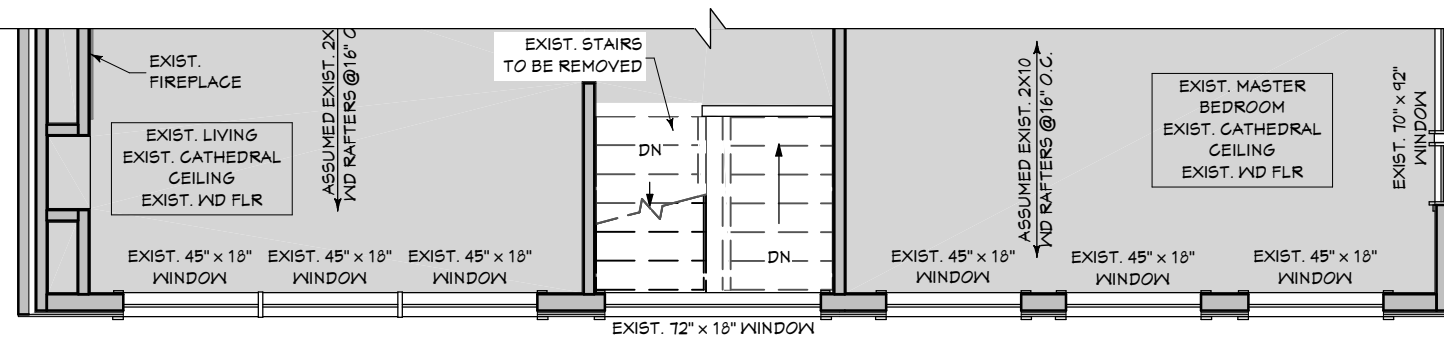
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**PROJECT**  
 150 BILLINGS AVENUE  
 RESIDENTIAL DRAWING  
 OTTAWA ONTARIO  
**EXISTING GROUND FLOOR DEMOLITION PLAN**

TYPE <b>ADDITION</b>	SCALE <b>AS SHOWN</b>
DESIGNED BY DRAWN BY <b>DP</b>	SHEET <b>A2.1</b>
DATE <b>AUG 01, 2023</b>	
OF [ENT. # PG'S IN SET]	



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01	ISSUED FOR BUILDING PERMIT	23/08/01

**PROJECT**  
 150 BILLINGS AVENUE

RESIDENTIAL OTTAWA ONTARIO  
 DRAWING

**EXISTING SECOND FLOOR DEMOLITION PLAN**

TYPE ADDITION	SCALE AS SHOWN
DESIGNED BY	DRAWN BY DP
DATE AUG 01, 2023	SHEET <b>A2.2</b> OF [ENT. # PG'S IN SET]





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PROJECT  
**150 BILLINGS AVENUE**

RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

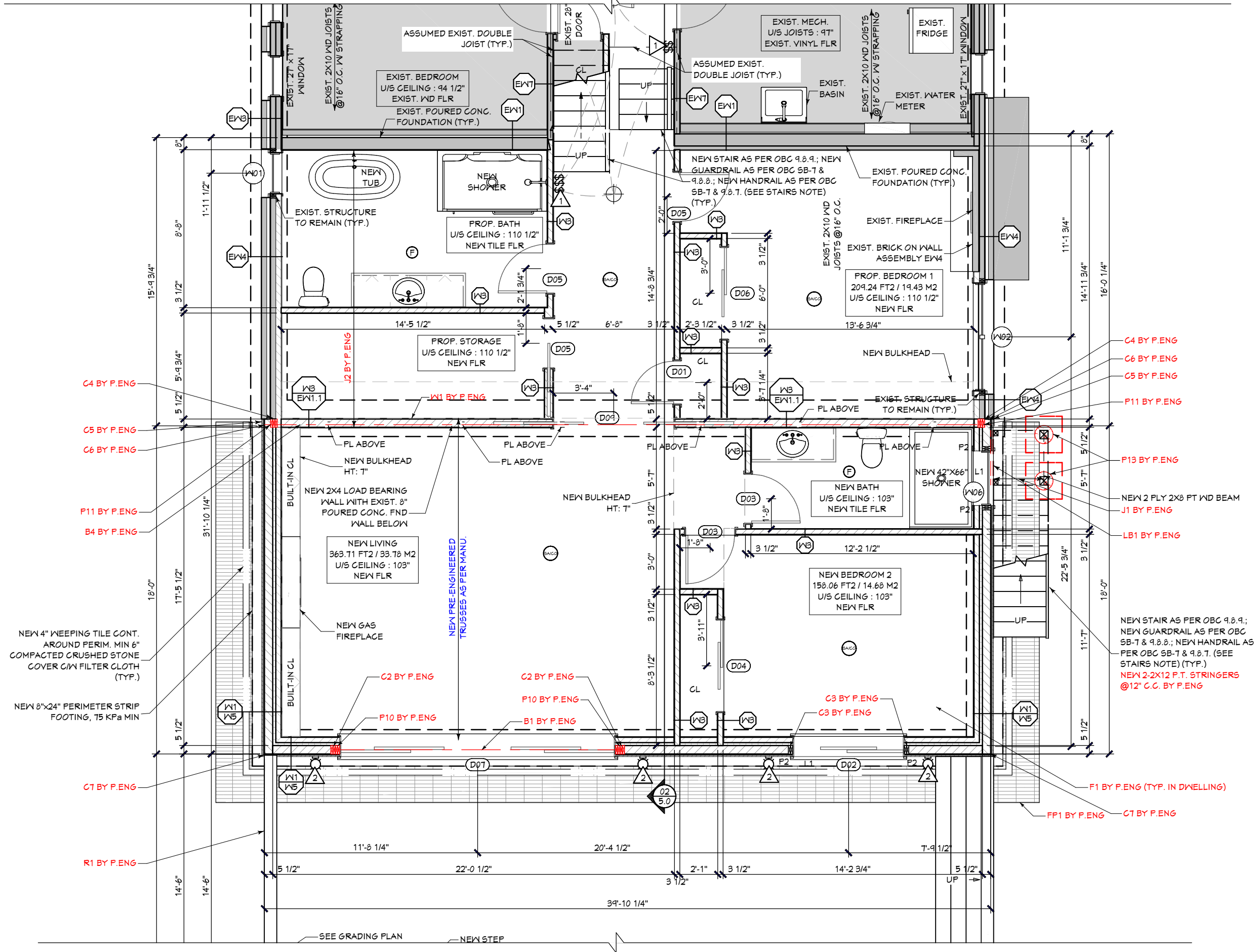
## PROPOSED BASEMENT FLOOR PLAN

TYPE  
**ADDITION**

SCALE  
**AS SHOWN**

DATE  
**AUG 01, 2023**

SHEET  
**A3.0**  
 OF [ENT. # PG/6 IN SET]



**01** PROPOSED BASEMENT FLOOR PLAN  
 SCALE: 3/16"=1' 0"



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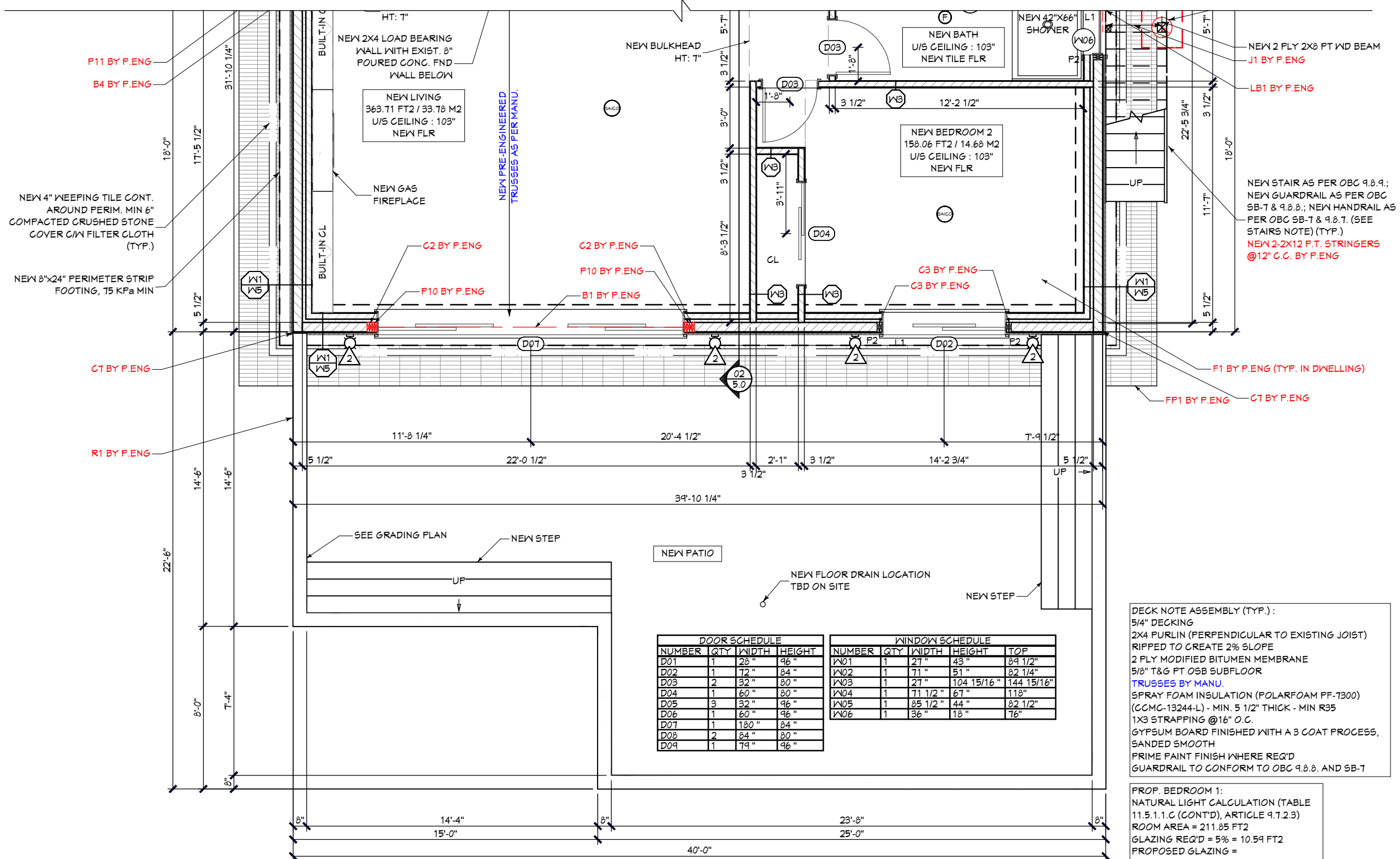
RESIDENTIAL DRAWING

## PROPOSED BASEMENT FLOOR PLAN

TYPE: **ADDITION**  
 SCALE: **AS SHOWN**

DESIGNED BY: **DP**  
 SHEET: **A3.1**

DATE: **AUG 01, 2023**  
 OF [ENT. # PG/6 IN SET]



**DECK NOTE ASSEMBLY (TYP.):**  
 5/4" DECKING  
 2X4 PURLIN (PERPENDICULAR TO EXISTING JOIST)  
 RIPPED TO CREATE 2% SLOPE  
 2 FLY MODIFIED BITUMEN MEMBRANE  
 5/8" T&G PT OSB SUBFLOOR  
**TRUSSES BY MANU.**  
 SPRAY FOAM INSULATION (POLARFOAM PF-7300)  
 (CCMC-13244-L) - MIN. 5 1/2" THICK - MIN R35  
 1X3 STRAPPING @ 16" O.C.  
 GYPSUM BOARD FINISHED WITH A 3 COAT PROCESS,  
 SANDED SMOOTH  
 PRIME PAINT FINISH WHERE REQ'D  
 GUARDRAIL TO CONFORM TO OBC 9.8.8. AND SB-7

DOOR SCHEDULE				WINDOW SCHEDULE				
NUMBER	QTY	WIDTH	HEIGHT	NUMBER	QTY	WIDTH	HEIGHT	TOP
D01	1	28"	96"	W01	1	27"	43"	89 1/2"
D02	1	72"	84"	W02	1	71"	51"	82 1/4"
D03	2	32"	80"	W03	1	27"	104 15/16"	144 15/16"
D04	1	60"	80"	W04	1	71 1/2"	67"	118"
D05	3	32"	96"	W05	1	85 1/2"	44"	82 1/2"
D06	1	60"	96"	W06	1	36"	18"	76"
D07	1	180"	84"					
D08	2	84"	80"					
D09	1	74"	96"					



**AS PER P.ENG (SEE ATTACHED)**

**GENERAK NOTES :** ALL HARDWARE EXPOSED TO WEATHER TO BE HOT-DIP GALVANIZED

- B1** - 3 PLY X 11 7/8" LVL - BY P.ENG - BASEMENT FLR
- B2** - 2 PLY X 9 1/2" LVL - BY P.ENG - GROUND FLR
- B3** - 2-2X10 LINTEL - BY P.ENG - GROUND FLR
- B4** - 2 PLY 1 3/4" X 11 7/8" LVL - BY P.ENG - BASEMENT FLR POSTS

- P10** - 4-2X6 ADD CCQ POST CAP - BY P.ENG - BASEMENT FLR
- P11** - 3-2X6 POST FASTEN TO EXISTING WITH 1/2"X8" LONG STRUCTURAL SCREWS @6" C.C STAGGERED - BY P.ENG - BASEMENT FLR
- P12** - 3-2X6 POST - BY P.ENG - GROUND FLR

- P13** - SET 6X6 P.T POST ON STEEL SADDLE. 6X6 PT POST W/ POST CAP SET IN 12" SONOTUBE WITH 2-15 BARS AND 4-15M DOWELS. DEVELOP AT LEAST 4 FT VERTICALLY AND 8" IN FTG 24X24X10 FOOTING C/W 2-15M BARS EACH WAY. PLACE BARS 3" FROM BOTTOM. 3" CONCRETE COVER. PLACE FTG 6 FT BELOW GRADE (TYP.) - BY P.ENG - BASEMENT FLR

**FOUNDATION**

- FP1** - 2" HI60 INSULATION EXTERIOR GRADE TAPE JOINTS - BY P.ENG - BASEMENT FLR
- FDN1** - 8" FOUNDATION WALL WITH 2-15M T&B C/W 15M DOWELS @ 16" C.C
- DEVELOP AT LEAST 3 FT INTO WALL AND 8" INTO FTG. PLACE AT CENTERLINE & 3-15M CONTINUOUS AND 15M ACROSS @ 18" C.C
- PLACE BARS 3" FROM BOTTOM. 3" CONCRETE COVER - BY P.ENG - BUILDING SECTION
- FDN2** - 8" FOUNDATION WALL WITH 2-15M T&B - BY P.ENG - BUILDING SECTION
- FDN3** - UNDERSIDE OF FOOTING MIN 5 FT BELOW GRADE. CONTRACTOR TO VERIFY ON SITE - BY P.ENG - BUILDING SECTION

**CONNECTIONS**

- C1** - BETWEEN 2 PLY LVL AND PRE-ENG TRUSSES - BY P.ENG MANU. - GROUND FLR
- C2** - HDU4 HOLDOWN EACH END - BY P.ENG - BASEMENT FLR
- C3** - HDU2 HOLDOWN EACH END - BY P.ENG - BASEMENT FLR
- C4** - ADD 3-2X BACKING - BY P.ENG - BASEMENT FLR
- C5** - CONNECTION OF NEW FOOTING TO EXISTING: PROVIDE 3-15M DOWELS (20" LONG LEG; 3" SHORT LEG) SPACED EQUALLY FROM NEW TO EXISTING FTG MIN. 8" INTO EXISTING. DEVELOP AT LEAST 12" INTO NEW FTG. SET WITH HIY200 EPOXY, TYP. -- CONNECTION NEW FOUNDATION WALL TO EXISTING 15M DOWELS @ 10" C.C. 8" INTO EXISTING WALL. SET WITH EPOXY LONG LEG HOR.: 18"; SHORT LEG VERT: 5" - BY P.ENG - BASEMENT FLR
- C6** - CONNECTION NEW FOUNDATION WALL TO EXISTING 15M DOWELS @ 10" C.C. 8" INTO EXISTING WALL. SET WITH EPOXY LONG LEG HOR.: 18"; SHORT LEG VERT: 5" - BY P.ENG - BASEMENT FLR
- C7** - ADD 15M CORNER BARS @ 12" C.C 24" LONG EACH WAY - BY P.ENG - BASEMENT FLR

**OTHERS**

- LB1** - 2X8 P.T LEDGER C/W 1/2"X 5" LONG LAG BOLTS @ 18" C.C STAGGERED TO RIMBOARD. - BY P.ENG - GROUND FLR
- J1** - 2X8 WD JOISTS @16" C.C. & P.T. USE JOIST HANGERS - BY P.ENG - GROUND FLR
- J2** - EXIST. 2X10 WD JOISTS @16" O.C. SHORE FLOOR JOISTS PRIOR TO WALL REMOVAL ALL THE WAY TO BASEMENT USE WIDE SLEEPERS - BY P.ENG - BASEMENT FLR
- W1** - RAMSET NEW 2X6 LOAD BEARING WALL TO SLAB. EXISTING FOUNDATION WALL MIN 8" POURED CONCRETE WALL ABOVE CENTERED & MIN. 24X8" FOOTING SIZE CONTRACTOR TO VERIFY ON SITE. EXISTING FOUNDATION TO BE CUT AT LEAST 16" AND ADD 15M "U" DOWELS @ 12" C.C MIN. 10" EMBEDMENT. SET WITH HIY200 EPOXY ADD 2-15M TOP BARS - BY P.ENG - BASEMENT FLR
- F1** - PROVIDE CONTROL JOINTS @ 10 FT C.C BOTH WAYS ON 4" CONC. SLAB - BY P.ENG - BASEMENT FLR
- D1** - PROVIDE ADDITIONAL BLOCKING TO MEET RAILING ANCHORAGE - BY P.ENG - BUILDING SECTION
- R1** - RETAINING WALL WITH NO FOOTING - BY P.ENG - BASEMENT FLR

**NEW DINING ROOM:**  
 NATURAL LIGHT CALCULATION (TABLE 11.5.1.1.C (CONT'D), ARTICLE 9.7.2.3)  
 ROOM AREA = 42 FT<sup>2</sup>  
 GLAZING REQ'D = 10% = 4.2 FT<sup>2</sup>  
 PROPOSED GLAZING =  
 1X D08 84"x80" = 31 FT<sup>2</sup>  
 TOTAL PROPOSED GLAZING = 31 FT<sup>2</sup>  
 TOTAL GLAZING = 31 FT<sup>2</sup>

**GENERAL NOTES:**  
 - SMOKE ALARMS TO HAVE A VISUAL SIGNALING COMPONENT AND CONFORM TO NFPA 72 - 18.5.3  
 - ALTERATIONS TO ELECTRICAL REQUIRE A PERMIT FROM ESA 1-877-312-7233  
 - ALL 2-PLY LINTELS TO HAVE MIN. 1 1/2" END BEARING  
 - CERAMIC TILE REQUIRES 5/8" UNDERLAY  
 - WATER RESISTANT FLOORING REQUIRED IN BATHROOMS, LAUNDRY ROOMS, KITCHENS, GENERAL STORAGE AREAS & ENTRANCE (OBC 9.30.1.2.)  
 - BUILDER TO PROVIDE TEMPORARY SHORING PRIOR TO DEMOLITION OF ANY STRUCTURAL ELEMENT

**STRUCTURAL TABLE**  
 ALL INTERIOR AND EXTERIOR LINTELS TO HAVE THE FOLLOWING @ EACH END

< 5'-0"	1x SUPPORTING (JACK) STUD
5'-0"-8'-0"	2x 2X6 OR 2X4 SUPPORTING (JACK) STUDS = P2
8'-0"-8'-0"	3x 2X6 OR 2X4 SUPPORTING (JACK) STUDS = P3

**ENSURE SOLID BLOCKING b/w FLOOR SYSTEM @ P2 LOCATIONS**  
 L1: 2 PLY 2X10 LINTELS TO HAVE MIN 1 1/2" END BEARING  
 L2: 2 PLY 2X12 LINTELS TO HAVE MIN 1 1/2" END BEARING  
 L3: 3 PLY 2X8 LINTELS TO HAVE MIN 1 1/2" END BEARING  
 L: REPRESENTS LINTEL- ALL 2 PLY LINTELS TO HAVE MIN 1 1/2" END BEARING  
 UNLESS OTHERWISE NOTED- ALL LINTELS TO BE 2-2"x10"

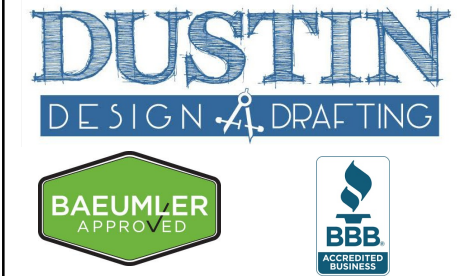
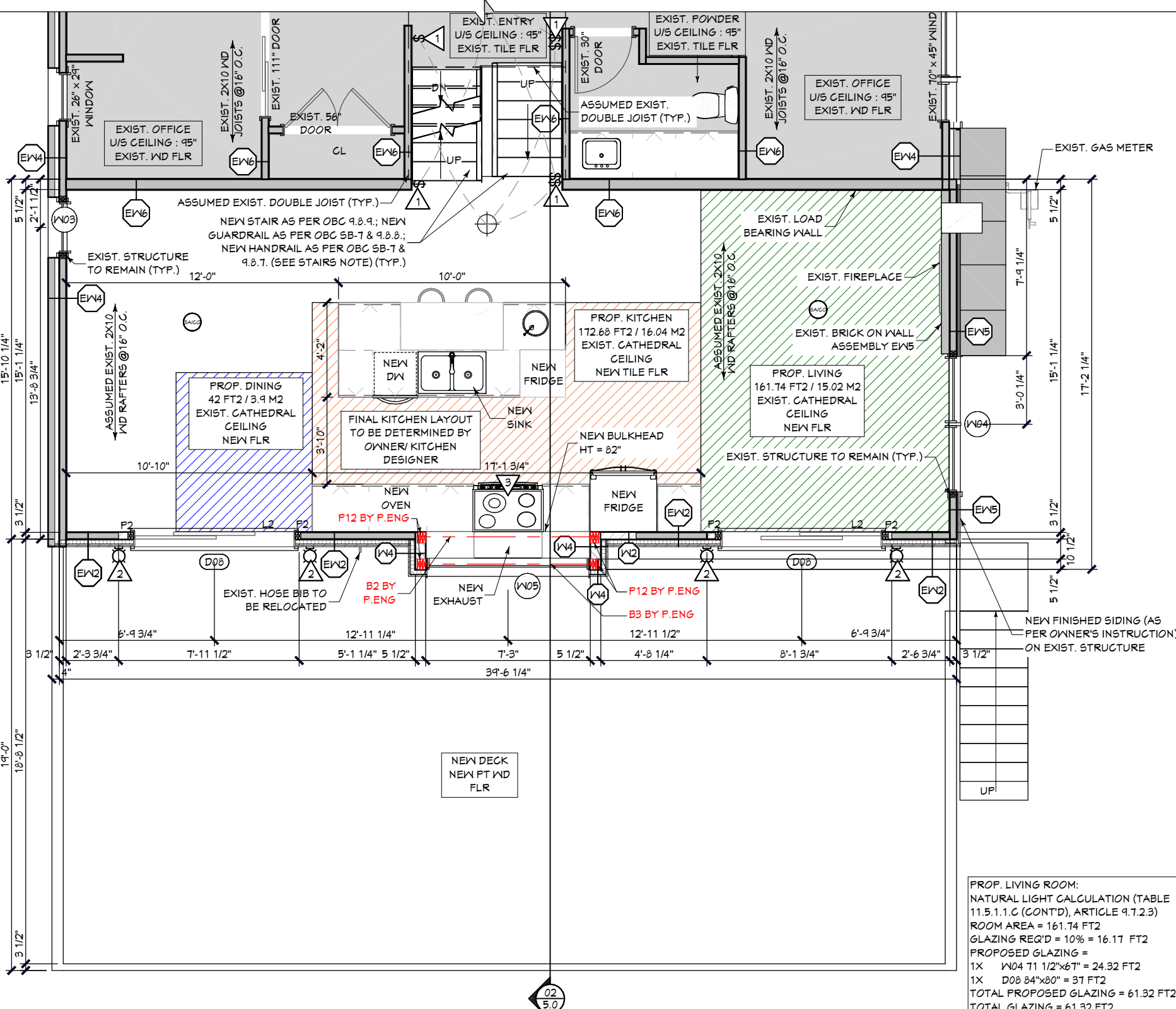
**KEYNOTES**

- PROVIDE 3 WAY SWITCH & LIGHT @ STAIRS (TYP.)
- PROVIDE AN EXTERIOR LIGHT AT EXTERIOR DOOR (TYP.)
- RANGE SHALL BE VENTED TO EXTERIOR

**STAIR NOTE: (TYP.)**  
 STAIRS TO CONFORM TO OBC 9.8.9.  
 MAX RISE = 7 7/8"  
 MIN RUN = 10"  
 MIN TREAD = 11"  
 MIN HEADROOM = 6'-5"  
 HANDRAIL TO CONFORM TO OBC 9.8.7.  
 MIN HT = 2'-10"  
 MAX HT = 3'-6"  
 GUARDRAIL TO CONFORM TO OBC 9.8.8.  
 MIN HT = 2'-11"

**DECK NOTE ASSEMBLY (TYP.):**  
 5/4" DECKING  
 2X4 PURLIN (PERPENDICULAR TO EXISTING JOIST) RIPPED TO CREATE 2% SLOPE  
 2 PLY MODIFIED BITUMEN MEMBRANE  
 5/8" T&G PT OSB SUBFLOOR  
**TRUSSES BY MANU.**  
 SPRAY FOAM INSULATION (POLARFOAM PF-T300) (CCMC-13244-L) - MIN. 5 1/2" THICK - MIN R35  
 1X3 STRAPPING @16" O.C.  
 GYPSUM BOARD FINISHED WITH A 3 COAT PROCESS, SANDED SMOOTH  
 PRIME PAINT FINISH WHERE REQ'D  
 GUARDRAIL TO CONFORM TO OBC 9.8.8. AND SB-7

**PROP. LIVING ROOM:**  
 NATURAL LIGHT CALCULATION (TABLE 11.5.1.1.C (CONT'D), ARTICLE 9.7.2.3)  
 ROOM AREA = 161.74 FT<sup>2</sup>  
 GLAZING REQ'D = 10% = 16.17 FT<sup>2</sup>  
 PROPOSED GLAZING =  
 1X W04 T1 1/2"x6" = 24.32 FT<sup>2</sup>  
 1X D08 84"x80" = 31 FT<sup>2</sup>  
 TOTAL PROPOSED GLAZING = 61.32 FT<sup>2</sup>  
 TOTAL GLAZING = 61.32 FT<sup>2</sup>



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Dustin Poole  
 BCIN# 37560  
 FIRM# 100988  
 613-795-2860  
*Dustin Poole*

**QUALIFICATION INFO:**  
 SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT BUILDING CODE REQUIREMENTS AND ON-SITE CONDITIONS.

#	DESCRIPTION	YY/MM/DD
01	ISSUED FOR BUILDING PERMIT	23/08/01

**PROJECT**  
 150 BILLINGS AVENUE  
 RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

**PROPOSED GROUND FLOOR PLAN**

TYPE <b>ADDITION</b>	SCALE <b>AS SHOWN</b>
DESIGNED BY DP	SHEET <b>A3.2</b>
DATE <b>AUG 01, 2023</b>	OF [ENT. # PG'S IN SET]



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 FIRM# 100988  
 613-795-2860

*Dustin Poole*

QUALIFICATION INFO:  
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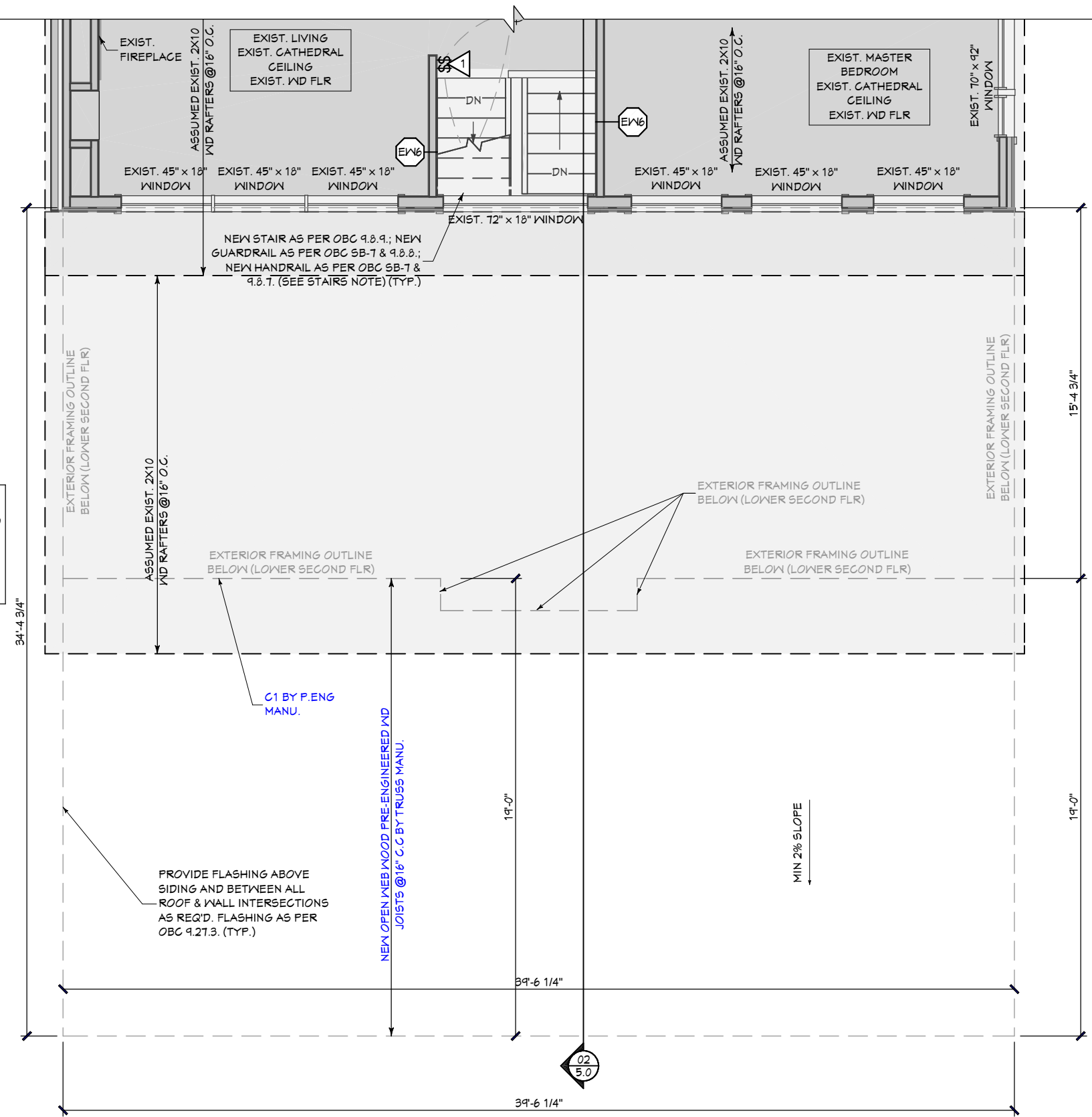
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#	DESCRIPTION	YY/MM/DD
01	ISSUED FOR BUILDING PERMIT	23/08/01

PROJECT	
150 BILLINGS AVENUE	
RESIDENTIAL	OTTAWA ONTARIO
DRAWING	
PROPOSED SECOND FLOOR PLAN	
TYPE	SCALE
ADDITION	AS SHOWN
DESIGNED BY	DRAWN BY
	DP
DATE	SHEET
AUG 01, 2023	A3.3
	OF [ENT. # PG'S IN SET]

**NOTE:**  
 -LOADING TC SNOW: 45 PSF & DEAD LOAD 15 PSF  
 -TRUSS DESIGN TO COMPLY WITH THE 2012 OBC AND CSA-086.1.  
 CONTRACTOR TO VERIFY TRUSS CONSTRUCTION & DIMENSIONS ON SITE  
 -CONTINUOUS AIR BARRIER SYSTEM AS PER OBC 9.25.3.







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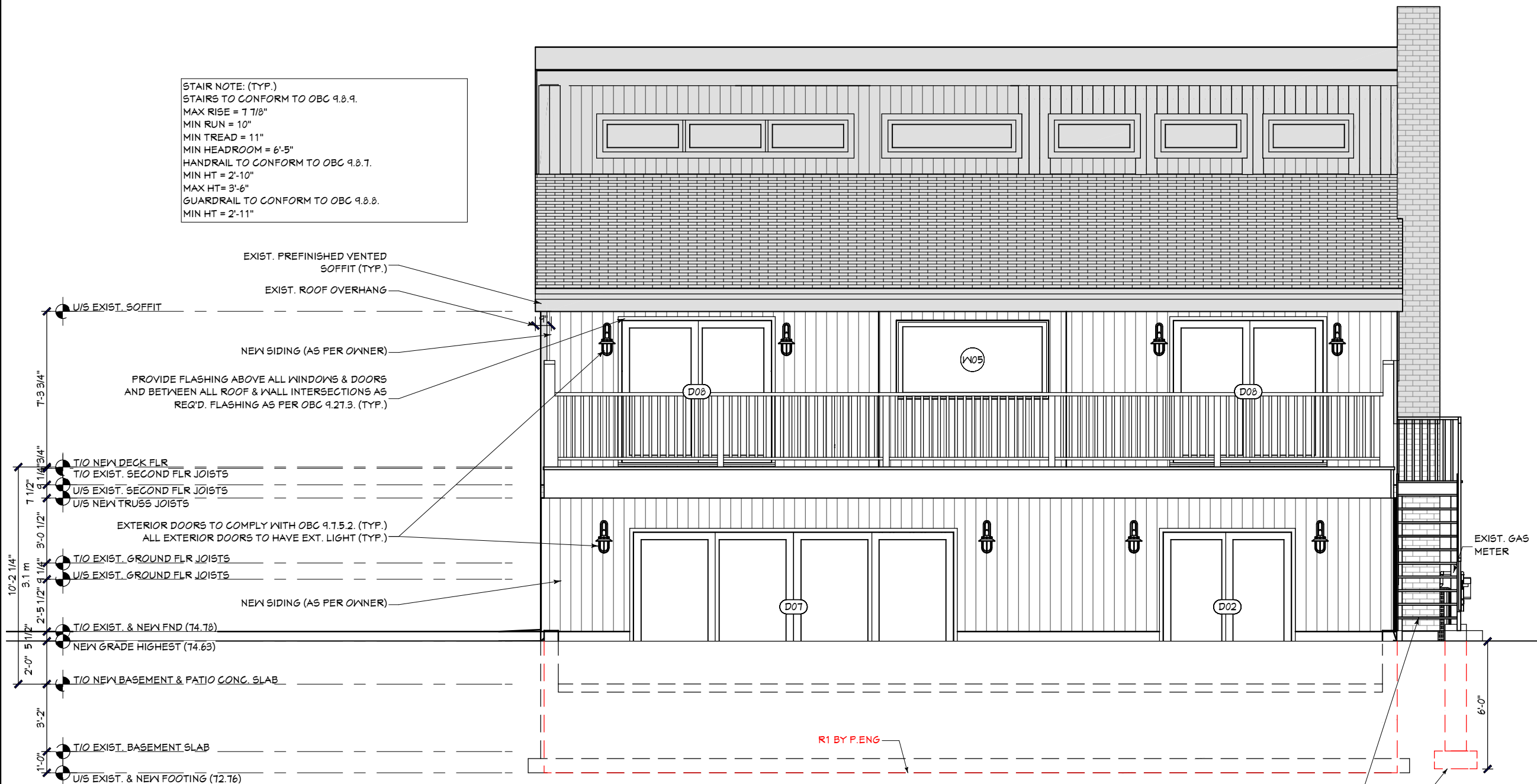
#	DESCRIPTION	YY/MM/DD
01	ISSUED FOR BUILDING PERMIT	23/08/01

PROJECT  
**150 BILLINGS AVENUE**

RESIDENTIAL  
 OTTAWA ONTARIO  
 DRAWING  
**EXTERIOR ELEVATION (REAR)**

TYPE <b>ADDITION</b>	SCALE <b>AS SHOWN</b>
DESIGNED BY	DRAWN BY <b>DP</b>
DATE <b>AUG 01, 2023</b>	<b>A4.1</b> OF [ENT. # PGS IN SET]

**STAIR NOTE: (TYP.)**  
 STAIRS TO CONFORM TO OBC 9.8.9.  
 MAX RISE = 7 7/8"  
 MIN RUN = 10"  
 MIN TREAD = 11"  
 MIN HEADROOM = 6'-5"  
 HANDRAIL TO CONFORM TO OBC 9.8.7.  
 MIN HT = 2'-10"  
 MAX HT = 3'-6"  
 GUARDRAIL TO CONFORM TO OBC 9.8.8.  
 MIN HT = 2'-11"



SEE PLANS FOR STAIR ASSEMBLY AND NOTES (TYP.)  
 NEW STAIR AS PER OBC 9.8.9.  
 NEW HANDRAIL AS PER OBC 9.8.7.  
 NEW GUARDRAIL AS PER OBC 9.8.8. & SB-7  
 NEW 2-2X12 P.T. STRINGERS @ 12" C.C. BY P.ENG

P13 BY P.ENG

R1 BY P.ENG



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01	ISSUED FOR BUILDING PERMIT	23/08/01

PROJECT  
**150 BILLINGS AVENUE**

RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

**EXTERIOR ELEVATION (LEFT SIDE)**

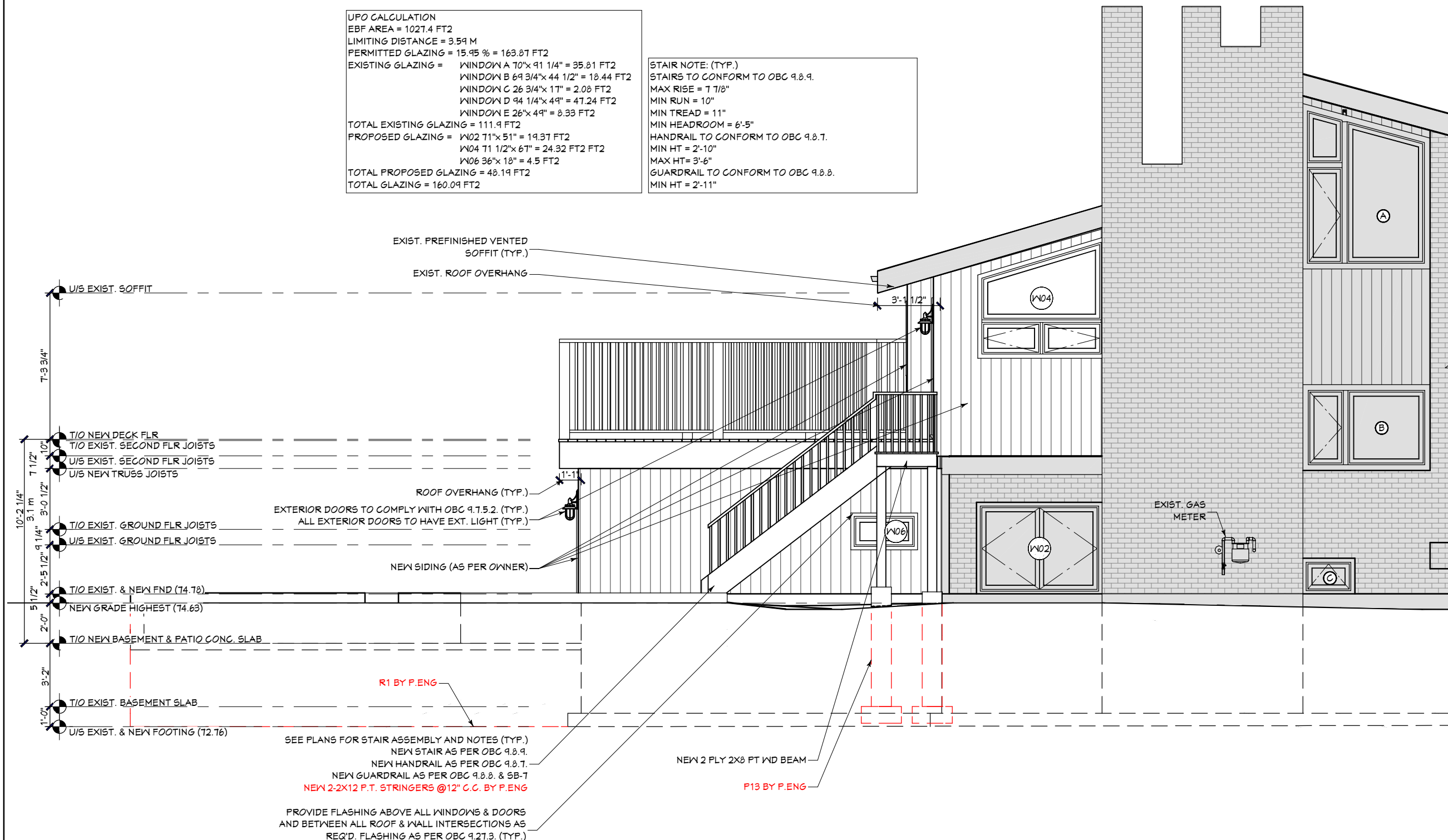
TYPE: ADDITION  
 SCALE: AS SHOWN

DESIGNED BY: DATE: AUG 01, 2023  
 DRAWN BY: DP  
 SHEET: A4.2

OF [ENT. # PGS IN SET]

**UPO CALCULATION**  
 EBF AREA = 1027.4 FT2  
 LIMITING DISTANCE = 3.59 M  
 PERMITTED GLAZING = 15.95 % = 163.87 FT2  
 EXISTING GLAZING = WINDOW A 70"x 91 1/4" = 35.81 FT2  
 WINDOW B 69 3/4"x 44 1/2" = 18.44 FT2  
 WINDOW C 26 3/4"x 17" = 2.08 FT2  
 WINDOW D 94 1/4"x 49" = 47.24 FT2  
 WINDOW E 26"x 49" = 8.33 FT2  
 TOTAL EXISTING GLAZING = 111.9 FT2  
 PROPOSED GLAZING = W02 71"x 51" = 19.37 FT2  
 W04 71 1/2"x 67" = 24.32 FT2 FT2  
 W06 36"x 18" = 4.5 FT2  
 TOTAL PROPOSED GLAZING = 48.19 FT2  
 TOTAL GLAZING = 160.09 FT2

**STAIR NOTE: (TYP.)**  
 STAIRS TO CONFORM TO OBC 9.8.9.  
 MAX RISE = 7 7/8"  
 MIN RUN = 10"  
 MIN TREAD = 11"  
 MIN HEADROOM = 6'-5"  
 HANDRAIL TO CONFORM TO OBC 9.8.7.  
 MIN HT = 2'-10"  
 MAX HT = 3'-6"  
 GUARDRAIL TO CONFORM TO OBC 9.8.8.  
 MIN HT = 2'-11"



7'-3 3/4"  
 T/O EXIST. SOFFIT  
 T/O NEW DECK FLR  
 T/O EXIST. SECOND FLR JOISTS  
 T/O EXIST. SECOND FLR JOISTS  
 T/O NEW TRUSS JOISTS  
 7 1/2"  
 10'-2 1/4"  
 3'-1 m  
 3'-0 1/2"  
 T/O EXIST. GROUND FLR JOISTS  
 T/O EXIST. GROUND FLR JOISTS  
 10'-2 1/4"  
 3'-1 m  
 3'-0 1/2"  
 T/O EXIST. & NEW FND (74.78)  
 NEW GRADE HIGHEST (74.63)  
 5 1/2"  
 2'-0"  
 T/O NEW BASEMENT & PATIO CONC. SLAB  
 3'-2"  
 T/O EXIST. BASEMENT SLAB  
 1'-0"  
 T/O EXIST. & NEW FOOTING (72.76)

EXIST. PREFINISHED VENTED SOFFIT (TYP.)  
 EXIST. ROOF OVERHANG  
 ROOF OVERHANG (TYP.)  
 EXTERIOR DOORS TO COMPLY WITH OBC 9.15.2. (TYP.)  
 ALL EXTERIOR DOORS TO HAVE EXT. LIGHT (TYP.)  
 NEW SIDING (AS PER OWNER)  
 R1 BY P.ENG  
 SEE PLANS FOR STAIR ASSEMBLY AND NOTES (TYP.)  
 NEW STAIR AS PER OBC 9.8.9.  
 NEW HANDRAIL AS PER OBC 9.8.7.  
 NEW GUARDRAIL AS PER OBC 9.8.8. & SB-7  
 NEW 2-2X12 P.T. STRINGERS @12" C.C. BY P.ENG  
 PROVIDE FLASHING ABOVE ALL WINDOWS & DOORS AND BETWEEN ALL ROOF & WALL INTERSECTIONS AS REQ'D. FLASHING AS PER OBC 9.21.3. (TYP.)

NEW 2 PLY 2X8 PT WD BEAM  
 P13 BY P.ENG





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**UPO CALCULATION**  
 EBF AREA = 1026.12 FT<sup>2</sup>  
 LIMITING DISTANCE = 2 M  
 PERMITTED GLAZING = 9% = 92.35 FT<sup>2</sup>  
 EXISTING GLAZING = WINDOW A 21 1/4" x 52" = 5.75 FT<sup>2</sup>  
                           WINDOW B 9 1/2" x 81 1/4" = 4.74 FT<sup>2</sup>  
                           3x WINDOW C 26 3/4" x 17" = 2.08 FT<sup>2</sup> = 6.24 FT<sup>2</sup>  
                           WINDOW D 25 1/2" x 28 1/2" = 3.91 FT<sup>2</sup>  
 TOTAL EXISTING GLAZING = 20.64 FT<sup>2</sup>  
 PROPOSED GLAZING = W01 27" x 43" = 6.87 FT<sup>2</sup>  
                           W03 27" x 105" = 15.53 FT<sup>2</sup>  
 TOTAL PROPOSED GLAZING = 22.4 FT<sup>2</sup>  
 TOTAL GLAZING = 43.04 FT<sup>2</sup>

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#	DESCRIPTION	YY/MM/DD
01	ISSUED FOR BUILDING PERMIT	23/08/01

PROJECT  
**150 BILLINGS AVENUE**

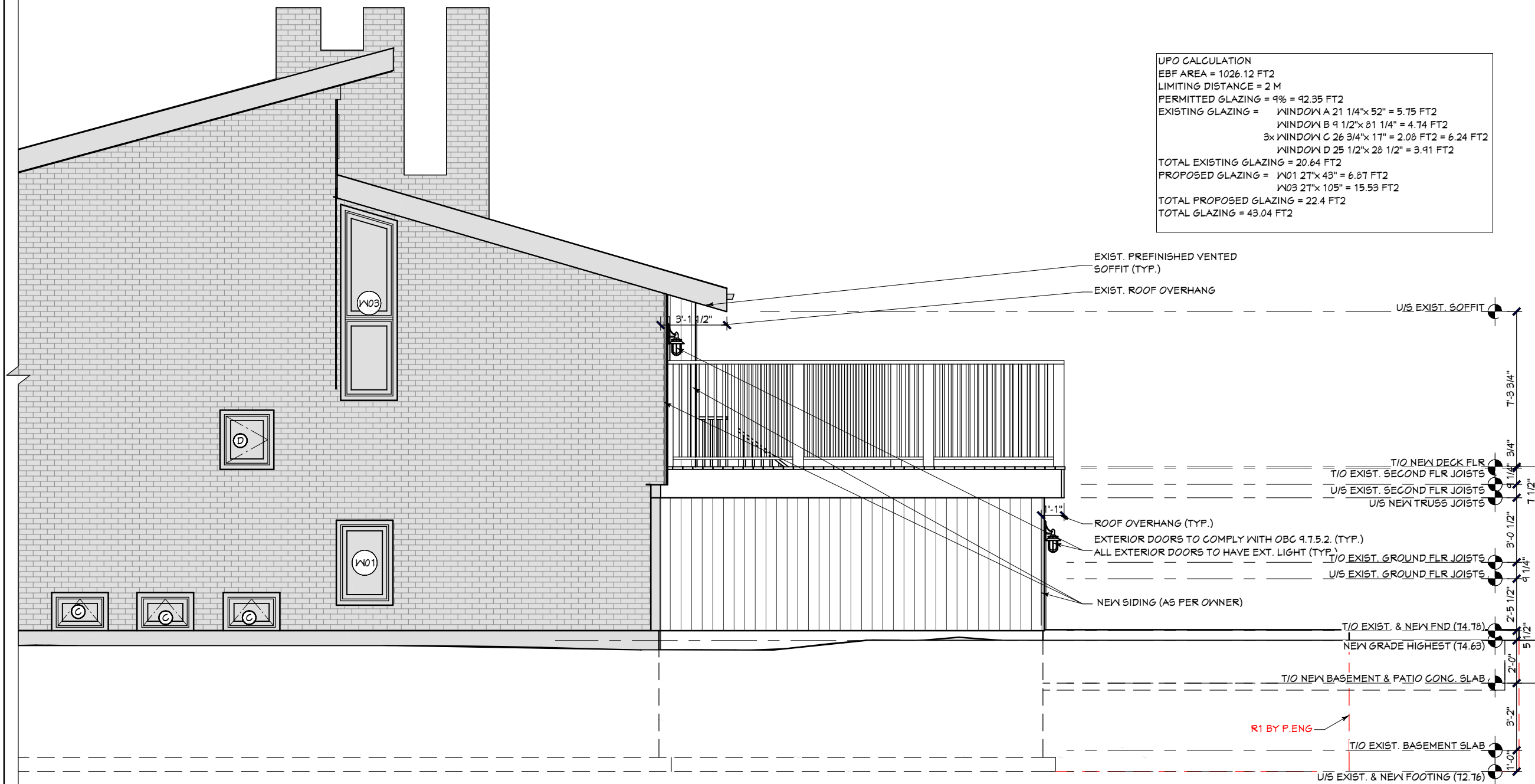
RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

**EXTERIOR ELEVATION (LEFT SIDE)**

TYPE: ADDITION  
 SCALE: AS SHOWN

DESIGNED BY: [blank] DRAWN BY: DP  
 SHEET: A4.3

DATE: AUG 01, 2023  
 OF [ENT. # PGS IN SET]



**01** EXTERIOR ELEVATION (RIGHT SIDE)  
 A4.2 SCALE: 3/16"=1' 0"

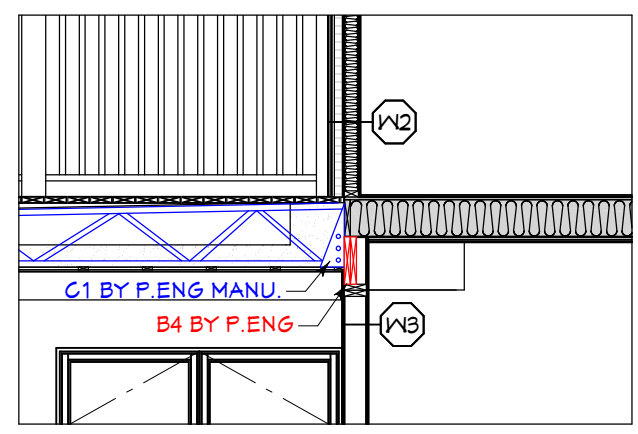


**NOTE:**  
 -TRUSS DESIGN TO COMPLY WITH THE 2012 OBC AND CSA-086.1.  
 -CONTRACTOR TO VERIFY TRUSS CONSTRUCTION & DIMENSIONS ON SITE  
 -CONTINUOUS AIR BARRIER SYSTEM AS PER OBC 9.25.3.

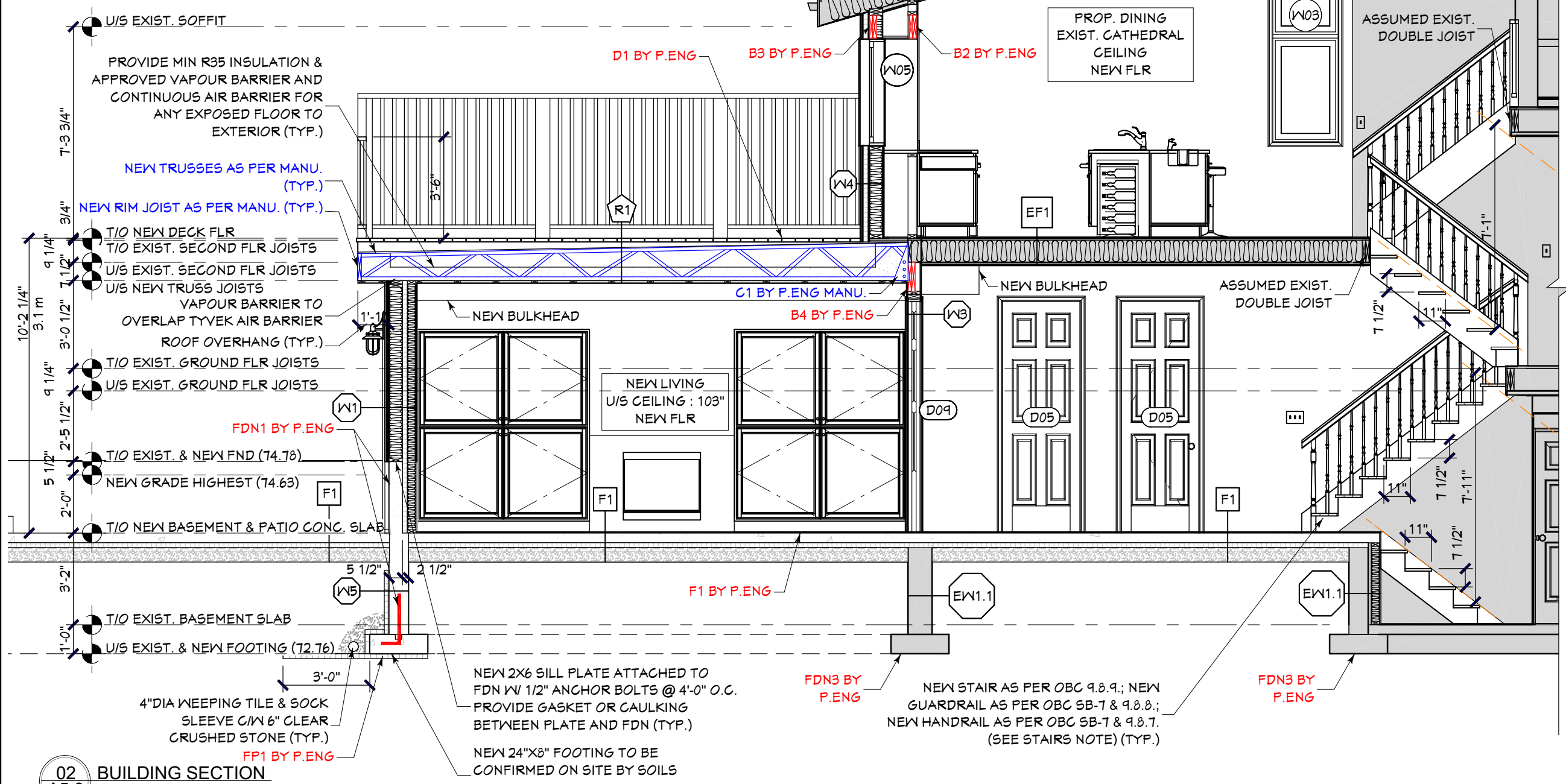
**(R1) NEW PRE-ENGINEERED ROOF ASSEMBLY:**  
 -NEW 5/4" DECKING  
 -NEW 2X4 PURLIN @16" O.C. (PERPENDICULAR TO EXISTING JOIST) RIPPED TO CREATE 2% SLOPE  
 -NEW 2 PLY MODIFIED BITUMEN MEMBRANE  
 -NEW 5/8" T&G PT OSB SUBFLOOR  
 -NEW TRUSSES BY MANU. (NOTES FROM P.ENG : ADDITIONAL BLOCKING REQUIRED TO MEET RAILING ANCHORAGE)  
 -NEW CLOSED CELL INSULATION - MIN. 7 1/4" THICK - MIN R35  
 -NEW 1X3 WD STRAPPING @16" O.C.  
 -NEW 1/2" GYPSUM BOARD FINISHED WITH A 3 COAT PROCESS, SANDED SMOOTH  
 PRIME PAINT FINISH WHERE REQ'D

**STAIR NOTE: (TYP.)**  
 STAIRS TO CONFORM TO OBC 9.8.9.  
 MAX RISE = 7 7/8"  
 MIN RUN = 10"  
 MIN TREAD = 11"  
 MIN HEADROOM = 6'-5"  
 HANDRAIL TO CONFORM TO OBC 9.8.7.  
 MIN HT = 2'-10"  
 MAX HT = 3'-6"  
 GUARDRAIL TO CONFORM TO OBC 9.8.8.  
 MIN HT = 2'-11"

**NOTE:**  
 ALL SHADED AREAS TO BE CONSIDERED NOT IN SCOPE.



**01 ROOF TRUSS CONNECTION DETAIL**  
 SCALE: 1/4"=1' 0"



**02 BUILDING SECTION**  
 A5.0 SCALE: 1/4"=1' 0"

DO NOT SCALE DRAWINGS.  
 ALL DIMENSIONS TO BE CHECKED AND VERIFIED.  
 DESIGN IS IN ACCORDANCE WITH LOCAL BYLAWS AND THE 2012 ONTARIO BUILDING CODE. ALL FABRICATIONS AND ERECTION SHALL BE IN ACCORDANCE WITH LOCAL BYLAWS AND THE 2012 ONTARIO BUILDING CODE.  
 HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.  
 TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE AT THE OWNER'S AND/OR CONTRACTOR'S EXPENSE AND RESPONSIBILITY.  
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE DESIGNER/ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.  
**DISCLAIMER NOTE:**  
 -DUSTIN DESIGN & DRAFTING COMPANY IS NOT RESPONSIBLE FOR ANY PURCHASES REGARDING THE CONSTRUCTION (FLOOR & ROOF MATERIALS, WINDOWS & DOORS MATERIALS OR ANY OTHER TYPE OF MATERIALS IN ORDER TO BUILD THIS BUILDING).  
 -NONE OF THESE MATERIALS SHOULD BE PURCHASED UNTIL THE PERMIT PLANS HAS BEEN APPROVED BY THE CITY.  
 -THE OWNER(S) AND/OR CONTRACTOR(S) IS TAKING FULL RESPONSIBILITY ON THESE PURCHASES AND THE CONSEQUENCES THAT MAY OCCUR OF THESE DECISIONS.

Dustin Poole  
 BCIN# 37560  
 FIRM# 100988  
 613-795-2860  
*Dustin Poole*

QUALIFICATION INFO:  
 SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT BUILDING CODE REQUIREMENTS AND ON-SITE CONDITIONS.

#	DESCRIPTION	YY/MM/DD
01	ISSUED FOR BUILDING PERMIT	23/08/01

PROJECT  
**150 BILLINGS AVENUE**  
 RESIDENTIAL DRAWING  
 OTTAWA ONTARIO

<b>BUILDING SECTION</b>	
TYPE <b>ADDITION</b>	SCALE <b>AS SHOWN</b>
DESIGNED BY DP	DRAWN BY DP
DATE <b>AUG 01, 2023</b>	SHEET <b>A5.0</b> OF [ENT. # PGS IN SET]



PART OF LOTS 168 AND 169 REGISTERED PLAN 129 CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2022

Scale 1: 150 0 1.5 3 6 9 12 15 metres

Metric Note Distances on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note Bearings herein are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°35'15" counter-clockwise was applied to bearings on P1, P2, P4 & P5. For bearing comparisons, a rotation of 0°01'00" counter-clockwise was applied to bearings on P3.

Elevation Notes 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 :1978. (Monument No. 198343761) 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. Underground utility data derived from City of Ottawa utility sheet reference: Sheets No. 1-15-16, 1-15-22 & DWG. No. 13931. 4. Sanitary and storm sewer grades and inverts were compiled from: Field measurement & City of Ottawa Utility Sheets. 5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend Denotes: Survey Monument Planted, Survey Monument Found, Short Standard Iron Bar, Iron Bar, Witness, Measured, Registered Plan 129, Plan 5R-1562, Plan 4R-11077, Plan by (1287) dated July 24, 1996 (Job No. 248-96), Plan by (AOG) dated June 30, 2004 (Job No. 3987-02-F), Inst. No. CT225538, Inst. No. W746334, Inst. No. N481450, Maintenance Hole (Storm), Maintenance Hole (Sanitary), Underground Storm Sewer, Underground Sanitary Sewer, Underground Water, Underground Gas, Underground Rogers, Overhead Wires, Utility Pole, Catch Basin, Fire Hydrant, Timber Retaining Wall, Chain Link Fence, Board Fence, Diameter, Gas Meter, Air Conditioner, Invert, Invert taken from City of Ottawa Utility Sheets, Top of Grate, Underside of Eave, Top of Foundation, Centreline, Elevation, Location of Elevations, Top of Concrete Curb Elevation/Retaining Wall, Property Line, Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan. Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Site Area is 1118.0 square metres.

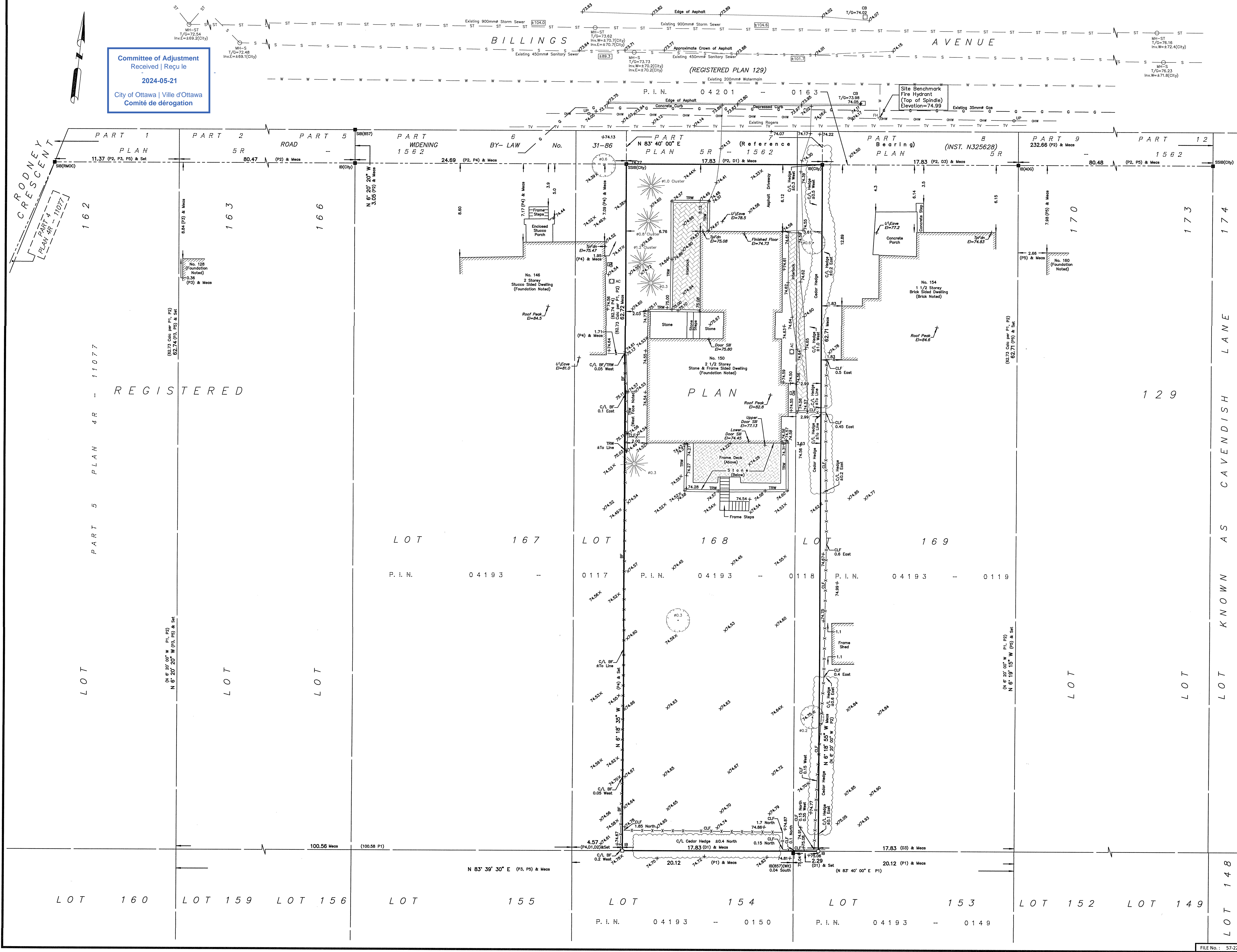
TOPOGRAPHIC DATA WAS COLLECTED UNDER WINTER CONDITIONS. SNOW COVER AND ICE PRECLUDE DETERMINING LOCATION AND ELEVATION OF SOME TOPOGRAPHICAL DATA THAT IS OTHERWISE VISIBLE.

WARNING NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2022.

Surveyor's Certificate I certify that: 1. This survey and plan are correct and in accordance with the Surveyors Act, the Surveyors Act and the Regulations made under them. 2. The survey was completed on the 21st day of March, 2022. Date: March 30/22 Date: Jamie Leslie Ontario Land Surveyor

FARLEY, SMITH & DENIS SURVEYING LTD. ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS

Ontario Land Surveyors Canada Land Surveyors Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6 TEL: (613) 727-8226 E-mail: fstdsurveys@bellnet.ca



Committee of Adjustment Received | Reçu le 2024-05-21 City of Ottawa | Ville d'Ottawa Comité de dérogation

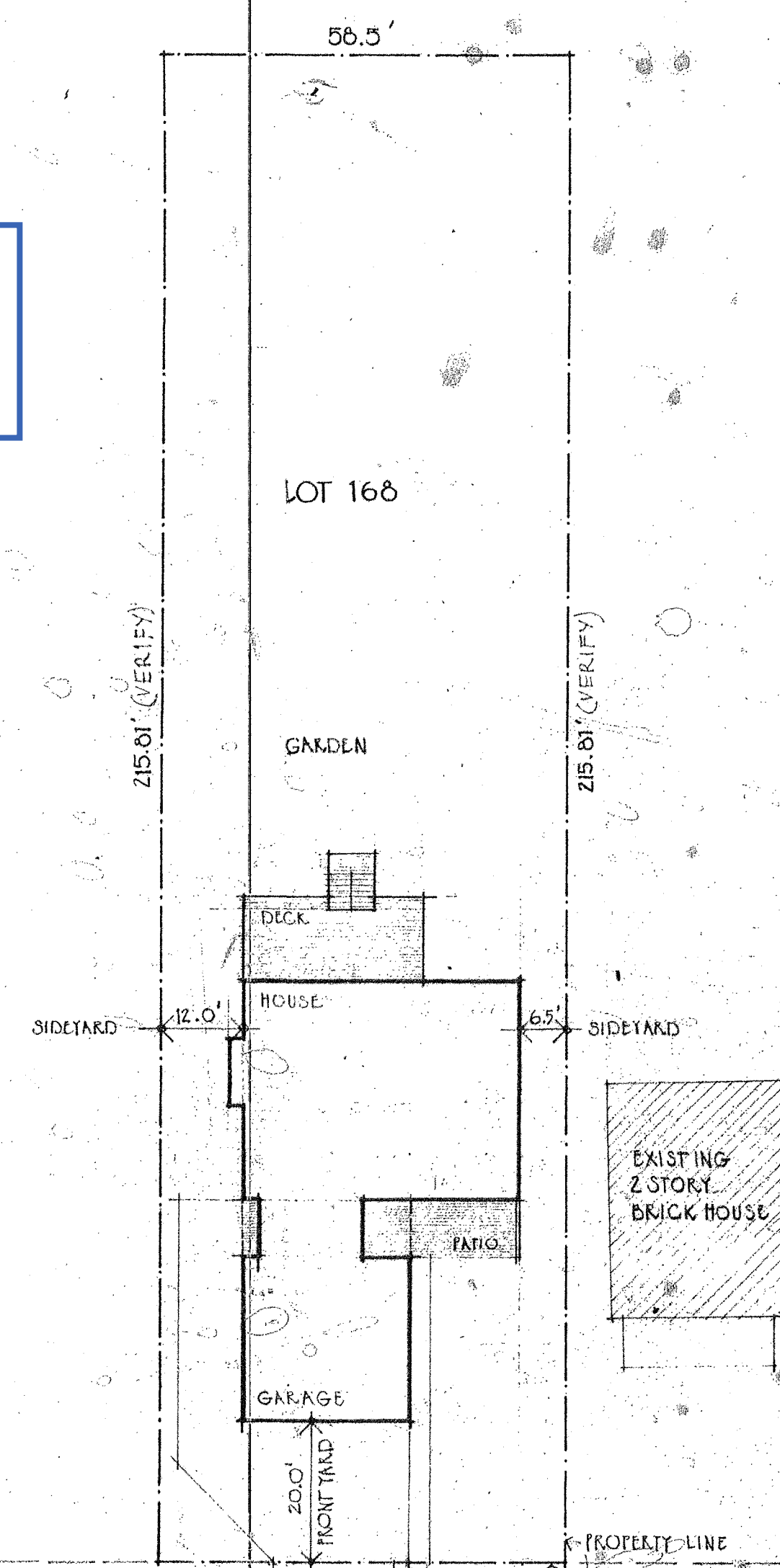


FINISH SCHEDULE

NO	ROOM NAME	FLOOR	FIN	WALLS	FIN	CEILING	FIN	BASE	FIN	REMARKS
L1	RECREATION ROOM	CORLON <i>Barwood</i>	-	DW	PAINT	AT	PAINT	CEDAR	OIL	COUNTER & CUPBOARDS
L2	BEDROOM 2 <i>B.O.W</i>	CARPET <i>Barwood</i>	-	DW	PAINT	DW	PAINT	CEDAR	OIL	
L3	BEDROOM 3 <i>B.O.W</i>	CARPET <i>Barwood</i>	-	DW	PAINT	DW	PAINT	CEDAR	OIL	
L4	LANDING 2 <i>OL</i>	CORLON <i>Barwood</i>	-	DW	PAINT	DW	PAINT	CEDAR	OIL	
L5	BATHROOM 1	CORLON	-	DW/CT	SG PAINT	DW	SG PAINT	CEDAR	OIL	CERAMIC TILE AROUND BATH TO CEILING
L6	STORAGE ROOM	CONCRETE <i>Barwood</i>	PAINT	CONCRETE	-	-	-	-	-	
L7	COLD STORAGE ROOM	CONCRETE	PAINT	DW	PAINT	DW	PAINT	CEDAR	OIL	INSULATE FROM HOUSE & OUTSIDE
L8	FURNACE ROOM	CONCRETE	PAINT	CONCRETE	-	-	-	-	-	
L9	COVERED PORCH	PRECAST PAVES	-	-	-	1X3 CEDAR SLATS	-	-	-	
L10	PROTECTION ROOM	CORLON <i>Barwood</i>	-	DW	PAINT	DW	PAINT	CEDAR	-	ADJUSTABLE SHELVES - CONSULT OWNER
L11	LANDING 1	CORLON <i>Barwood</i>	-	DW	PAINT	DW	PAINT	CEDAR	-	
U1	SUNDECK	2X6 CEDAR	STAIN	-	-	-	-	-	-	CEDAR SCREEN
U2	FAMILY KITCHEN <i>B.O.W</i>	QT <i>Carpet</i>	-	DW	SG PAINT	T&G CEDAR	-	CEDAR	OIL	
U3	PANTRY	QT <i>Carpet</i>	-	DW	PAINT	DW	PAINT	CEDAR	OIL	
U4	DINING ROOM	QT <i>8x4x3/8</i>	-	DW	PAINT	T&G CEDAR	-	CEDAR	OIL	
U5	LANDING 4	QT <i>Pecan</i>	-	DW	PAINT	T&G CEDAR	-	CEDAR	OIL	
U6	WORKROOM <i>By owner</i>	CARPET	-	DW	PAINT	DW	STIPPLE	CEDAR	OIL	SINK, ACOUSTIC INSULATION IN WALLS
U7	LIBRARY <i>By owner</i>	CARPET	-	DW	PAINT	DW	STIPPLE	CEDAR	OIL	
U8	STUDY <i>By owner</i>	CARPET	-	DW	PAINT	DW	STIPPLE	CEDAR	OIL	ACOUSTIC INSULATION IN WALLS
U9	LANDING 3	QT <i>Carpet</i>	-	DW	PAINT	T&G CEDAR	-	CEDAR	OIL	
U10	VESTIBULE	QT <i>8x4x3/8</i>	-	DW	PAINT	T&G CEDAR	-	CEDAR	OIL	
U11	HALL	QT <i>Pecan</i>	-	DW	PAINT	T&G CEDAR	-	CEDAR	OIL	
U12	POWDER ROOM	CORLON	-	DW	SG PAINT	DW	SG PAINT	CEDAR	OIL	
U13	HOBBY ROOM	CORLON	-	DW	PAINT	DW	STIPPLE	CEDAR	OIL	
U14	GARAGE	CONCRETE	EPOXY	DW/CB	-	-	-	-	-	DW SOUTH WALL ONLY
U15	PORCH / PATIO	QT <i>Pecan</i>	-	CEDAR SIDING	STAIN	1X3 CEDAR SLATS	-	-	-	
S1	MASTER BEDROOM <i>By owner</i>	CARPET	-	DW	PAINT	T&G CEDAR	-	CEDAR	OIL	
S2	LANDING 5 <i>By owner</i>	CARPET	-	DW	PAINT	T&G CEDAR	-	CEDAR	OIL	
S3	LIVING ROOM <i>By owner</i>	CARPET	-	DW	PAINT	T&G CEDAR	-	CEDAR	OIL	
S4	DECK	<i>Metal &amp; wood</i>	-	CEDAR SIDING	STAIN	T&G CEDAR	-	-	-	
S5	SAUNA	<i>Corlon &amp; wood</i>	-	-	-	-	-	-	-	FINISH BY SPECIALIST (NIC)
S6	BATHROOM 2 <i>By owner</i>	QT <i>Carpet</i>	-	CEDAR/CT	-	T&G CEDAR	-	CEDAR	OIL	QT AROUND BATH TO CEILING
	STAIR 1 <i>By owner</i>	CARPET	-	DW	PAINT	T&G CEDAR	-	2x12 RED OAK STRING	OIL	2x8 RED OAK HANDRAIL
	STAIR 2	CONCRETE STAIR	EPOXY	CONC.	EPOXY	-	-	-	-	METAL RAILING
	STAIR 3	2x12 CEDAR TREADS	-	2x2 CEDAR BALUSTRADE	-	-	-	-	-	2x8 CEDAR HANDRAIL

KEY TO ABBREVIATIONS:  
 AT ACOUSTIC TILE  
 CB CONCRETE BLOCK  
 CT CERAMIC TILE  
 DW DRYWALL  
 QT QUARRY TILE  
 SG SEMI GLOSS (PAINT)

Committee of Adjustment  
 Received | Reçu le  
 2024-05-21  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation

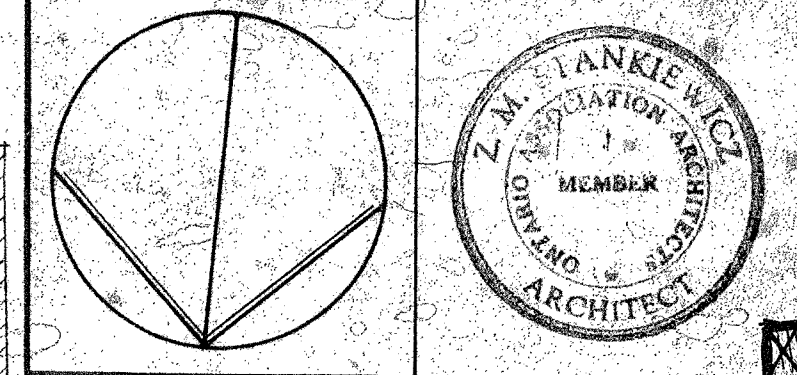


SITE PLAN SCALE 1"=20'  
 PLAN OF LOT 166, SOUTH BILLINGS AVE.  
 REGISTERED PLAN NO 129 GLOUster  
 CITY OF OTTAWA  
 SURVEYED BY FAIRHALL AND MOFFATT O.L.S.  
 DEC 11/69  
 AMENDED FEB 15/72

4		
3		
2		
1	REVISED FOR CONSTRUCTION	26/8/15
no	revision	date

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AT HIS OWN RESPONSIBILITY

CONSTRUCTION SET 6



Z. MATTHEW STANKIEWICZ  
 architect  
 126 York Street  
 Ottawa K1N 5J5  
 tel. 235-3162

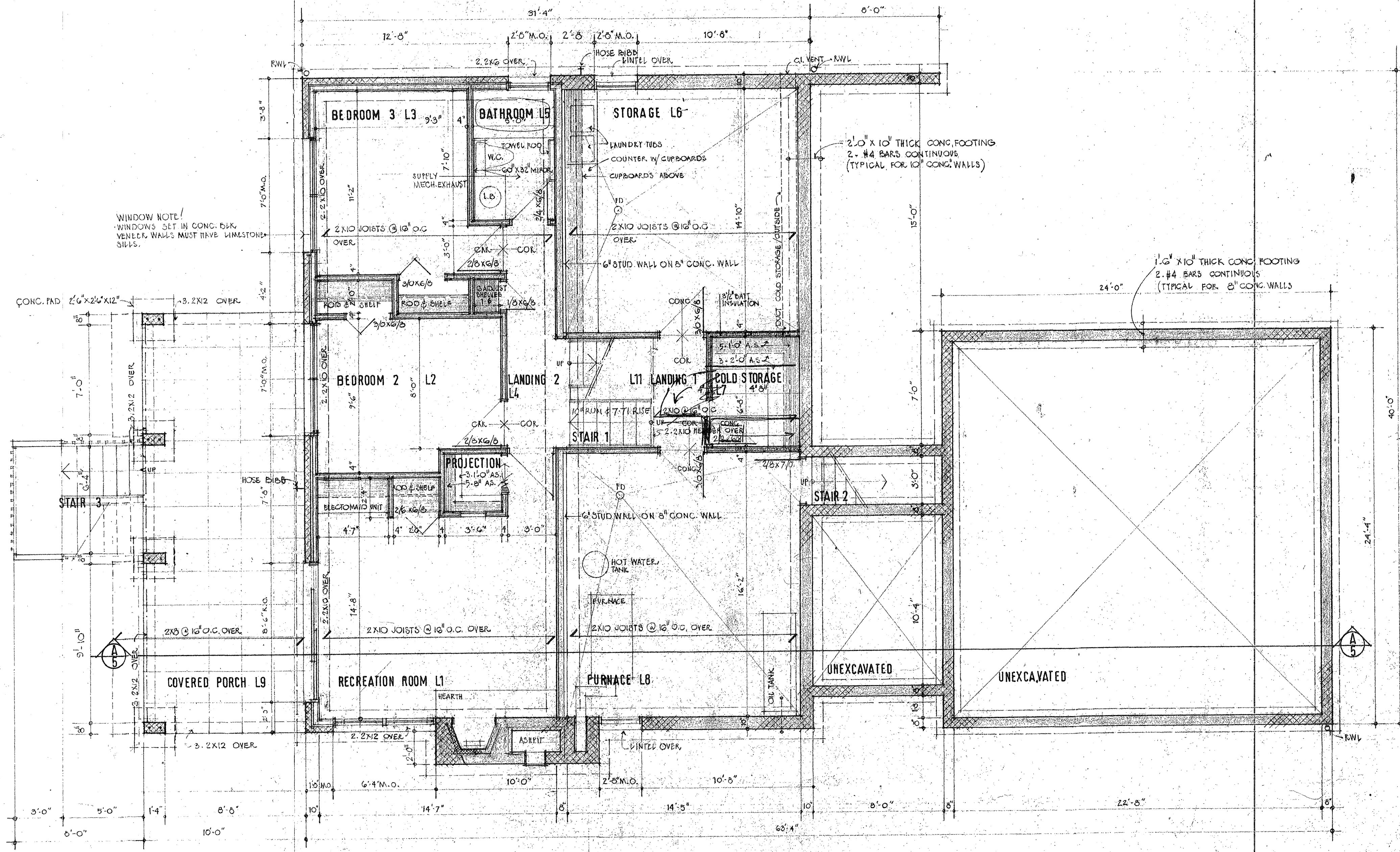
drawn G.N. checked *WJ*  
 scale AS SHOWN  
 date 23 JULY 1975  
 job no. 7419

RAGAN HOUSE  
 BILLINGS AVE.  
 OTTAWA ONTARIO

title  
 FINISH SCHEDULE  
 SITE PLAN

rev. no. *1* dwg no. **A-1**

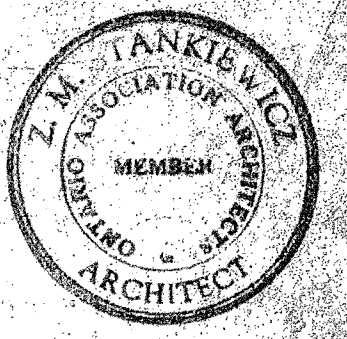
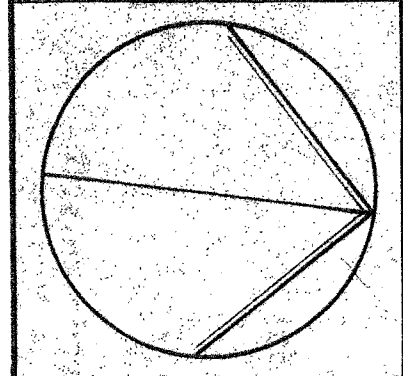




4		
3		
2		
1	REVISED FOR CONSTRUCTION	26/8/75
no	revision	date

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AT HIS OWN RESPONSIBILITY

CONSTRUCTION SET



**Z. MATTHEW STANKIEWICZ**  
 architect  
 126 YORK STREET  
 OTTAWA K1N 5T5  
 TEL. 235-3162

drawn GN/PSP checked *WLS*  
 scale 1/4" = 1'-0"  
 date 23 JULY 1975  
 job no. 7419

RAGAN HOUSE  
 BILLINGS AVE.  
 OTTAWA ONTARIO

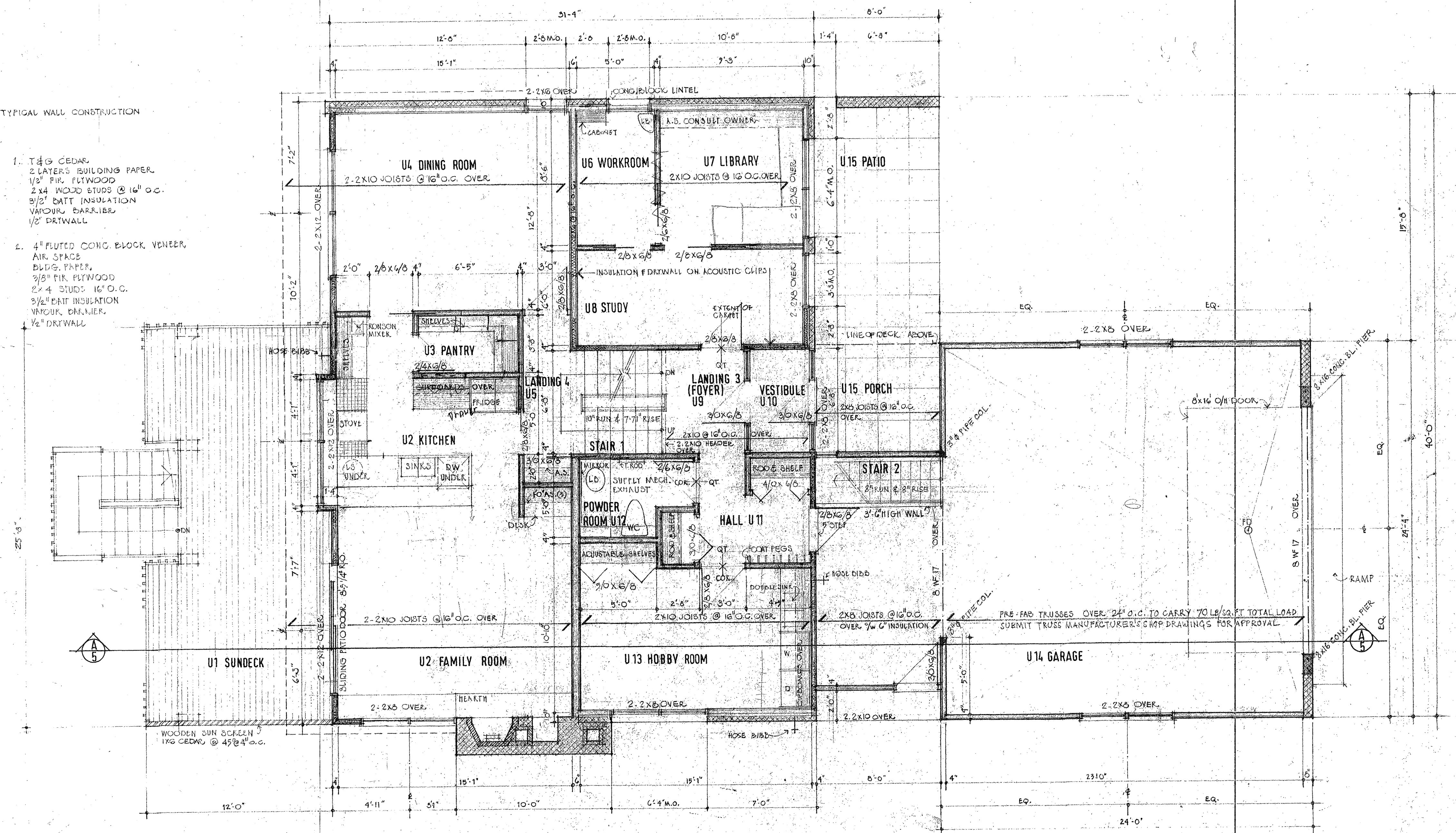
title  
 LOWER GROUND FLOOR

rev. no. 1 dwg no. A-2



TYPICAL WALL CONSTRUCTION

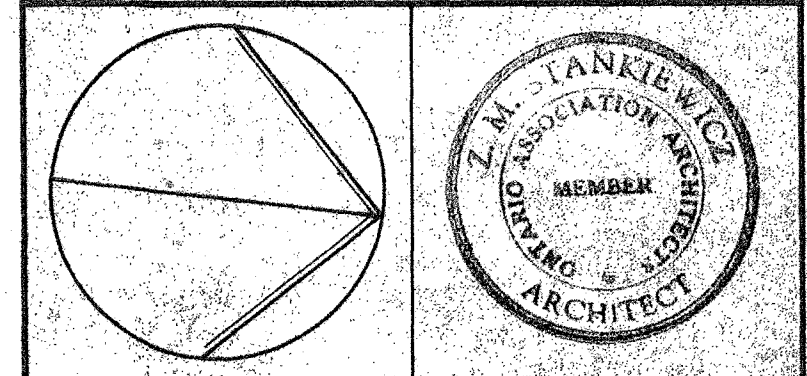
1. 1 1/2" CEDAR  
2 LAYERS BUILDING PAPER  
1/2" FIR PLTWOOD  
2x4 WOOD STUDS @ 16" O.C.  
3/2" BATT INSULATION  
VAPOUR BARRIER  
1/2" DRYWALL
2. 4" FLUTED CONC. BLOCK VENEER  
AIR SPACE  
BLDG. PAPER  
3/8" FIR PLTWOOD  
2x4 STUDS @ 16" O.C.  
3/2" BATT INSULATION  
VAPOUR BARRIER  
1/2" DRYWALL



4		
3		
2		
1	REVISED FOR CONSTRUCTION	26/5/75
no	revision	date

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AT HIS OWN RESPONSIBILITY

CONSTRUCTION SET



**Z. MATTHEW STANKIEWICZ**  
architect  
126 YORK STREET  
OTTAWA K1N 5T5  
TEL. 235-3162

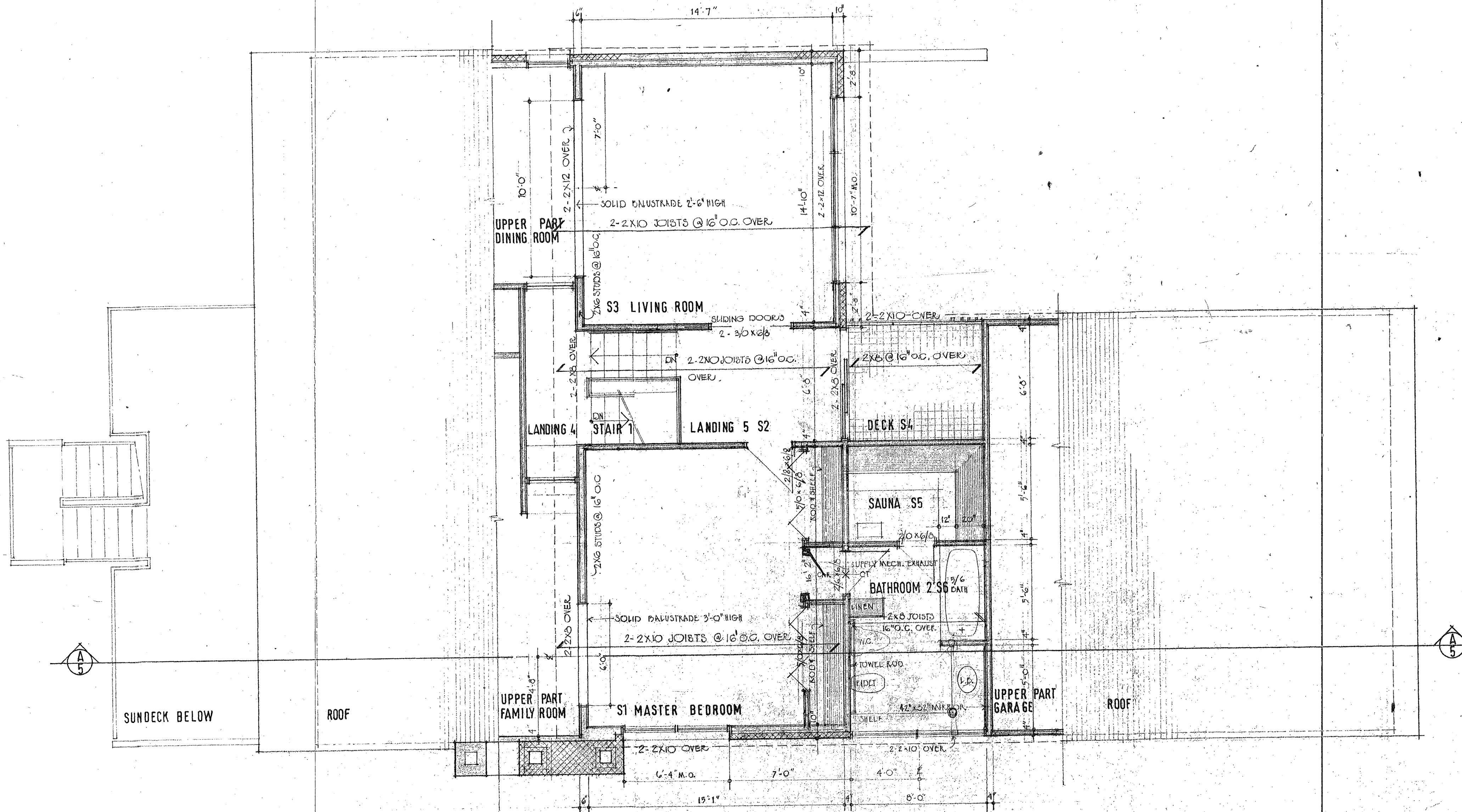
drawn	GN/ESP	checked	MS
scale	1/4" = 1'-0"		
date	23 JULY 1975		
job no.	7419		

RAGAN HOUSE  
BILLINGS AVE.  
OTTAWA ONTARIO

title  
UPPER GROUND FLOOR

rev. no.		dwg no.	A3
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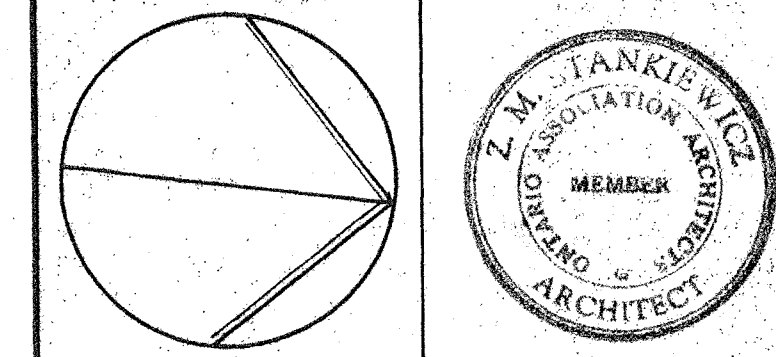




4		
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2		
1	REVISED FOR CONSTRUCTION	26/8/75
no	revision	date

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AT HIS OWN RESPONSIBILITY

CONSTRUCTION SET



**Z. MATTHEW STANKIEWICZ**  
 architect  
 126 york street  
 ottawa k1n 5t5  
 tel. 235-3162

drawn GN/TFP checked *W.S.*

scale 1/4"=1'-0"

date 23 JULY 1975

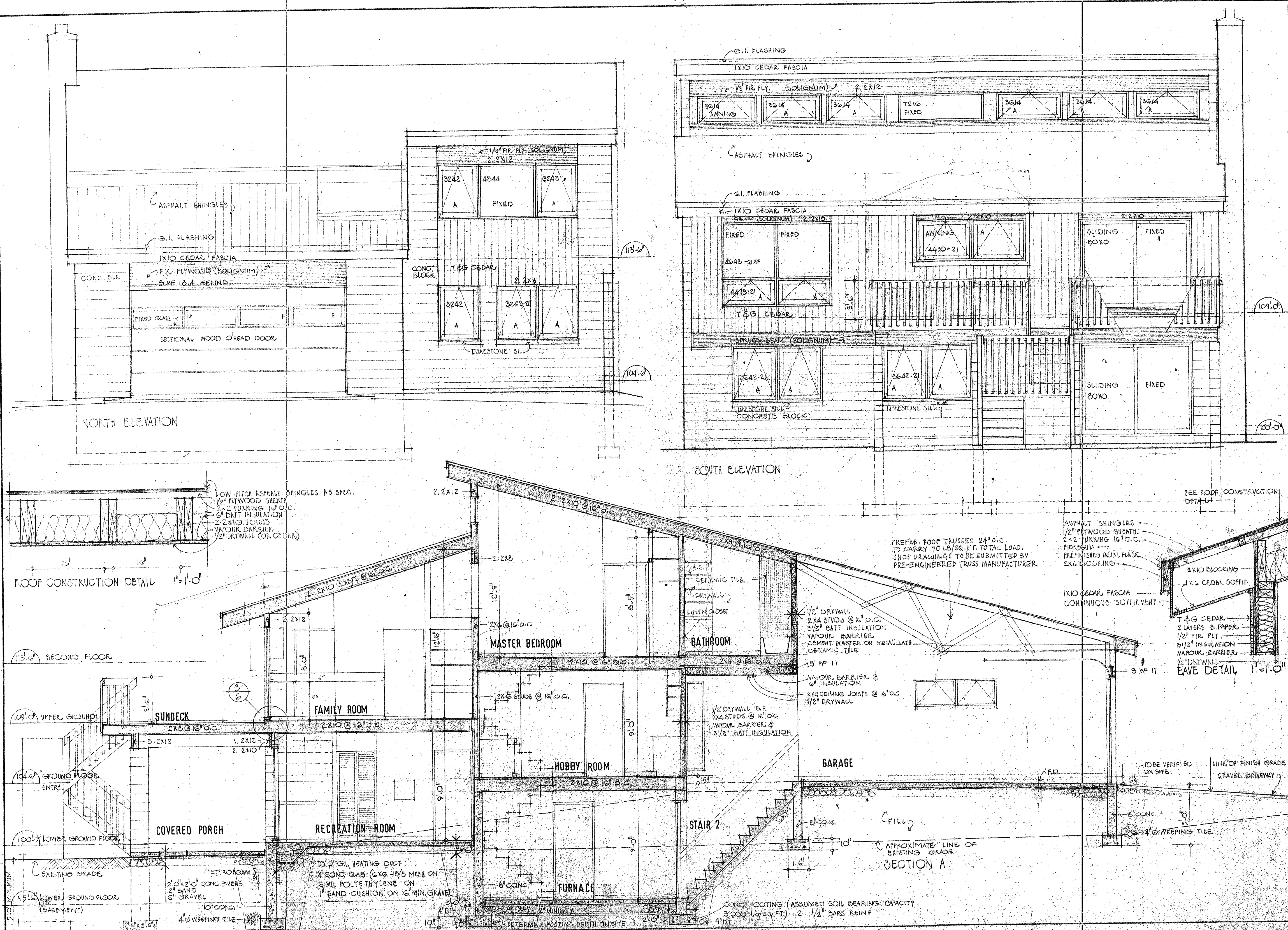
job no. 7419

RAGAN HOUSE  
 BILLINGS AVE.  
 OTTAWA ONTARIO

title  
 SECOND FLOOR

rev. no. dwg no. **A-4**





4		
3		
2		
1	REVISED FOR CONSTRUCTION:	26/5/75
no	revision	date

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AT HIS OWN RESPONSIBILITY

CONSTRUCTION SET

**Z. MATTHEW STANKIEWICZ**  
 architect  
 126 YORK STREET  
 OTTAWA K1N 5T5  
 TEL. 235-3162

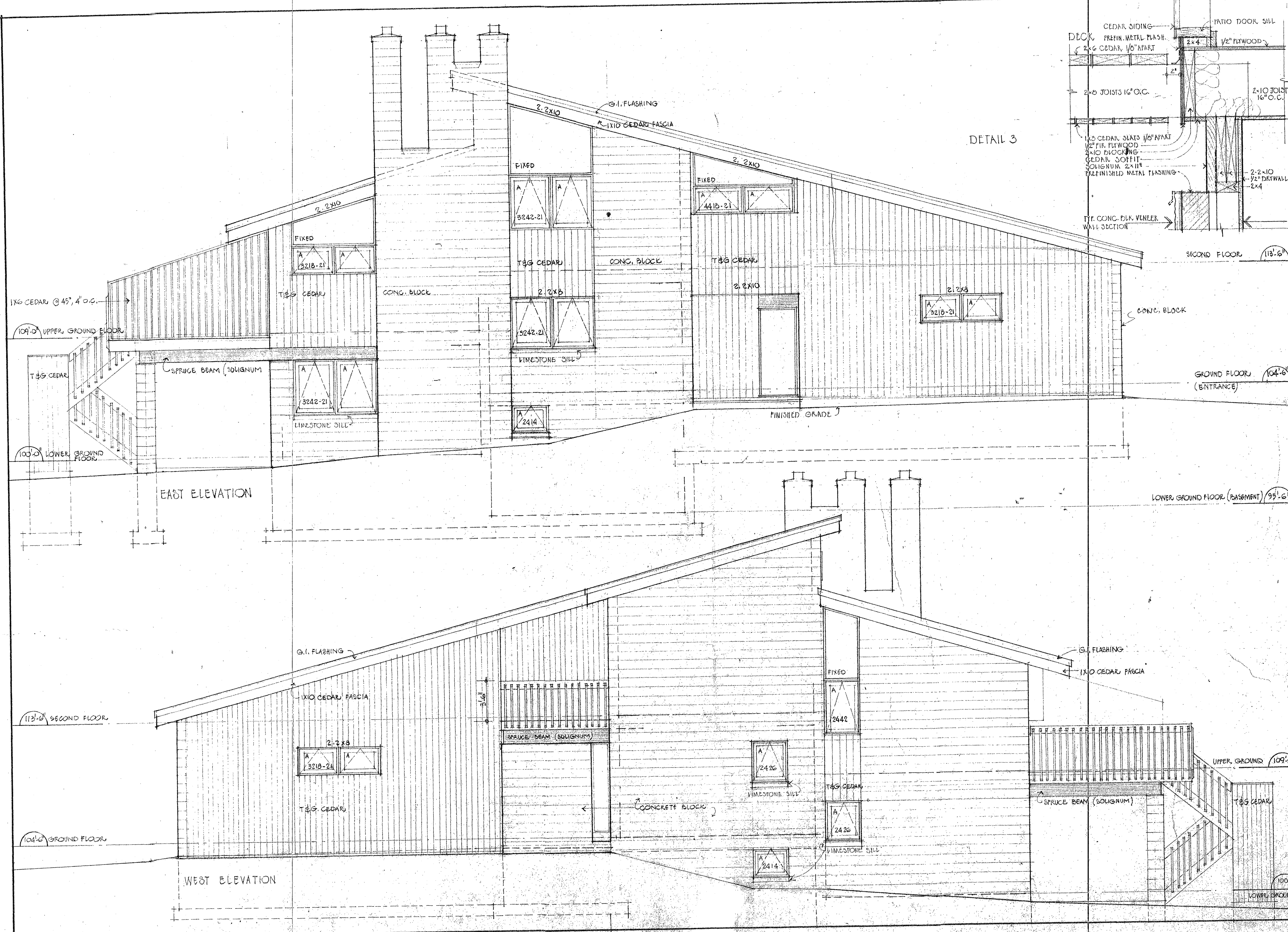
drawn FSP checked *WJ*  
 scale 1/4"=1'-0"  
 date 23 JULY 1975  
 job no. 7419

RAGAN HOUSE  
 BILLINGS AVE.  
 OTTAWA ONTARIO

title  
 ELEVATIONS  
 SECTION

rev. no. *A* dwg. no. **A-5**

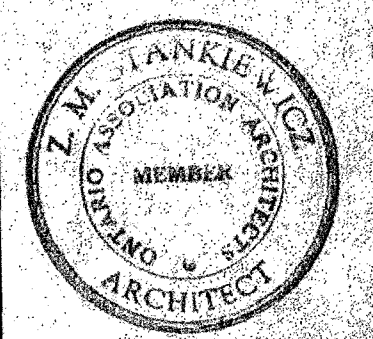




4		
3		
2		
1	REVISED FOR CONSTRUCTION	26/6/75
no	revision	date

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AT HIS OWN RESPONSIBILITY

CONSTRUCTION SET



**Z. MATTHEW STANKIEWICZ**  
 architect  
 126 YORK STREET  
 OTTAWA K1N 5T5  
 TEL. 235-3162

drawn GN/TSP checked WJ

scale 1/4" = 1'-0" & 1/2" = 1'-0"

date 23 JULY 1975

job no. 7419

RAGAN HOUSE  
 BILLINGS AVE  
 OTTAWA ONTARIO

title  
 ELEVATIONS

rev. no. dwg. no. **A-6**