

PART OF LOTS 45, 46 REGISTERED PLAN 66 PART OF LOT 23 JUNCTION GORE GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2023 Scale 1: 250

Metric Note Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Bearing Note Bearings herein are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

Elevation Notes 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 1978. (Monument No. 127343438)

Utility Notes 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.

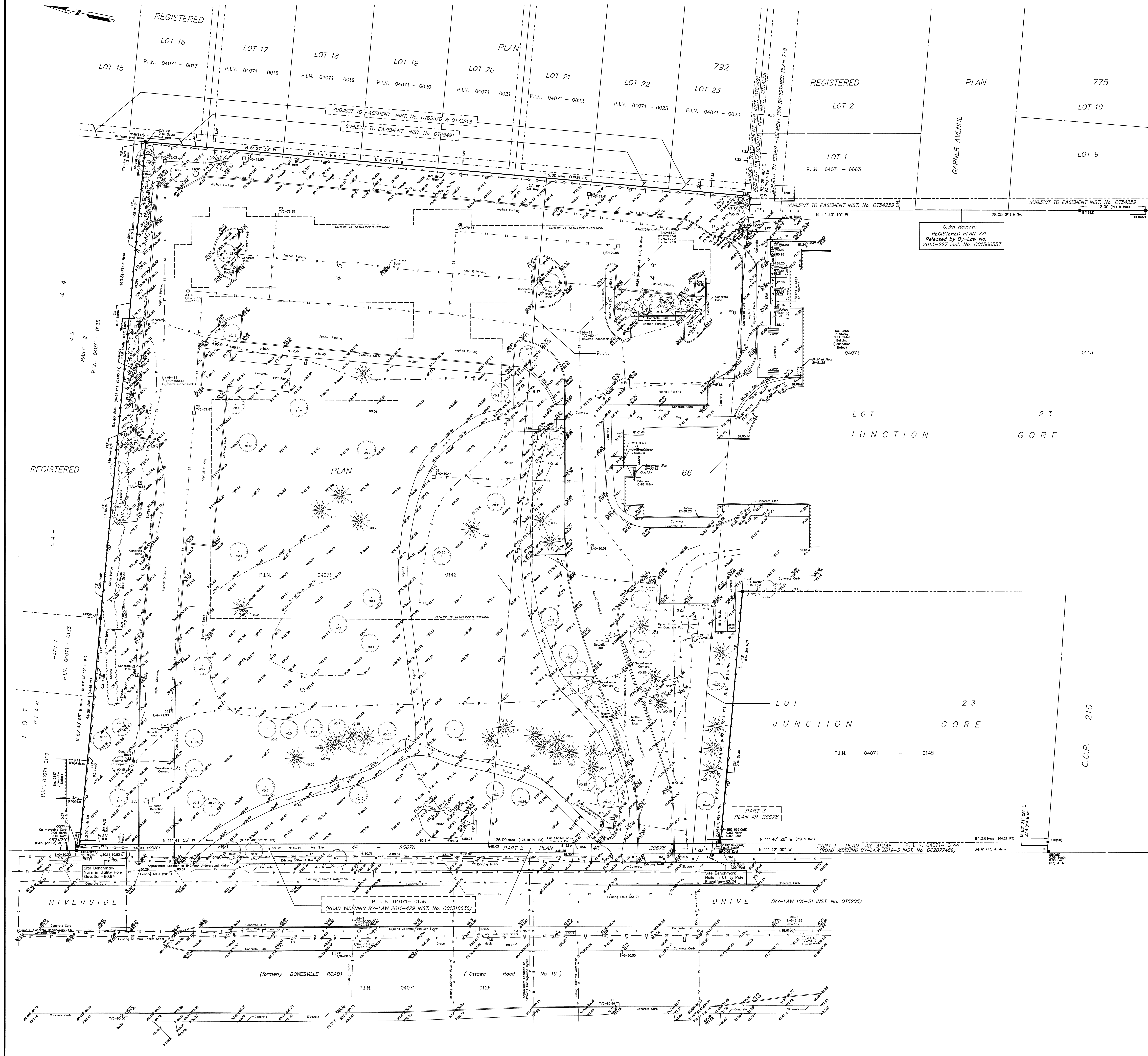
2. Only visible surface utilities were located. 3. Underground utility data derived from City of Ottawa utility sheet reference: L-08-06, L-08-07, 705, 6235, 6238, 672-p-01, 672-p-02, E356-2, 4. Sanitary and storm sewer grades and inverts were compiled from: Field measurement & City of Ottawa Utility Sheets.

5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Committee of Adjustment Received | Reçu le 2025-01-14 City of Ottawa | Ville d'Ottawa Comité de dérogation

Notes & Legend

Table with 2 columns: Symbol and Description. Includes symbols for Survey Monument Planted, Standard Iron Bar, Cut Cross, etc., and a list of utility types like Storm Sewer, Sanitary Sewer, etc.

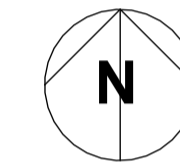


WARNING: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. SURVEYOR'S CERTIFICATE I certify that: 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them. 2. The survey was completed on the 5th day of June, 2023. Date: June 7/23 Daniel Robinson Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-48420 FARLEY, SMITH & DENIS SURVEYING LTD. ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS



## St. Patrick's Home of Ottawa - New Apartment Building



2865 Riverside Drive  
Ottawa ON K1V 8N5



Committee of Adjustment  
Received | Reçu le  
2025-01-14  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

| NO. | DATE     | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
|-----|----------|--------------------------------------|
| 1   | 23/09/22 | ISSUE                                |
|     | YYMMDD   | ISSUE                                |

LES IDÉES, DESSINS, ARRANGEMENTS ET PLANS INDIQUÉS OU REPRÉSENTÉS PAR CE DESSIN APPARTIENNENT À EDWARD J. CUHACI AND ASSOCIATES INC. ET ONT ÉTÉ CRÉÉS ET DÉVELOPPÉS POUR ÊTRE UTILISÉS DANS LE CADRE DU PROJET INDIQUÉ. ILS NE DOIVENT PAS ÊTRE UTILISÉS OU COMMUNIQUÉS À QUI QUE CE SOIT ET À QUELQUE FIN QUE CE SOIT SANS LA PERMISSION ÉCRITE DE EDWARD J. CUHACI AND ASSOCIATES INC.

L'ARCHITECTE DÉCLINE TOUTE RESPONSABILITÉ DÉCOULANT DE PROBLÈMES FAISANT SUITE AU NON RESPECT DES PLANS, DEVIS ET DE L'INTENTION DU CONCEPT QUI S'INDIQUENT OU DE TOUTS LES PROBLÈMES POUVANT RÉSULTER DU DÉFAUT DE TIERS D'OBTENIR OU DE SUIVRE LES INSTRUCTIONS DE L'ARCHITECTE EN CE QUI CONCERNE LES ERREURS, OMISSIONS, INCOHÉRENCES, AMBIGUITÉS OU CONTRADICTIONS ALLÉGUÉES.

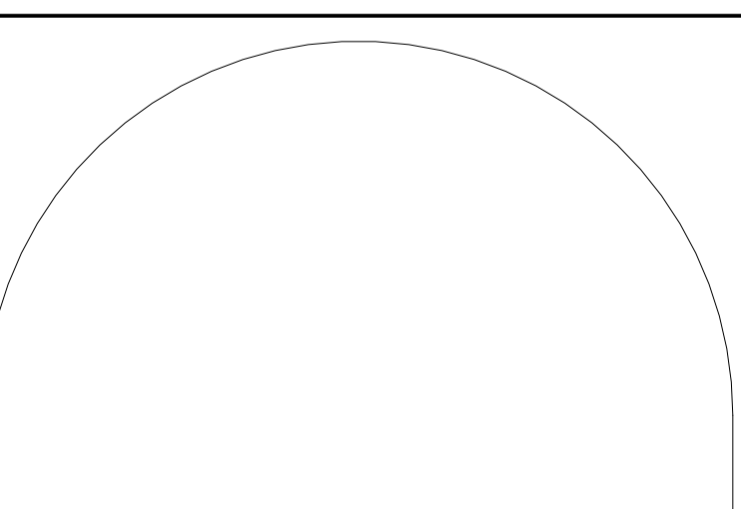
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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

| SHEET NUMBER | SHEET NAME   |
|--------------|--|
| E-001        | ELECTRICAL DRAWING LIST, LEGEND, AND GENERAL NOTES |
| E-101        | SITE PLAN - ELECTRICAL DEMOLITION                  |
| E-102        | SITE PLAN - ELECTRICAL NEW                         |
| E-200        | BASEMENT LEVEL - LIGHTING                          |
| E-201        | GROUND FLOOR - LIGHTING                            |
| E-202        | TYPICAL FLOOR - LIGHTING                           |
| E-300        | BASEMENT LEVEL - POWER & SYSTEMS PLAN              |
| E-301        | GROUND FLOOR - POWER & SYSTEMS PLAN                |
| E-302        | TYPICAL FLOOR (FLOORS 2-6) - POWER & SYSTEMS PLAN  |
| E-303        | LEVEL 7 - POWER & SYSTEMS PLAN                     |
| E-304        | ROOF - POWER & SYSTEMS PLAN                        |
| E-501        | SINGLE LINE DIAGRAM - POWER                        |
| E-502        | ELECTRICAL ROOM LAYOUTS                            |



**EDWARD J. CUHACI & ASSOCIATES ARCHITECTS INC.**  
1175 St. Patrick St., Suite 1100, Ottawa, Ontario, K1P 8H7  
Fax: (613) 236-1944 Telephone: (613) 236-7135 E-mail: info@eja.ca

PROJECT TITLE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
St. Patrick's Home of Ottawa

DRAWING TITLE/TITRE DU DESSIN  
**COVER**

| SCALE       | PROJ. No.      | ISSUE No. |
|-------------|----------------|-----------|
| 1:2000      | 2205           |           |
| DRAWN BY    | DRAWING/DESSIN |           |
| DESIGNÉ PAR | JC-G           |           |
| CHECKED BY  |                |           |
| VÉRIFIÉ PAR | DB             |           |
| DATE        | 2023           |           |

**A000**

### SURVEY

**FARLEY, SMITH & DENIS SURVEYING**  
PHONE: 613-727-8266  
FAX:

### SURVEY DRAWINGS

| SHEET NUMBER | SHEET NAME       |
|--------------|------------------|
| 000          | TOPOGRAPHIC PLAN |

### CIVIL

**WSP**  
PHONE: 613-634-7373  
FAX: 613-634-3523

**CIVIL DRAWINGS**

| SHEET NUMBER | SHEET NAME                      |
|--------------|---------------------------------|
| C0           | GENERAL NOTES & LEGEND          |
| C1           | GEOMETRY & GENERAL LAYOUT       |
| C2           | REMOVALS PLAN                   |
| C3           | SEDIMENT & EROSION CONTROL PLAN |
| C4           | GRADING PLAN                    |
| C5           | SERVICING PLAN                  |
| C6           | STANDARD DETAILS                |

### LANDSCAPING

**JAMES B. LENNOX & ASSOCIATES INC.**  
PHONE: 613-722-5168  
FAX: 866-343-3942

### LANDSCAPE DRAWINGS

| SHEET NUMBER | SHEET NAME               |
|--------------|--------------------------|
| L.1          | TREE CONSERVATION REPORT |
| L.2          | LANDSCAPE PLAN           |

### ARCHITECTURAL

**EDWARD J. CUHACI & ASSOCIATES ARCHITECTS INC.**  
PHONE: 613-236-7135  
FAX: 613-236-1944

### ARCHITECTURAL DRAWINGS

| SHEET NUMBER | SHEET NAME                                    |
|--------------|---|
| A000         | COVER   |
| A001         | SITE PLAN                                     |
| A002         | DEMOLITION SITE PLAN                          |
| A010         | LEGENDS, GENERAL NOTES, AND ASSEMBLIES        |
| A020         | LIFE SAFETY PLANS                             |
| A100         | BASEMENT FLOOR PLAN                           |
| A101         | GROUND FLOOR PLAN                             |
| A102         | TYPICAL FLOOR PLAN                            |
| A105         | ROOF PLAN                                     |
| A110         | ENLARGED GROUND FLOOR NORTH WEST AREA         |
| A111         | ENLARGED GROUND FLOOR NORTH EAST CORNER       |
| A112         | ENLARGED GROUND FLOOR SOUTH EAST AREA         |
| A113         | ENLARGED TYPICAL FLOOR NORTH WEST AREA CORNER |
| A114         | ENLARGED TYPICAL FLOOR NORTH EAST CORNER      |
| A115         | ENLARGED TYPICAL FLOOR SOUTH EAST AREA        |
| A200         | ELEVATIONS                                    |
| A201         | ELEVATIONS                                    |
| A210         | BUILDING AND WALL SECTIONS                    |
| A230         | ROOF AND SECTION DETAILS                      |
| A240         | PLAN DETAILS                                  |
| A300         | STAIR PLANS AND SECTIONS                      |
| A301         | STAIR PLANS AND SECTIONS                      |
| A400         | BASEMENT REFLECTED CEILING PLAN               |
| A401         | GROUND FLOOR REFLECTED CEILING PLAN           |
| A402         | TYPICAL FLOOR REFLECTED CEILING PLAN          |

### STRUCTURAL

**WSP**  
PHONE: 613-634-7373  
FAX: 613-634-3523

### STRUCTURAL DRAWINGS

| SHEET NUMBER | SHEET NAME                     |
|--------------|--------------------------------|
| S110         | TYPICAL DETAILS                |
| S111         | TYPICAL DETAILS                |
| S112         | TYPICAL DETAILS                |
| S113         | TYPICAL DETAILS                |
| S114         | TYPICAL DETAILS                |
| S115         | TYPICAL DETAILS                |
| S116         | TYPICAL DETAILS                |
| S200         | BASEMENT FRAMING PLAN          |
| S201         | GROUND FLOOR FRAMING PLAN      |
| S202         | LEVEL 2 FLOOR FRAMING PLAN     |
| S203         | LEVEL 3 FLOOR FRAMING PLAN     |
| S204         | LEVEL 4 FLOOR FRAMING PLAN     |
| S205         | LEVEL 5 FLOOR FRAMING PLAN     |
| S206         | LEVEL 6 FLOOR FRAMING PLAN     |
| S207         | LEVEL 7 FLOOR FRAMING PLAN     |
| S208         | ROOF FRAMING PLAN              |
| S300         | COLUMN SCHEDULE                |
| S305         | SCHEDULES                      |
| S500         | SHEAR WALL KEY PLAN            |
| S501         | SHEAR WALL ELEVATIONS          |
| S502         | SHEAR WALL ELEVATIONS          |
| S600         | LEVEL 2 CONCRETE BEAM KEY PLAN |
| S601         | LEVEL 2 BEAM ELEVATIONS        |

### MECHANICAL

**WSP**  
PHONE: 613-634-7373  
FAX: 613-634-3523

### MECHANICAL DRAWINGS

| SHEET NUMBER | SHEET NAME  |
|--------------|---|
| M-001        | DRAWING LIST, LEGENDS, AND GENERAL NOTES - MECHANICAL |
| M-101        | SITE PLAN - MECHANICAL                                |
| M-300        | FOUNDATION - PLUMBING                                 |
| M-301        | BASEMENT - PLUMBING                                   |
| M-302        | LEVEL 01 - PLUMBING                                   |
| M-303        | TYPICAL LEVEL 02 TO 06 - PLUMBING                     |
| M-304        | LEVEL 7 - PLUMBING                                    |
| M-305        | FOUNDATION - DRAINAGE                                 |
| M-307        | BASEMENT - DRAINAGE                                   |
| M-308        | LEVEL 01 - DRAINAGE                                   |
| M-309        | TYPICAL LEVEL 02 TO 06 - DRAINAGE                     |
| M-310        | LEVEL 7 - DRAINAGE                                    |
| M-311        | ROOF - DRAINAGE                                       |
| M-400        | BASEMENT - HVAC NEW WORK                              |
| M-401        | GROUND FLOOR - HVAC NEW WORK                          |
| M-402        | SECOND FLOOR - HVAC NEW WORK                          |
| M-403        | 7TH FLOOR - HVAC NEW WORK                             |
| M-410        | BASEMENT - HEATING UTILITY                            |
| M-411        | GROUND FLOOR - HEATING UTILITY                        |
| M-412        | SECOND FLOOR - HEATING UTILITY                        |
| M-413        | 7TH FLOOR - HEATING UTILITY                           |
| M-801        | SCHEMATIC - FIRE PROTECTION                           |
| M-901        | STANDARD DETAILS - MECHANICAL                         |

### ELECTRICAL

**WSP**  
PHONE: 613-634-7373  
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| E-501        | SINGLE LINE DIAGRAM - POWER                        |
| E-502        | ELECTRICAL ROOM LAYOUTS                            |

| PARKING CALCULATIONS   |                   |
|--|-------------------|
| MOTOR VEHICLE PARKING  |                   |
| REQUIRED - PARKING CALCULATIONS NEW BUILDING   |                   |
| RESIDENTS = 0.9 STALLS/UNIT x 133 UNITS = 120 SPACES   |                   |
| VISITORS = 0.2 STALLS/UNIT x 133 UNITS = 27 SPACES   |                   |
| <b>TOTAL REQUIRED PARKING SPACES NEW BUILDING</b>  | <b>147 SPACES</b> |
| REQUIRED - PARKING CALCULATIONS EXISTING BUILDING  |                   |
| TOTAL REQUIRED PARKING SPACES EXISTING BUILDING  | 67 SPACES         |
| TOTAL REQUIRED ADDITIONAL PARKING SPACES FOR THE PHYSICALLY DISABLED PER CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARD 3.1.2 TABLE 3. |                   |
| TYPE A   | 3 SPACES          |
| TYPE B   | 4 SPACES          |
| <b>PROVIDED PARKING SPACES</b>   | <b>197 SPACES</b> |
| SPACES @ 5.2m X 2.6m   | 197 SPACES        |
| TYPE A BARRIER FREE SPACES @ 5.2m X 3.4m MIN.  | 8 SPACES          |
| TYPE B BARRIER FREE SPACES @ 5.2m X 2.6m   | 0 SPACES          |
| <b>TOTAL SPACES PROVIDED</b>   | <b>205 SPACES</b> |

| SITE DATA  |  |
|--|--|
| FARLEY, SMITH & DENIS SURVEYING LTD. (613)-727-8226 JOB NO: 2235-S   |  |
| LEGAL DESCRIPTION: PART OF LOTS 45 AND 46 REGISTERED PLAN 66 PART OF LOT 23 JUNCTION GORE GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA | LOT AREA 24,387.5 m <sup>2</sup>                 |
| FOOTPRINT EXISTING BUILDING FOOTPRINT 3,506 m <sup>2</sup> NEW BUILDING FOOTPRINT 1,405 m <sup>2</sup>                                     |  |
| GROSS FLOOR AREA (GFA) (AS PER CITY OF OTTAWA ZONING DEFINITION) NEW BUILDING GFA 10,390 m <sup>2</sup>                                    |  |
| CITY OF OTTAWA ZONING  |  |
| ZONING - RSA SUBZONE   | REQUIRED PROVIDED                                |
| LOT AREA   | MIN. 1000.0m <sup>2</sup> 24,387.5m <sup>2</sup> |
| LOT WIDTH  | MIN. 25.0m 126.1m                                |
| LOT COVERAGE   | 20%  |
| BUILDING HEIGHT  | MAX. 24.0m 23.2m                                 |
| FRONT YARD SETBACK   | MIN. 6m 6m                                       |
| REAR YARD SETBACK  | MIN. 7.5m 7.5m                                   |
| INTERIOR SIDE YARD SETBACK   | MIN. 7.5m 7.5m                                   |
| CORNER SIDE YARD SETBACK   | MIN. 4.5m 4.5m                                   |

- ### GENERAL NOTES
- EXTENT OF CONTRACT IS LIMITED TO WITHIN PROPERTY EXCEPT WHERE SHOWN OTHERWISE.
  - ALL WORK OUTSIDE PROPERTY LINE TO BE CONSTRUCTED TO CITY OF OTTAWA CONSTRUCTION STANDARDS.
  - FOR LANDSCAPE/PLANTING DETAILS SEE DRAWING AS PREPARED BY JBLA.
  - FOR SITE GRADING INFORMATION SEE GRADING & DRAINAGE DRAWING AS PREPARED BY WSP.
  - FOR SITE SERVICES INFORMATION SEE SITE SERVICES DRAWING AS PREPARED BY WSP.
  - FOR SOIL INVESTIGATION REPORT REFER TO REPORT PREPARED BY STANTEC.
  - SLOPES OF CONCRETE/PAVING AT DEPRESSED CURBS SHALL NOT EXCEED 5%.
  - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS TO THE ARCHITECT. CONTRACTOR TO COORDINATE WITH ALL DRAWINGS.
  - FOR SITE SURVEY INFORMATION SEE TOPOLOGICAL SURVEY DRAWING PREPARED BY FARLEY, SMITH & DENIS SURVEYING LTD.
  - TYPICAL PARKING STALL: 2600mm MIN. X 5200mm MIN. PARALLEL PARKING STALL: 2600mm MIN. X 6700mm MIN. TYPE A BARRIER FREE PARKING STALL: 3400mm MIN. X 5200mm MIN. TYPE B BARRIER FREE PARKING STALL: 2600mm MIN. X 5200mm MIN.

- ### DRAWING NOTES
- NEW PAVEMENT PAINTING MARKINGS.
  - DROP-OFF LANE.
  - EXISTING ELECTRICAL TRANSFORMER.
  - ELECTRICAL GENERATOR.
  - SOUND ATTENUATION WALL.
  - FUTURE BICYCLE STORAGE.
  - NEW GAZEBO.

### LEGEND

|          |                               |
|----------|-------------------------------|
| [Symbol] | EXISTING TO REMAIN            |
| [Symbol] | EXISTING ASPHALT PAVING       |
| [Symbol] | EXISTING ASPHALT WALK         |
| [Symbol] | EXISTING CONCRETE WALK        |
| [Symbol] | NEW LIGHT DUTY ASPHALT PAVING |
| [Symbol] | NEW HEAVY DUTY ASPHALT PAVING |
| [Symbol] | NEW CONCRETE WALK             |
| [Symbol] | NEW ASPHALT WALK              |
| [Symbol] | NEW GRASS                     |

1 1 23/09/12 ISSUED FOR DESIGN DEVELOPMENT REVIEW

ISSUE NO. REV. NO. DATE ISSUE

LES IDÉES, CONCEPTS, DISPOSITIONS ET PLANS MONTRÉS OU REPRÉSENTÉS PAR CE DESSIN APPARTIENNENT À EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC. ET ONT ÉTÉ CRÉÉS ET DÉVELOPPÉS POUR ÊTRE UTILISÉS DANS LE CADRE DU PRÉSENT PROJET. ILS NE DOIVENT PAS ÊTRE UTILISÉS À D'AUTRES FINS NI COMMUNIQUÉS À QUI QUE CE SOIT SANS LA PERMISSION ÉCRITE DE EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC.

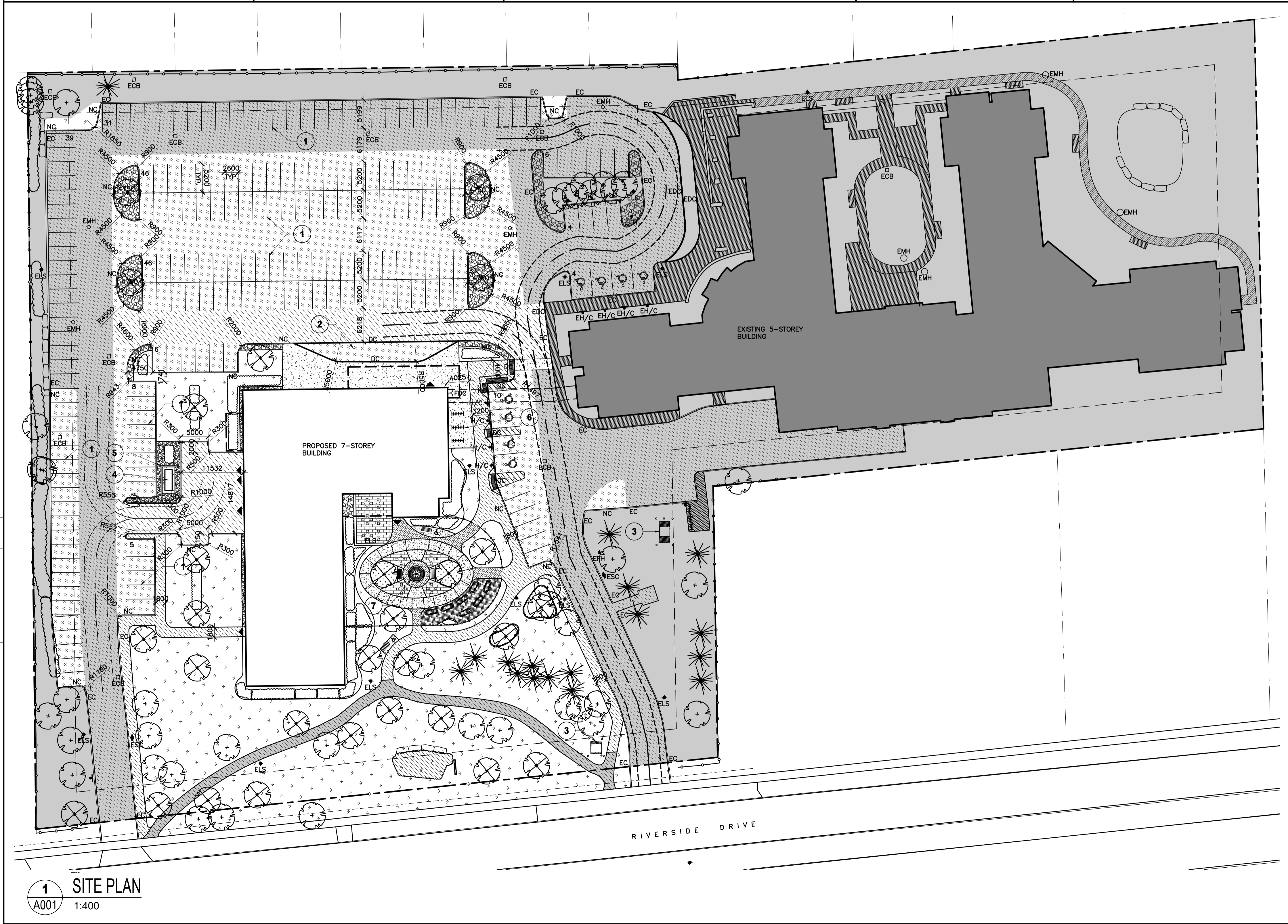
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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS



### LEGEND

|          |                                     |
|----------|-------------------------------------|
| [Symbol] | BARRIER FREE PARKING                |
| [Symbol] | BUILDING ENTRANCE/EXIT              |
| [Symbol] | EXISTING CURB                       |
| [Symbol] | EXISTING DEPRESSED CURB             |
| [Symbol] | PROPERTY LOT LINE                   |
| [Symbol] | SET BACK LINE                       |
| [Symbol] | ROAD CENTERLINE                     |
| [Symbol] | FIRE ROUTE                          |
| [Symbol] | EXISTING CHAIN LINK FENCE TO REMAIN |
| [Symbol] | EXISTING BARRIER FREE PARKING SIGN  |
| [Symbol] | EXISTING LIGHT STANDARD             |
| [Symbol] | EXISTING FIRE HYDRANT               |
| [Symbol] | EXISTING MAN HOLE                   |
| [Symbol] | EXISTING CATCH BASIN                |
| [Symbol] | EXISTING SECURITY CAMERA            |
| [Symbol] | NEW CURB                            |
| [Symbol] | NEW DEPRESSED CURB                  |
| [Symbol] | NEW MAN HOLE                        |
| [Symbol] | NEW CATCH BASIN                     |
| [Symbol] | NEW LIGHT STANDARD                  |
| [Symbol] | NEW FIRE DEPARTMENT CONNECTION      |
| [Symbol] | NEW BARRIER FREE PARKING SIGN       |

TRUE NORTH PLAN NORTH

**EDWARD J. CUHACI & ASSOCIATES ARCHITECTS Inc.**  
171 Slater St. Suite 100, Ottawa, Ontario, K1P 5H7  
Fax: (613) 236-1944 Telephone: (613) 236-7135 E-mail: info@cuhaci.com

PROJECT TITLE/TITRE DU PROJET  
**ST PATRICK'S HOME NEW APARTMENT BUILDING**  
2865 RIVERSIDE DR. #226  
OTTAWA, ONTARIO

ST PATRICK'S HOME OF OTTAWA  
OTTAWA, ONTARIO  
2865 RIVERSIDE DR. #226

DRAWING TITLE/TITRE DU DESSIN  
**SITE PLAN**

|             |          |                                      |      |           |   |          |             |
|-------------|----------|--------------------------------------|------|-----------|---|----------|-------------|
| SCALE       | AS SHOWN | PROJ. No.                            | 2235 | ISSUE No. | 1 | REV. No. | 0           |
| DRAWN BY    | EA       | DRAWING/DESSIN                       |      |           |   |          | <b>A001</b> |
| DESSINÉ PAR | EA       |                                      |      |           |   |          |             |
| CHECKED BY  | DB       |                                      |      |           |   |          |             |
| VÉRIFIÉ PAR | DB       |                                      |      |           |   |          |             |
| DATE        | 2023     | FICHIER ACAD FILE: 2235-A001-SPC.dwg |      |           |   |          |             |

Plot Date: 2022-06-27 Plot Time: 15:54:33 Plot By: josef.campos@cuhaci.com Plot Size: 150x110

**1 SITE PLAN**  
A001 1:400



|   |   |            |                                      |
|---|---|------------|--------------------------------------|
| 1 | 1 | 2023/09/12 | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
|---|---|------------|--------------------------------------|

| ISSUE NO. | REV. NO. | DATE       | ISSUE                                |
|-----------|----------|------------|--------------------------------------|
| 1         | 1        | 2023/09/12 | ISSUED FOR DESIGN DEVELOPMENT REVIEW |

LES IDÉES, CONCEPTS, DISPOSITIONS ET PLANS MONTRÉS OU REPRÉSENTÉS PAR CE DESSIN APPARTIENNENT À EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC. ET ONT ÉTÉ CRÉÉS ET DÉVELOPPÉS POUR ÊTRE UTILISÉS DANS LE CADRE DU PRÉSENT PROJET. ILS NE DOIVENT PAS ÊTRE UTILISÉS À D'AUTRES FINS NI COMMUNIQUÉS À QUI QUE CE SOIT SANS LA PERMISSION ÉCRITE DE EDWARD J. CUHACI AND ASSOCIATES ARCHITECTS INC.

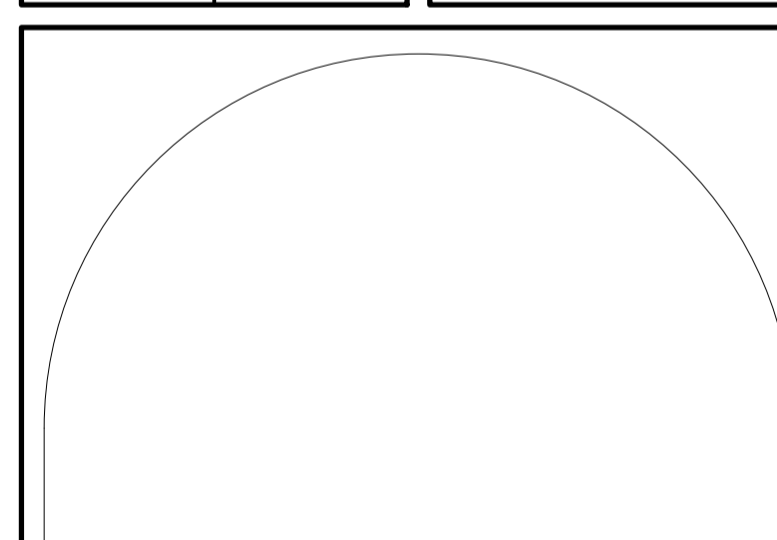
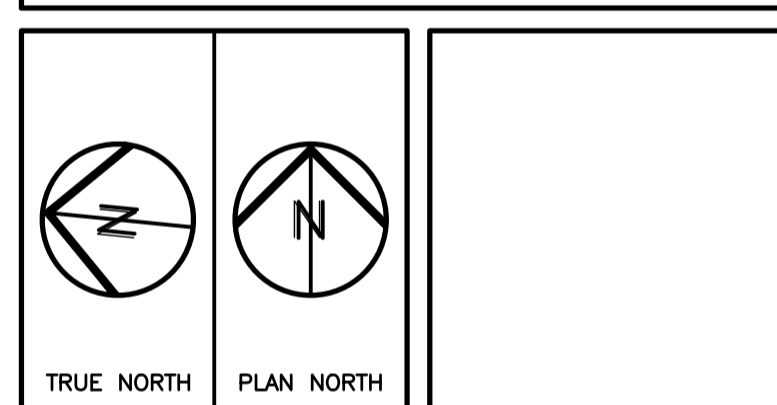
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 171 Slater St. Suite 100, Ottawa, Ontario, K1P 5H7  
 Fax: (513) 238-1944 Telephone: (513) 238-7135 E-mail: info@juhaci.com

PROJECT TITLE/TITRE DU PROJET  
**ST PATRICK'S HOME NEW APARTMENT BUILDING**  
 2865 RIVERSIDE DR. #226  
 OTTAWA, ONTARIO

ST PATRICK'S HOME OF OTTAWA  
 OTTAWA, ONTARIO  
 2865 RIVERSIDE DR. #226

DRAWING TITLE/TITRE DU DESSIN  
**DEMOLITION SITE PLAN**

|                           |          |                                      |          |         |
|---------------------------|----------|--------------------------------------|----------|---------|
| SCALE<br>ÉCHELLE          | AS SHOWN | PROJ. No                             | ISSUE No | REV. No |
|                           |          | 2235                                 | 1        | 0       |
| DRAWN BY<br>DESSINÉ PAR   | EA       | DRAWING/DESSIN                       |          |         |
| CHECKED BY<br>VÉRIFIÉ PAR | DB       | <b>A002</b>                          |          |         |
| DATE                      | 2023     | FICHIER ACAD FILE: 2235-A002-SPC.dwg |          |         |

**DEMOLITION DRAWING NOTES**

- REMOVE EXISTING ASPHALT AND GRANULAR BASE.
- REMOVE EXISTING CONCRETE PAVING AND GRANULAR BASE.
- REGRADE EXISTING SITE AS REQUIRED FOR NEW GRADING, REFER TO CIVIL DOCUMENTS. PROVIDE NEW TOPSOIL AND SOD, REFER TO LANDSCAPE DOCUMENTS. REFER TO NEW SITE PLAN FOR SOD AND TOP SOIL EXTENTS.
- REFER TO LANDSCAPE FOR EXISTING TREE SCOPE OF WORK.
- REFER TO ELECTRICAL FOR EXISTING LIGHT STANDARD SCOPE OF WORK.
- EXISTING CURB TO REMAIN.
- REMOVE EXISTING PAVEMENT MARKINGS.
- EXISTING ELECTRICAL TRANSFORMER.
- REMOVE EXISTING CURB.
- REMOVE EXISTING RIVER ROCK.

**GENERAL NOTES**

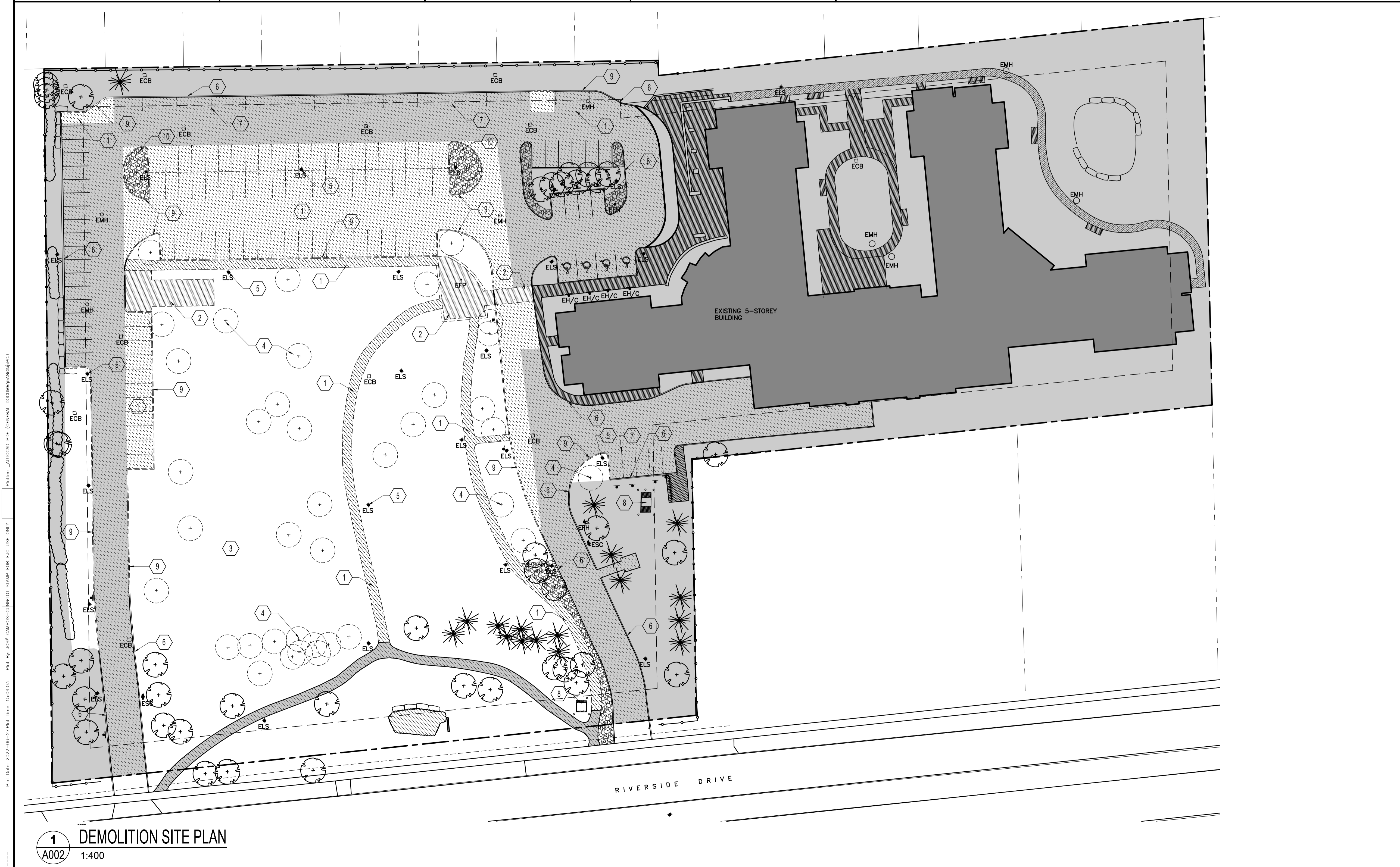
- EXTENT OF CONTRACT IS LIMITED TO WITHIN PROPERTY EXCEPT WHERE SHOWN OTHERWISE.
- ALL WORK OUTSIDE PROPERTY LINE TO BE CONSTRUCTED TO CITY OF OTTAWA CONSTRUCTION STANDARDS.
- FOR LANDSCAPE/PLANTING DETAILS SEE DRAWING AS PREPARED BY JBLA.
- FOR SITE GRADING INFORMATION SEE GRADING & DRAINAGE DRAWING AS PREPARED BY WSP.
- FOR SITE SERVICES INFORMATION SEE SITE SERVICES DRAWING AS PREPARED BY WSP.
- FOR SOIL INVESTIGATION REPORT REFER TO REPORT PREPARED BY STANTEC.
- SLOPES OF CONCRETE/PAVING AT DEPRESSED CURBS SHALL NOT EXCEED 5%.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS TO THE ARCHITECT. CONTRACTOR TO COORDINATE WITH ALL DRAWINGS.
- FOR SITE SURVEY INFORMATION SEE TOPOLOGICAL SURVEY DRAWING PREPARED BY FARLEY, SMITH & DENIS SURVEYING LTD.
- TYPICAL PARKING STALL: 2600mm MIN. X 5200mm MIN. PARALLEL PARKING STALL: 2600mm MIN. X 6700mm MIN. TYPE A BARRIER FREE PARKING STALL: 3400mm MIN. X 5200mm MIN. TYPE B BARRIER FREE PARKING STALL: 2600mm MIN. X 5200mm MIN.

**LEGEND**

- BARRIER FREE PARKING
- BUILDING ENTRANCE/EXIT
- EXISTING CURB
- EXISTING DEPRESSED CURB
- PROPERTY LOT LINE
- SET BACK LINE
- TO BE DEMOLISHED/REMOVED
- EXISTING CHAIN LINK FENCE TO REMAIN
- EXISTING BARRIER FREE PARKING SIGN
- EXISTING LIGHT STANDARD
- EXISTING FIRE HYDRANT
- EXISTING MAN HOLE
- EXISTING CATCH BASIN
- EXISTING SECURITY CAMERA
- EXISTING FLAG POLE

**LEGEND**

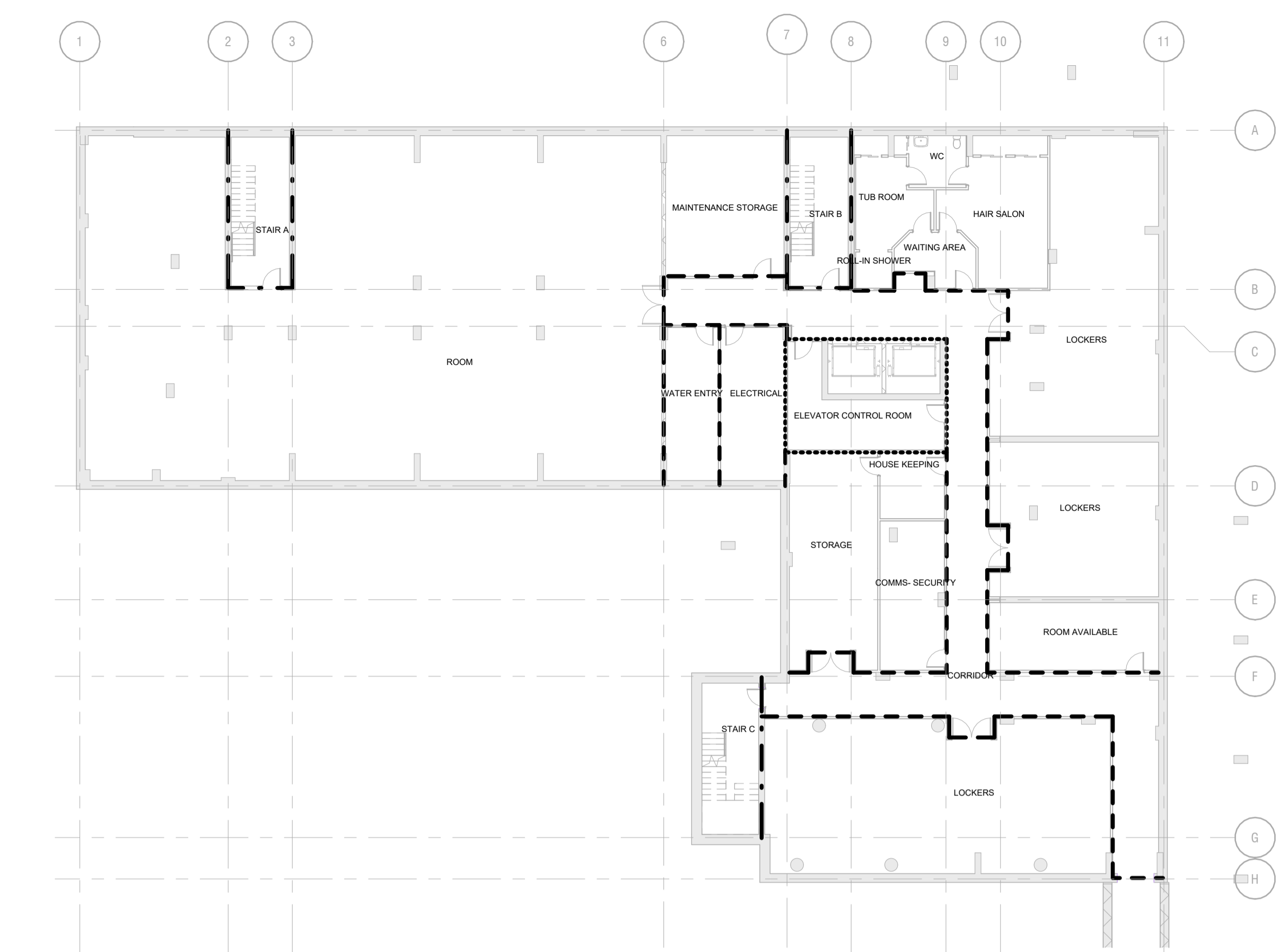
- EXISTING TO REMAIN
- EXISTING ASPHALT PAVING
- EXISTING ASPHALT WALK
- EXISTING CONCRETE WALK
- REMOVE ASPHALT PAVING
- REMOVE ASPHALT WALK
- REMOVE CONCRETE WALK



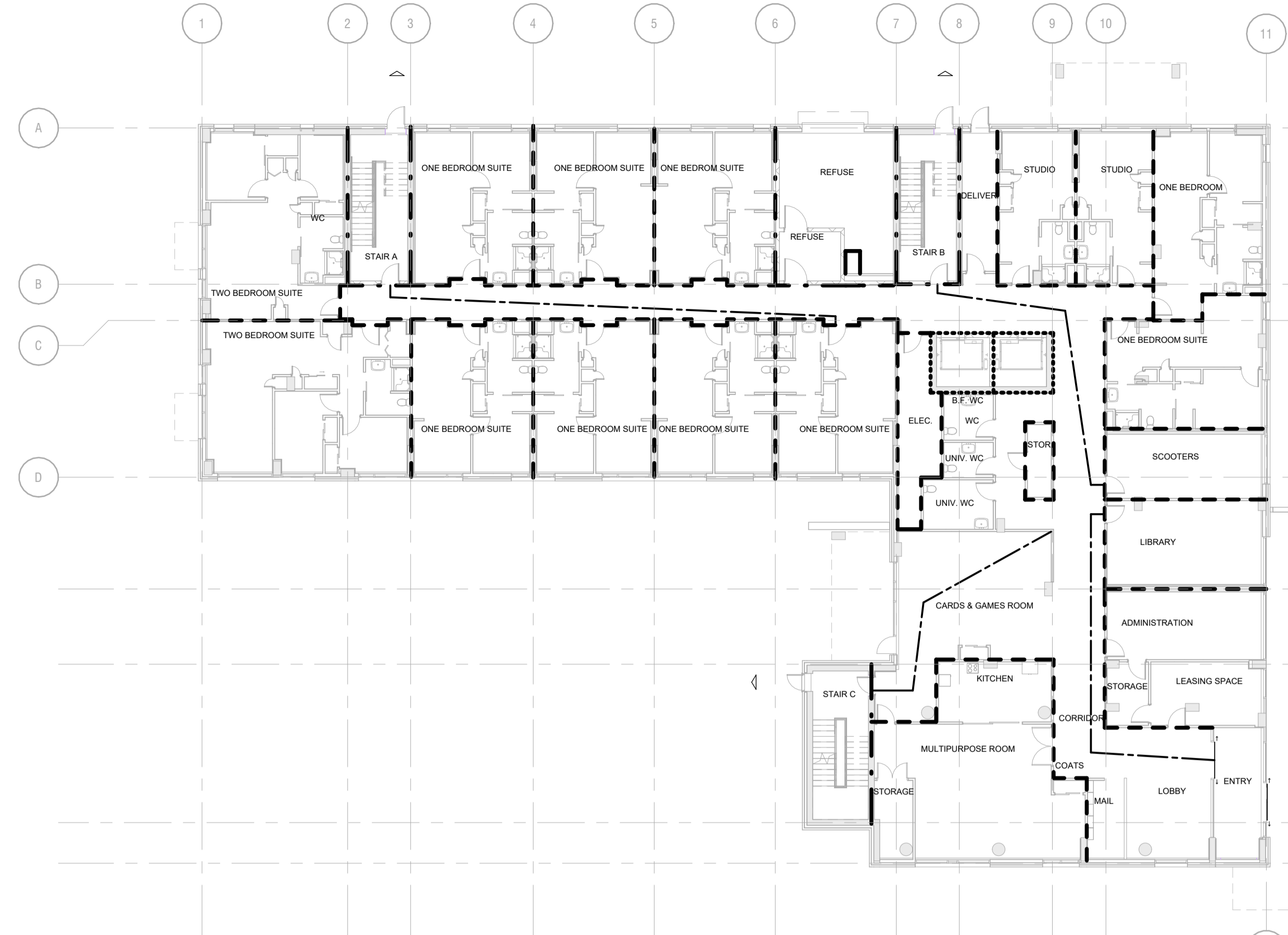
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**A002**  
**DEMOLITION SITE PLAN**  
 1:400

Plot Date: 2022-06-27 Plot Time: 15:04:33 Plot By: JOSE CAMPOS-CHENOT STAMP FOR E&C USE ONLY  
 Printer: \_AUTOJOB.PDF (GENERAL) DOCUMENT RELEASE

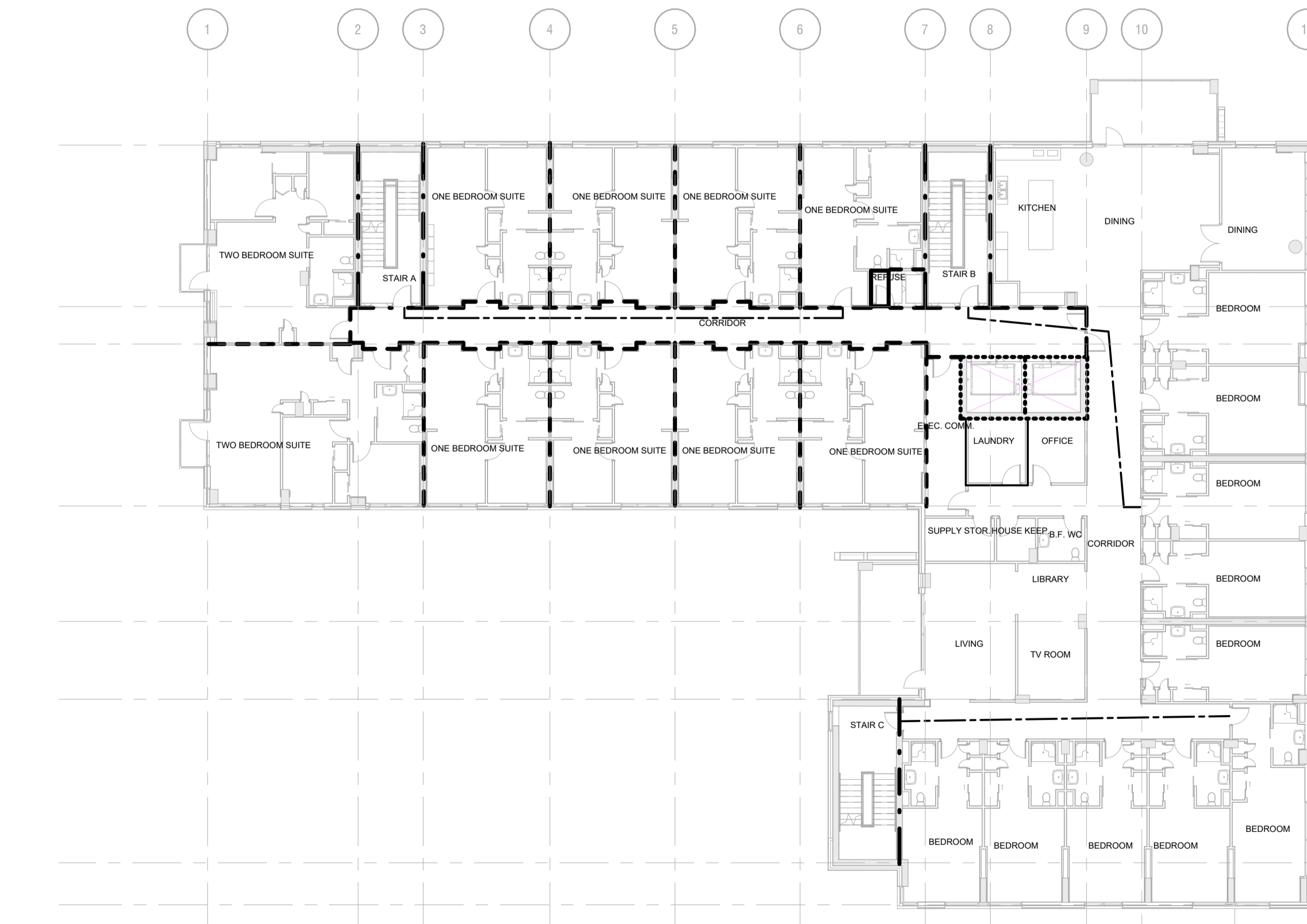




**1 BASEMENT LIFE SAFETY**  
A020 1:200



**2 GROUND FLOOR LIFE SAFETY**  
A020 1:200



**3 TYPICAL FLOOR LIFE SAFETY**  
A020 1:200

| EGRESS CALCULATIONS |               |  |                                      |
|---------------------|---------------|--|--------------------------------------|
| FLOOR               | OCCUPANT LOAD | DOORS (6' MIN PER PERSON)              | STAIRS (60" MIN PER PERSON)          |
| BASEMENT FLOOR      | X PEOPLE      | 16,600mm REQUIRED<br>22,204mm PROVIDED | N/A                                  |
| GROUND FLOOR        | 34 PEOPLE     | 4,478mm REQUIRED<br>10,248mm PROVIDED  | 5,872mm REQUIRED<br>9,633mm PROVIDED |
| TYPICAL FLOOR       | 44 PEOPLE     | 289mm REQUIRED<br>Xmm PROVIDED         | 320mm REQUIRED<br>9,633mm PROVIDED   |



| NO. | DATE     | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
|-----|----------|--------------------------------------|
| 1   | 23/09/22 | ISSUE                                |
| 2   | 11/10/22 | REVISE                               |

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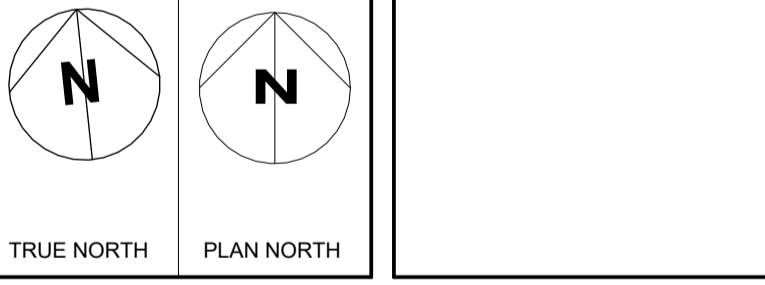
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| FIRE SEPARATIONS LEGEND  |  | BUILDING CODE MATRIX                               |  |
|--|--|--|--|
| LINETYPE   | ULC #  | 2012 Ontario Building Code Data Matrix Parts 3 & 9 |  |
| ---  | NON RATED FIRE SEPARATION  | Item   | 2012 Ontario Building Code Data Matrix Parts 3 & 9 |
| ----   | 1 HOUR FIRE SEPARATION   | 1 Project Description:                             | OB Reference                                       |
| -----  | 1 HOUR FIRE SEPARATION SHAFF WALL CONSTRUCTION   | 2 Major Occupancy(s)                               | 11.1 to 11.4                                       |
| -----  | 1.5 HOUR FIRE SEPARATION   | 3 Building Area (m <sup>2</sup> )                  | 2.1.1  |
| -----  | 2 HOUR FIRE SEPARATION   | 4 Gross Area (m <sup>2</sup> )                     | 1.4.1.2 (1)  |
| FIRE RATING OF FLOORS  |  | 5 Number of Storeys                                | 1.4.1.2 (2) & 3.2.1.1                              |
| GROUND, AND TYPICAL FLOORS   |  | 6 Number of Streets/Fire Fighter Access            | 3.2.2.10 & 3.2.5                                   |
| TYPICAL FLOORS   |  | 7 Building Classification                          | 3.2.2.20 - .83                                     |
| BASEMENT, GROUND, AND TYPICAL FLOORS COLUMNS (REFER TO PLANS)  |  | 8 Sprinkler System Proposed                        | 3.2.2.20 - .83                                     |
| FIRE RATING: OBC SUPPLEMENTARY STANDARD SB-2 SECTION 2.3, AND EBVC 2611  |  | 9 Standpipe required                               | 3.2.1.5  |
| DRAWING LEGEND   |  | 10 Fire Alarm required                             | 3.2.2.17   |
| SYMBOL   | DESCRIPTION  | 11 Water Service/Supply is Adequate                | INDEX  |
| FE1  | MEANS OF EGRESS WITH EXIT WIDTH CAPACITY (# OF PERSONS) PROVIDED AND REQUIRED                | 12 High Building                                   | 3.2.6  |
| FE2  | RECESSED FIRE EXTINGUISHER CABINET, REFER TO MECHANICAL                                      | 13 Permitted Construction                          | 3.2.2.20 - .83                                     |
| FE3  | SEMIRECESSED FIRE EXTINGUISHER CABINET, REFER TO MECHANICAL                                  | 14 Actual Construction                             | 3.2.2.17   |
| FE4  | SURFACE MOUNTED FIRE EXTINGUISHER CABINET, REFER TO MECHANICAL                               | 15 Mezzanine(s) Area m <sup>2</sup>                | 3.2.1.1 (3)-(6)                                    |
| FHC  | FIRE HOSE CABINET, REFER TO MECHANICAL. PROVIDE 1-HR RATED ENCLOSURE AROUND STANDPIPE.       | 16 Occupant load based on                          | 3.1.17   |
| AREA OF ROOM   | ROOM OCCUPANT LOAD AS PER OBC TABLE 3.1.17.1   | Basement Residents                                 | Residents  |
| OCCUPANT AREA PER LOAD   | WINDOW SPRINKLERS, ULC/OBC-285.1   | Ground Floor Residents                             | Other  |
| ---  | TRAVEL DISTANCE  | 2nd Floor Residents                                | 4 staff  |
| ---  | 1 HOUR RATED HORIZONTAL SHAFT WALL CONSTRUCTION (HSHW) SEE FLOOR PLANS WHI-466-PBH 0154-0167 | 3rd Floor Residents                                | Other  |
| ---  | SPRINKLER BAFFLE CENTERED ON WINDOW VERTICAL MULLION, REFER TO DETAILS                       | 4th Floor Residents                                | Other  |
| GENERAL NOTES  |  | 5th Floor Residents                                | Other  |
| ENCLOSE STANDPIPE HORIZONTAL OFFSETS IN 16 GYPSUM BOARD ON 92 STEEL STUDS @ 400 C.C. MAX. REFER TO MECHANICAL DRAWINGS FOR EXTENT AND LOCATION OF STANDPIPES IN CEILING SPACES |  | 6th Floor Residents                                | Other  |
|  |  | 7th Floor Residents                                | Other  |
|  |  | 8th Floor Residents                                | Other  |
|  |  | 9th Floor Residents                                | Other  |

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PROJECT TITRE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
St. Patrick's Home of Ottawa

DRAWING TITRE/TITRE DU DESSIN  
**LIFE SAFETY PLANS**

| SCALE      | As indicated | PROJ. No.      | 2205 | ISSUE       |
|------------|--------------|----------------|------|-------------|
| DRAWN BY   | Author       | DRAWING/DESSIN |      |             |
| CHECKED BY | Checker      |                |      | <b>A020</b> |
| DATE       | 2023         |                |      |             |

DRAWING NOTES

- 1 LOCKERS
- 2 TUNNEL TO EXISTING BUILDING. REFER TO DRAWING A001 FOR INFORMATION



| NO. | DATE     | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
|-----|----------|--------------------------------------|
| 1   | 23/09/22 | ISSUE                                |
| 2   | 23/09/22 | ISSUE                                |

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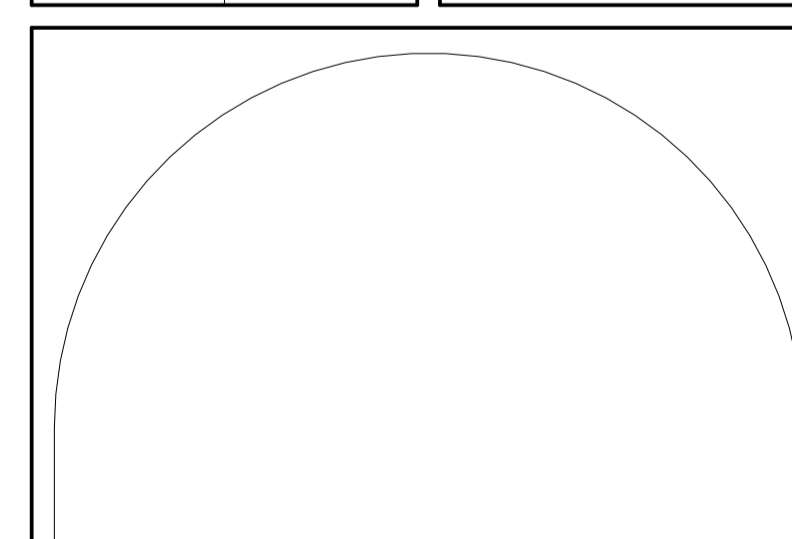
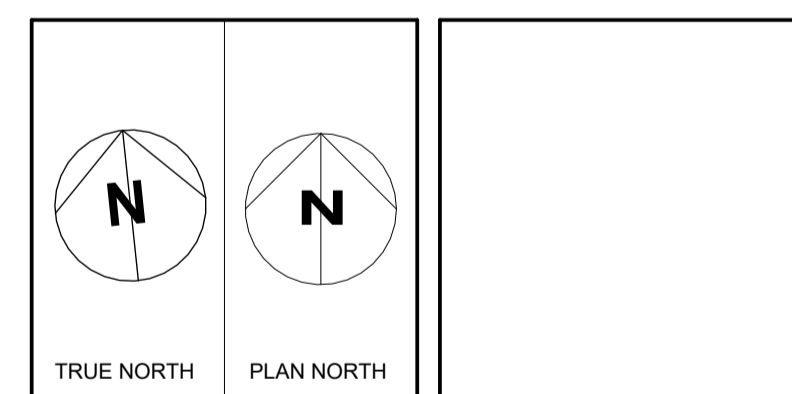
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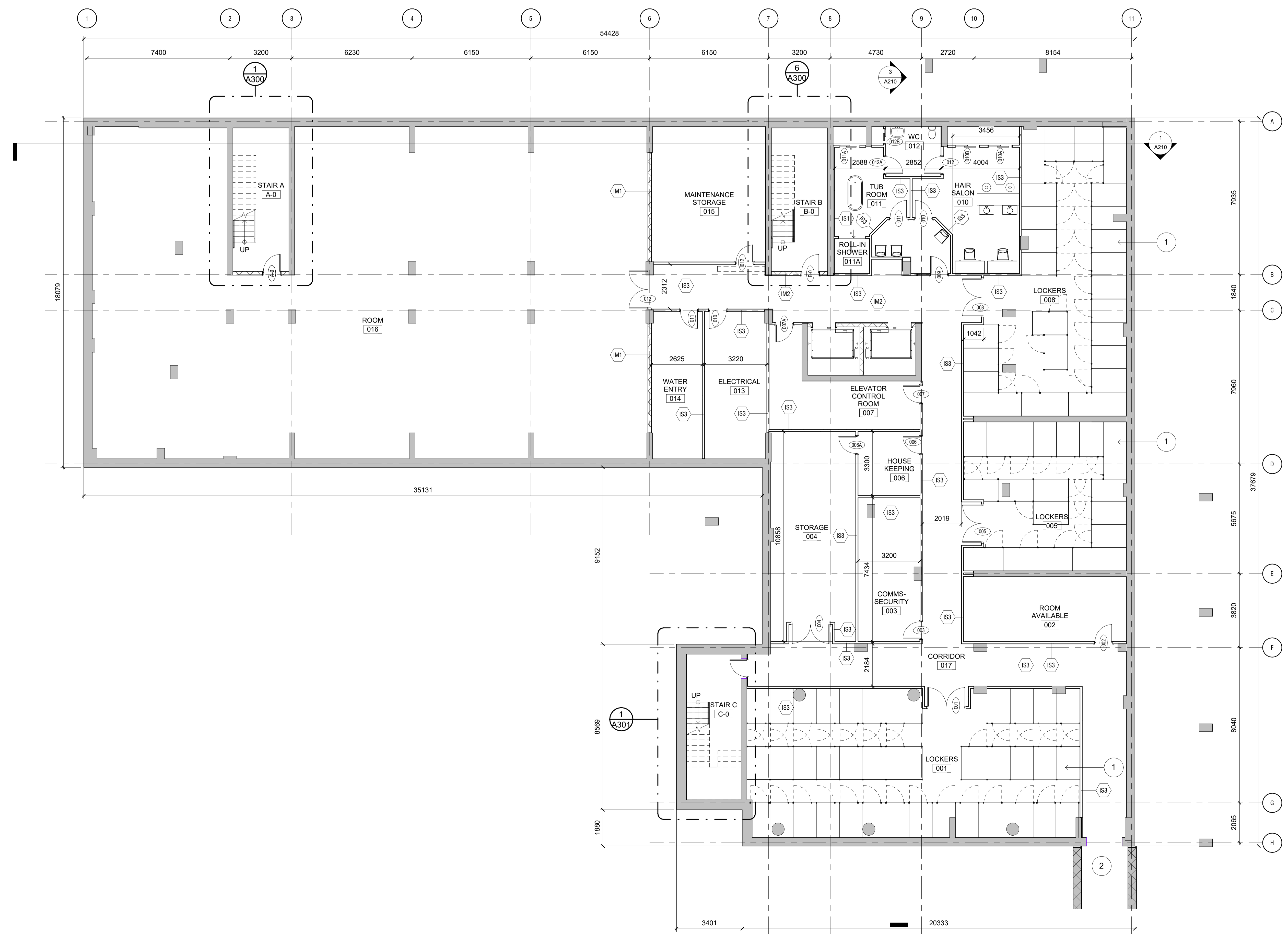
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PROJECT TITLE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING TITLE/TITRE DU DESSIN  
**BASEMENT FLOOR PLAN**

|                           |         |                |      |           |  |
|---------------------------|---------|----------------|------|-----------|--|
| SCALE<br>ÉCHELLE          | 1 : 100 | PROJ. No.      | 2205 | ISSUE No. |  |
| DRAWN BY<br>DESSINÉ PAR   | JC-G    | DRAWING/DESSIN |      |           |  |
| CHECKED BY<br>VÉRIFIÉ PAR | DB      |                |      |           |  |
| DATE                      | 2023    |                |      |           |  |

**A100**



**1 BASEMENT FLOOR PLAN**  
 A100 1 : 100

DRAWING NOTES

- 1 CANOPY OVERHANG ABOVE
- 2 BALCONY ABOVE
- 3 REFUSE CHUTE ABOVE



|     |          |                                      |
|-----|----------|--------------------------------------|
| NO. | DATE     | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
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| 2   | 01/10/12 | REVISE                               |
| 3   | 11/10/12 | REVISE                               |

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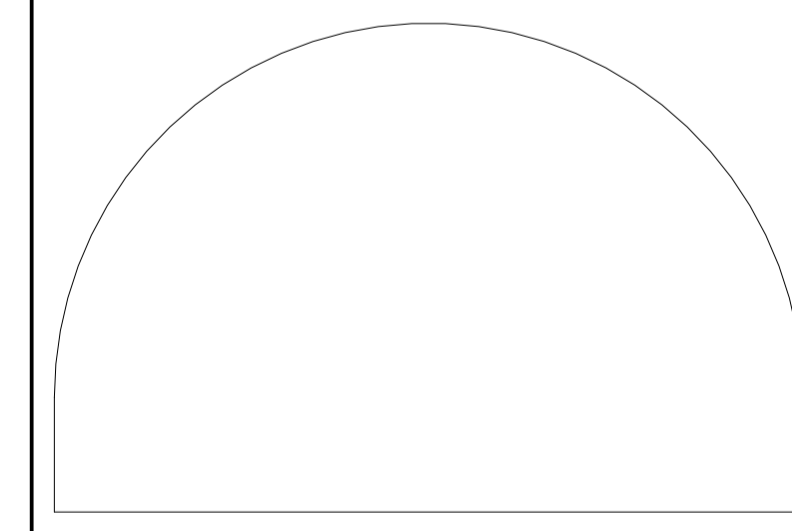
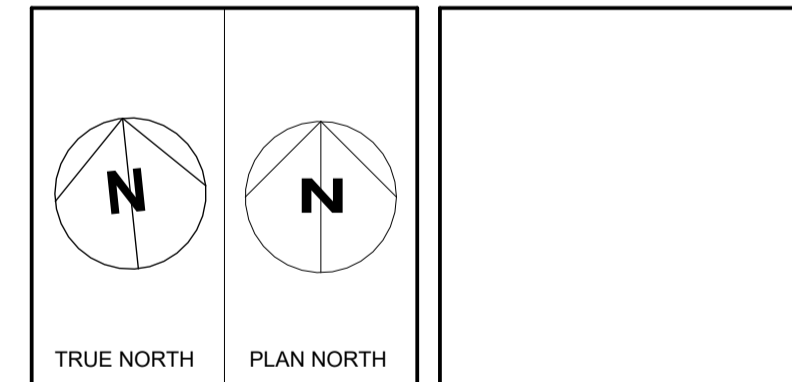
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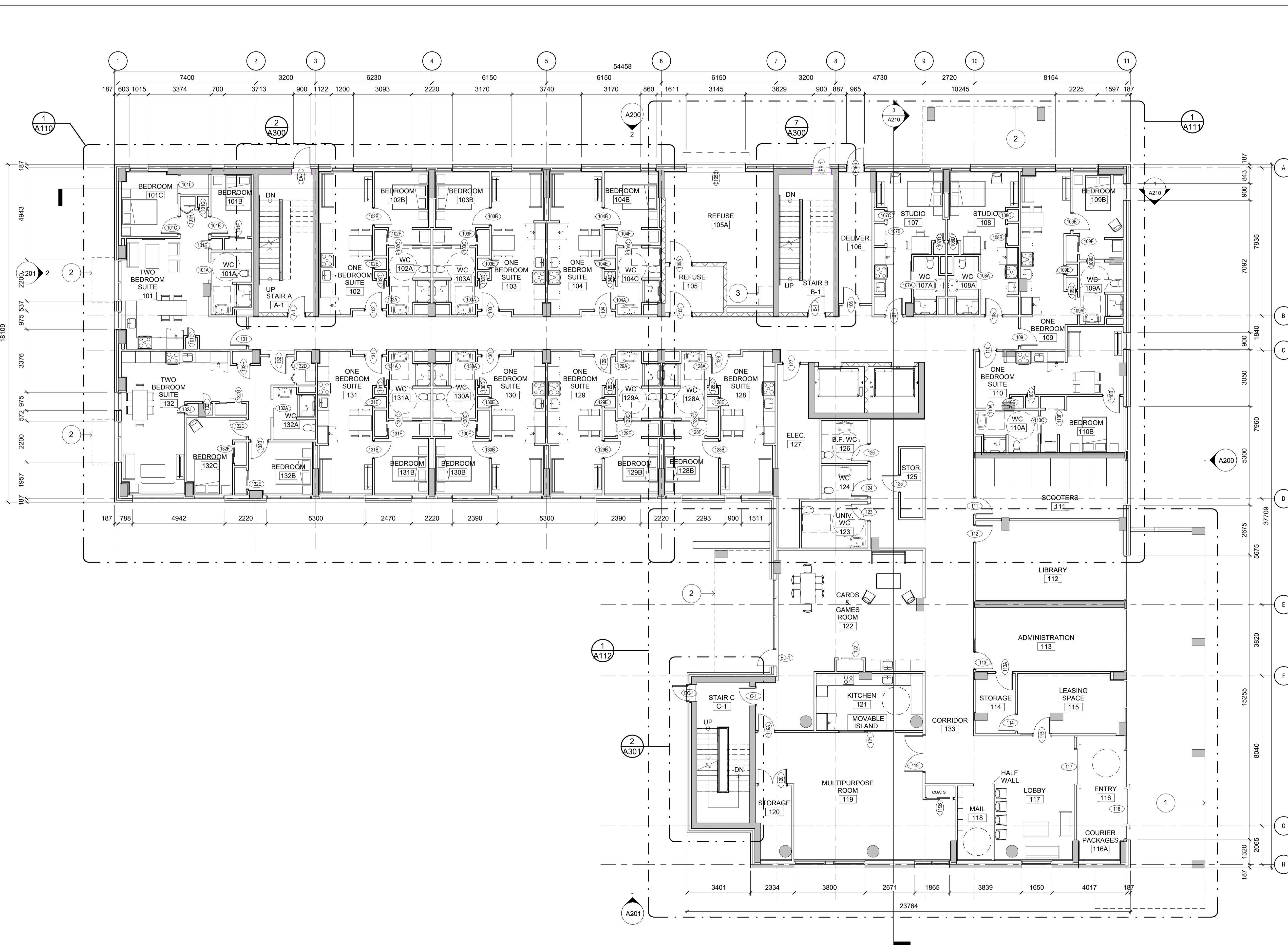
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 St. Patrick's Home of Ottawa

DRAWING TITRE/TITRE DU DESSIN  
**GROUND FLOOR PLAN**

|             |         |                |      |           |  |
|-------------|---------|----------------|------|-----------|--|
| SCALE       | 1 : 100 | PROJ. No.      | 2205 | ISSUE No. |  |
| ECHELLE     |         |                |      |           |  |
| DRAWN BY    | JC-G    | DRAWING/DESSIN |      |           |  |
| DESIGNED BY |         |                |      |           |  |
| CHECKED BY  | DB      |                |      |           |  |
| VERIFIED BY |         |                |      |           |  |
| DATE        | 2023    |                |      |           |  |

**A101**



**1 GROUND FLOOR PLAN**  
 A101 1 : 100

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DRAWING NOTES

- 1 CANOPY ROOF. REFER TO A105 ROOF PLAN
- 2 BALCONY



|     |          |                                      |
|-----|----------|--------------------------------------|
| 1   | 23/09/12 | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
| NO. | DATE     | ISSUE                                |
| 1   | 23/09/12 | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
| 2   | 11/10/23 | ISSUE                                |

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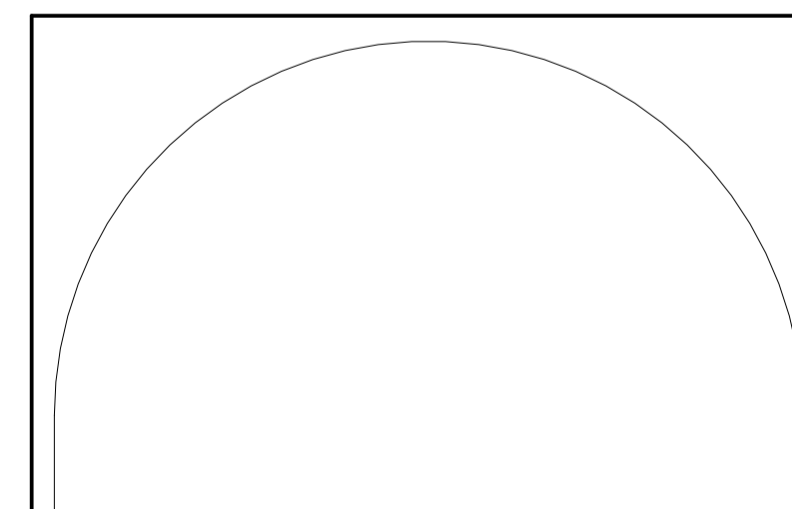
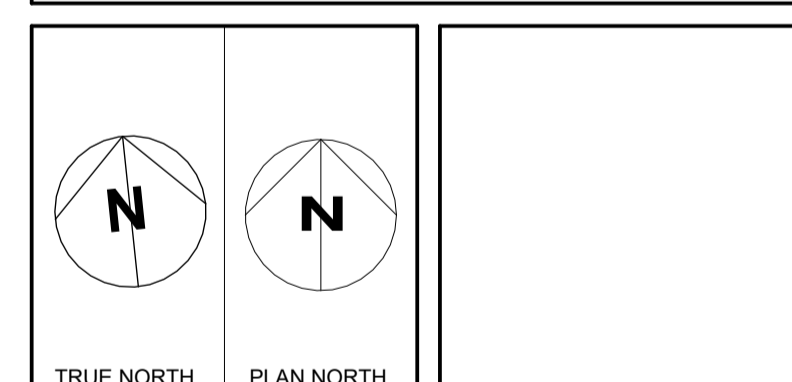
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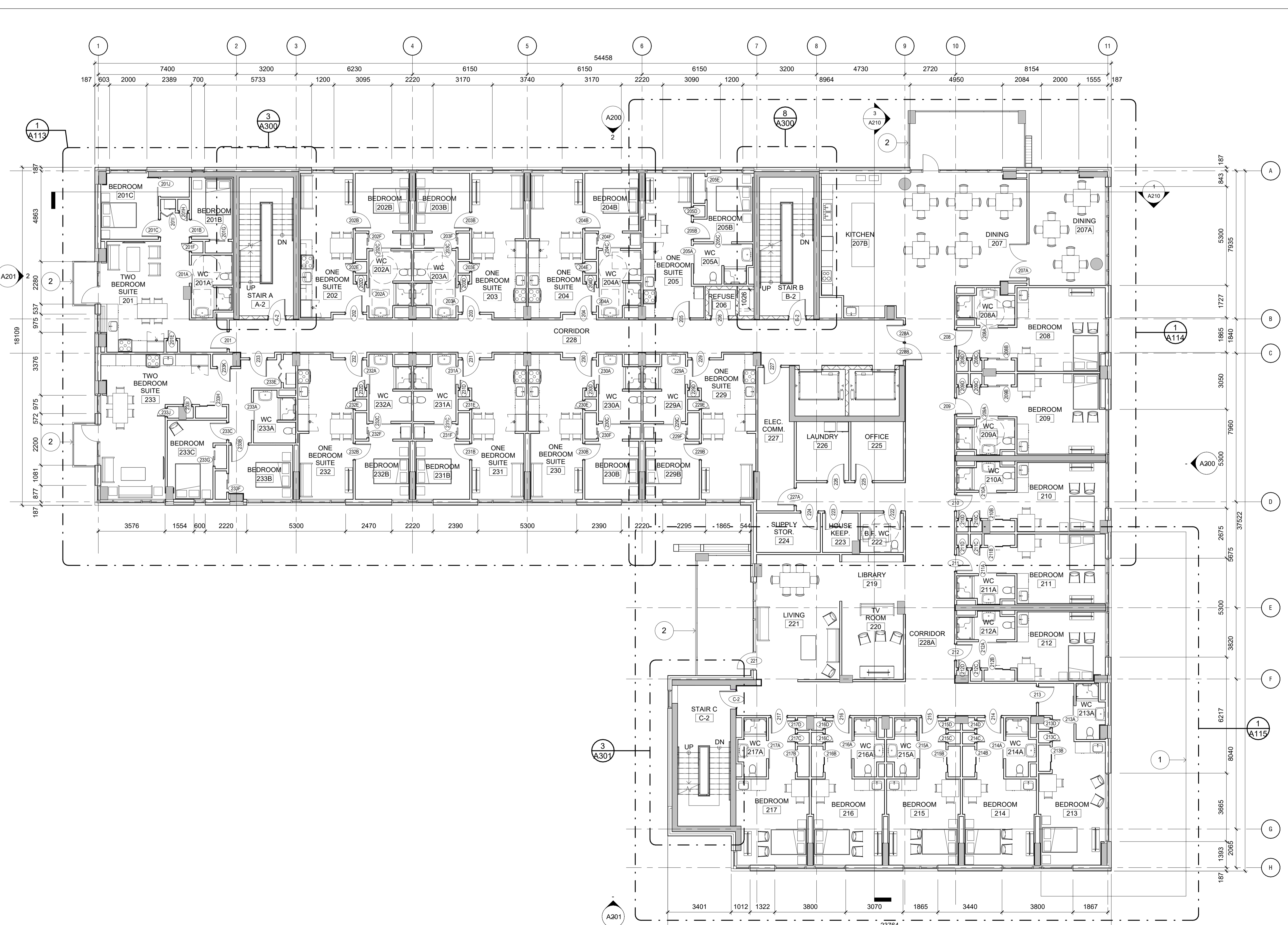
**EDWARD J. CUHACI & ASSOCIATES ARCHITECTS INC.**  
 1175 St. Patrick St., Suite 1100, Ottawa, Ontario, K1P 5H7  
 Fax: (613) 236-1944 Telephone: (613) 236-7135 E-mail: info@edjca.com

PROJECT/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING/TITRE DU DESSIN  
**TYPICAL FLOOR PLAN**

|                        |         |                |      |           |  |
|------------------------|---------|----------------|------|-----------|--|
| SCALE/ECHELLE          | 1 : 100 | PROJ. No.      | 2205 | ISSUE No. |  |
| DRAWN BY/DESSINÉ PAR   | JC-G    | DRAWING/DESSIN |      |           |  |
| CHECKED BY/VÉRIFIÉ PAR | DB      |                |      |           |  |
| DATE                   | 2023    |                |      |           |  |

**A102**



**1 TYPICAL FLOOR PLAN**  
 A102 1:100

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GENERAL NOTES

- WHERE THICKNESS OF TAPERED INSULATION IS NOT INDICATED, THE MIN. SLOPE FOR THE ROOFING AT THE TAPERED INSULATION SHALL BE 15mm PER LINEAR METER. ADJUST INSULATION THICKNESS TO SUIT.
- ROOFING CONTRACTOR TO COORDINATE ALL MECHANICAL AND ELECTRICAL INCLUDING EXTENT QUANTITY AND TYPE OF ROOF TOP EQUIPMENT. FOR ROOF PENETRATIONS SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS AND ADDITIONAL INFORMATION.
- FOR TYPICAL DETAILS AT ROOF TOP EQUIPMENT AND PENETRATIONS, REFER TO ARCHITECTURAL DETAILS. ALSO REFER TO MECHANICAL AND ELECTRICAL DOCUMENTS. IN THE EVENT OF CONFLICT BETWEEN DRAWINGS, THE MOST STRINGENT SHALL GOVERN.
- INSTALL ALL MECHANICAL AND ELECTRICAL ROOF PENETRATIONS PRIOR TO ROOF MEMBRANE INSTALLATION.
- ALL ROOF CURBS SHALL BE LEVEL.
- IN THE EVENT OF DISCREPANCIES FOR THE LOCATION OF MECHANICAL OR ELECTRICAL ITEMS TO BE INCORPORATED, THE ARCHITECTURAL DRAWINGS SHALL GOVERN.

DRAWING LEGEND

- RD ROOF DRAIN, REFER TO MECHANICAL AND ROOF DETAILS
- CJC CONTROL JOINT CURB
- EXHAUST FAN, REFER TO MECHANICAL AND ROOF DETAILS
- GOOSENECK, REFER TO MECHANICAL AND ROOF DETAILS
- MODIFIED BITUMINOUS ROOFING
- MODIFIED BITUMINOUS ROOFING WITH TAPERED RIGID INSULATION TO PROVIDE A POSITIVE FINISHED SLOPE OF 2% MINIMUM
- 1200mm WIDE MODIFIED BITUMINOUS ROOFING WALKWAY PROTECTION
- RTU# MECHANICAL ROOF TOP UNIT #
- ### ELEVATION OF STRUCTURE AT LOW POINT RELATIVE TO HIGH POINT
- #### ELEVATION OF STRUCTURE AT HIGH POINT RELATIVE TO HIGH POINT

PARAPET TYPE LEGEND

- P1 PARAPET TYPE 1
- P2 PARAPET TYPE 2

DRAWING NOTES

- CANOPY ROOF BELOW
- BALCONY ROOF BELOW
- BALCONY BELOW
- ROOF HATCH

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|     | YYMMDD   | ISSUE                                |

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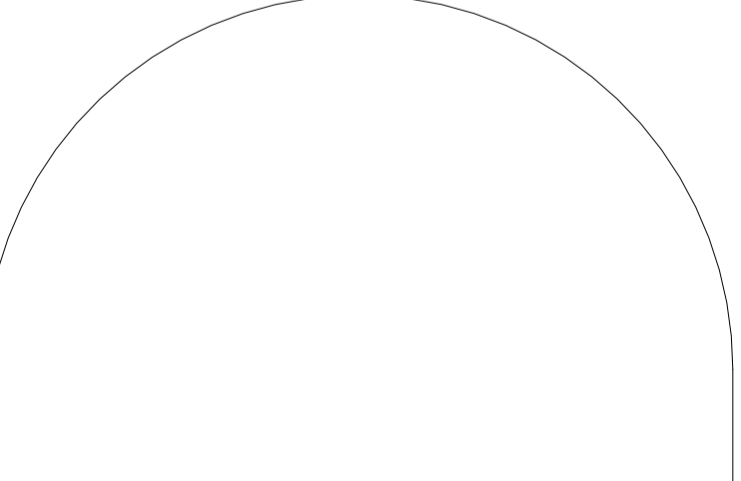
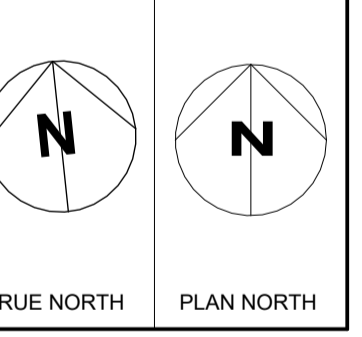
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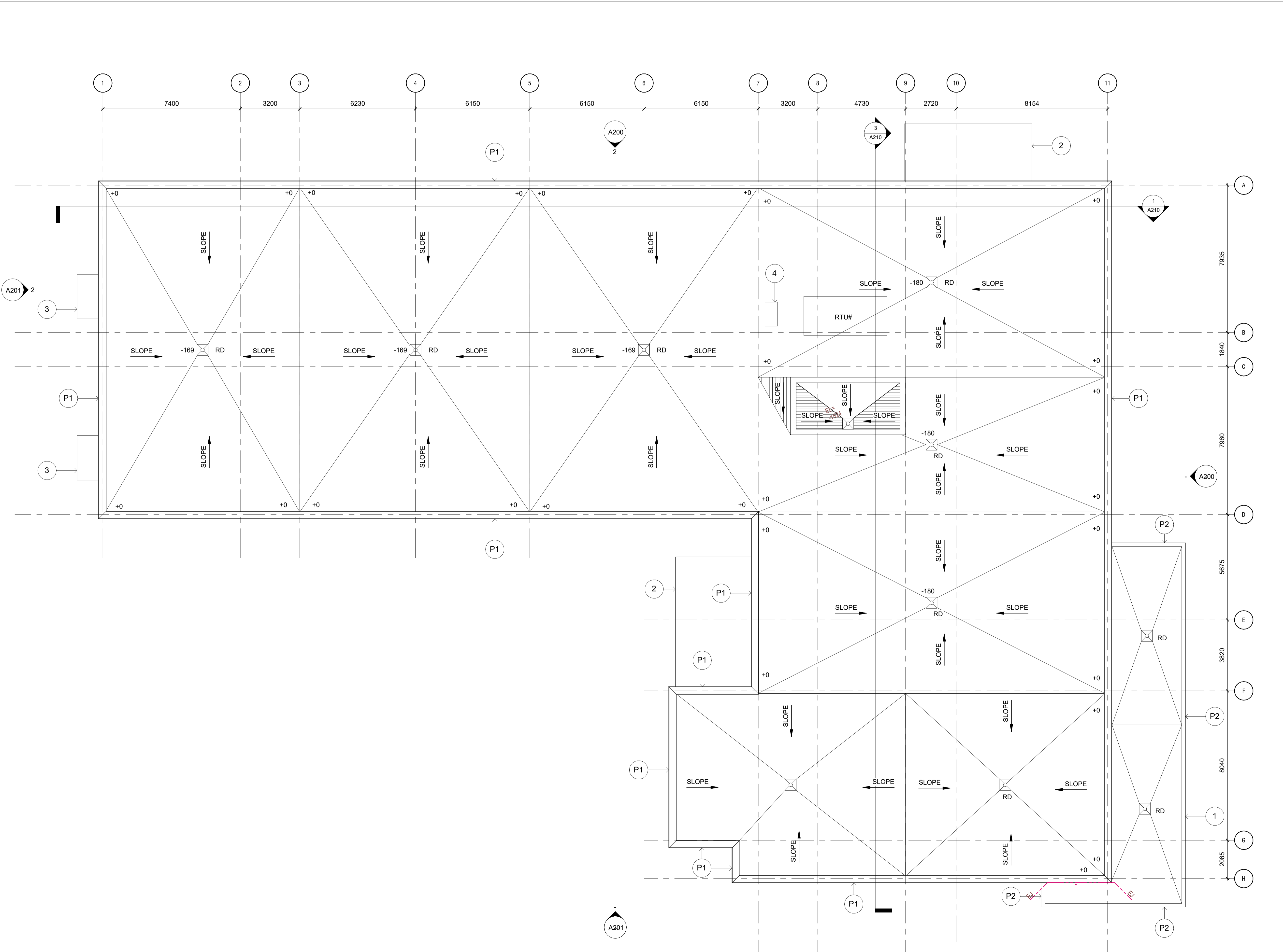


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PROJECT TITRE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING TITRE/TITRE DU DESSIN  
**ROOF PLAN**

|             |         |                |      |           |  |
|-------------|---------|----------------|------|-----------|--|
| SCALE       | 1 : 100 | PROJ. No.      | 2205 | ISSUE No. |  |
| ECHELLE     |         | DRAWING/DESSIN |      |           |  |
| DRAWN BY    | JC-G    | <b>A105</b>    |      |           |  |
| DESIGNÉ PAR |         |                |      |           |  |
| CHECKED BY  | DB      |                |      |           |  |
| VÉRIFIÉ PAR |         |                |      |           |  |
| DATE        | 2023    |                |      |           |  |



**1 ROOF PLAN**  
 A105 1 : 100

C:\Users\jca\Documents\2205 - St. Patrick's Home of Ottawa\Working Model 2023\06-03\_04\_2023\A105.rvt

DRAWING NOTES

- 1 DISHWASHER
- 2 WASHER AND DRYER
- 3 REFRIGERATOR
- 4 RANGE



| NO. | DATE     | ISSUE                                |
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| 9   |          |                                      |
| 10  |          |                                      |

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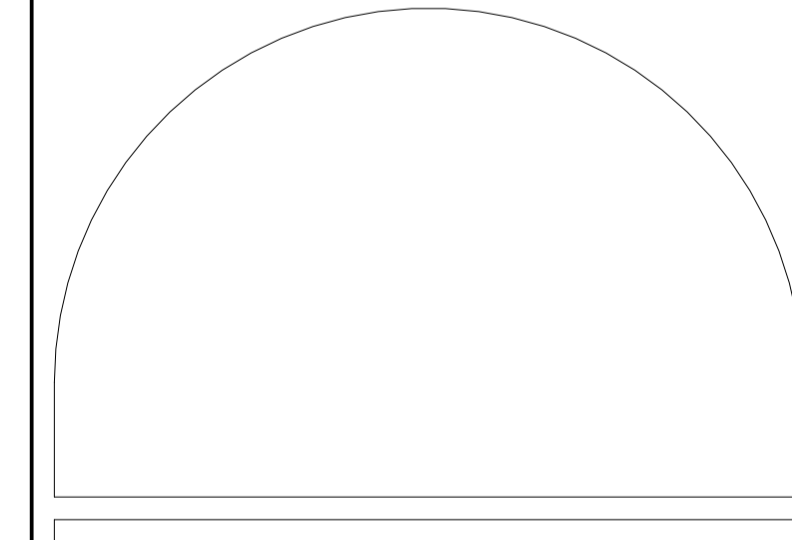
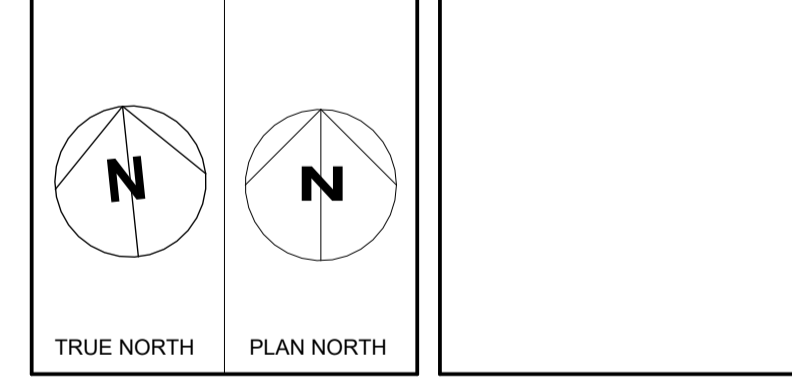
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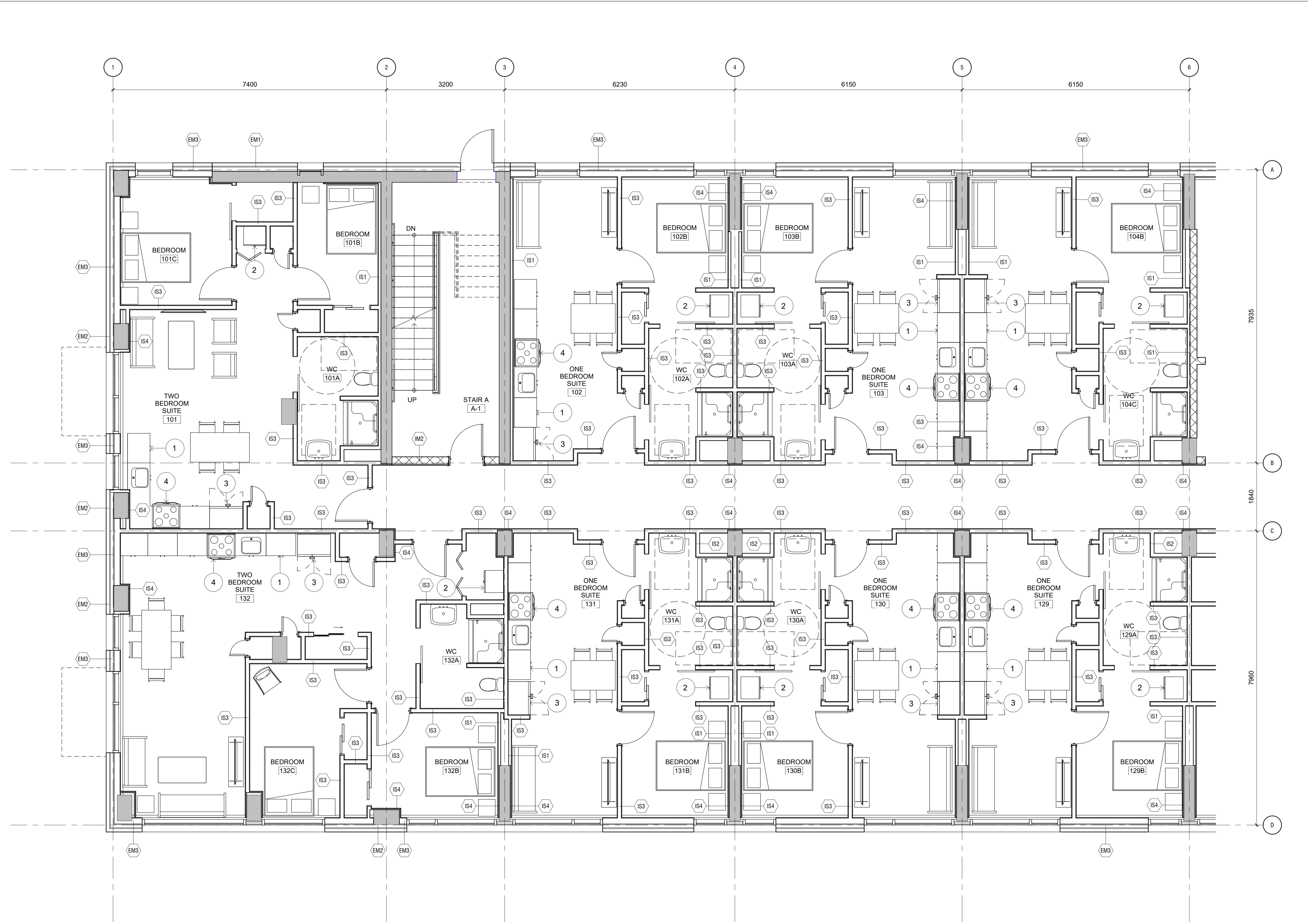
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PROJECT TITLE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING TITLE/TITRE DU DESSIN  
**ENLARGED GROUND FLOOR NORTH WEST AREA**

|                          |        |                |      |           |  |
|--------------------------|--------|----------------|------|-----------|--|
| SCALE / ÉCHELLE          | 1 : 50 | PROJ. No.      | 2205 | ISSUE No. |  |
| DRAWN BY / DÉSSINÉ PAR   | JC-G   | DRAWING/DESSIN |      |           |  |
| CHECKED BY / VÉRIFIÉ PAR | DB     |                |      |           |  |
| DATE                     | 2023   |                |      |           |  |

**A110**



**1 ENLARGED GROUND FLOOR NORTH WEST AREA**  
 A110 1 : 50

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DRAWING NOTES

- 1 DISHWASHER
- 2 WASHER AND DRYER
- 3 REFRIGERATOR
- 4 RANGE



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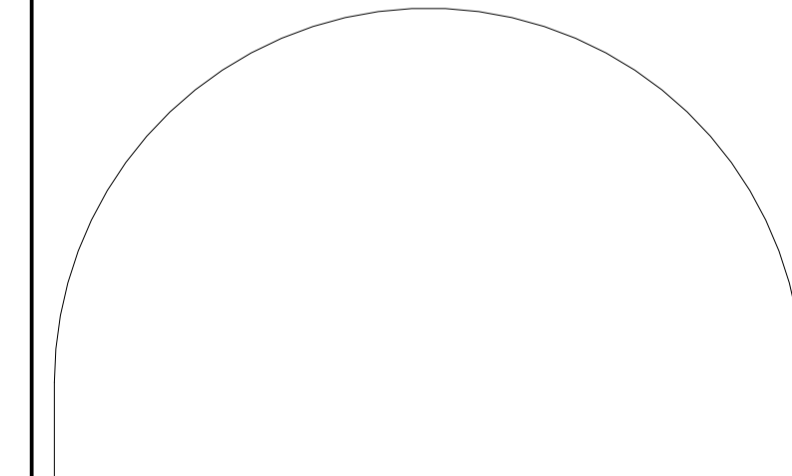
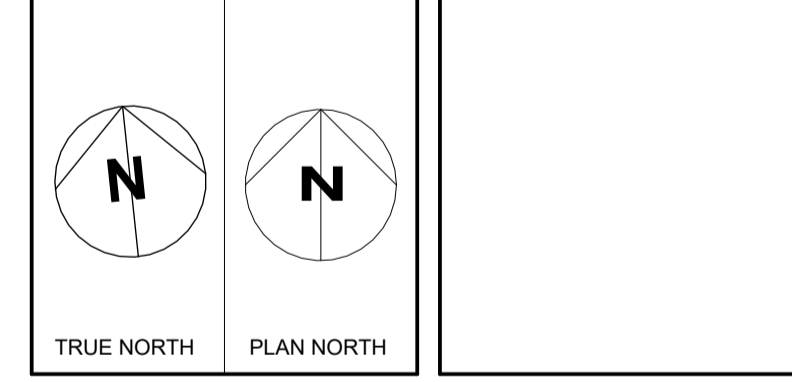
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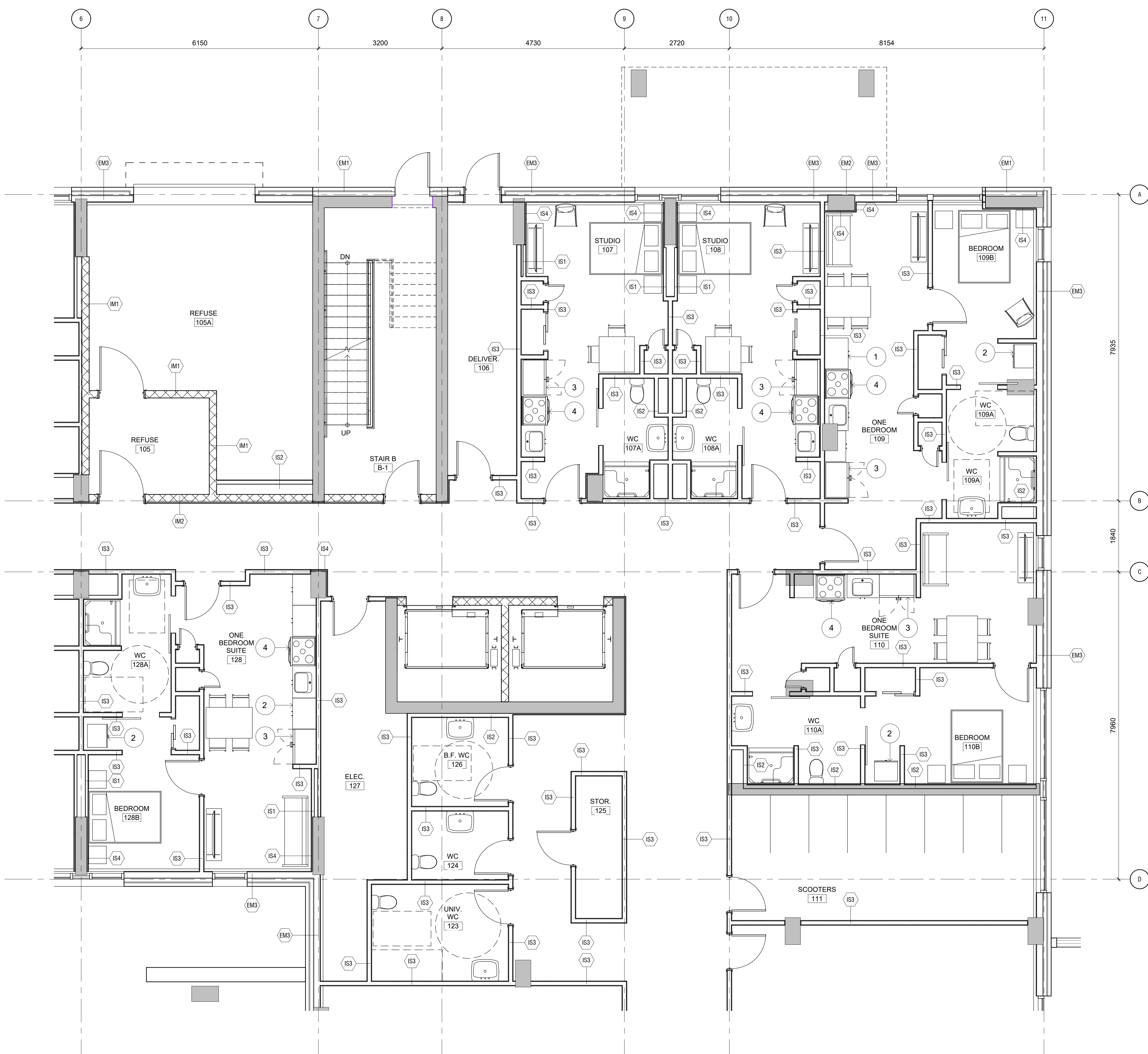
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PROJECT TITLE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING TITLE/TITRE DU DESSIN  
**ENLARGED GROUND FLOOR NORTH EAST CORNER**

|                          |        |                |      |           |  |
|--------------------------|--------|----------------|------|-----------|--|
| SCALE / ÉCHELLE          | 1 : 50 | PROJ. No.      | 2305 | ISSUE No. |  |
| DRAWN BY / DESSINÉ PAR   | JC-G   | DRAWING/DESSIN |      |           |  |
| CHECKED BY / VÉRIFIÉ PAR | DB     |                |      |           |  |
| DATE                     | 2023   |                |      |           |  |

**A111**



**1 ENLARGED GROUND FLOOR NORTH EAST CORNER**  
 1 : 50

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- DRAWING NOTES
- 1 DISHWASHER
  - 2 COOKTOP, INDUCTION
  - 3 REFRIGERATOR
  - 4 OVEN, DOUBLE



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|     | YYMMDD   |                                      |

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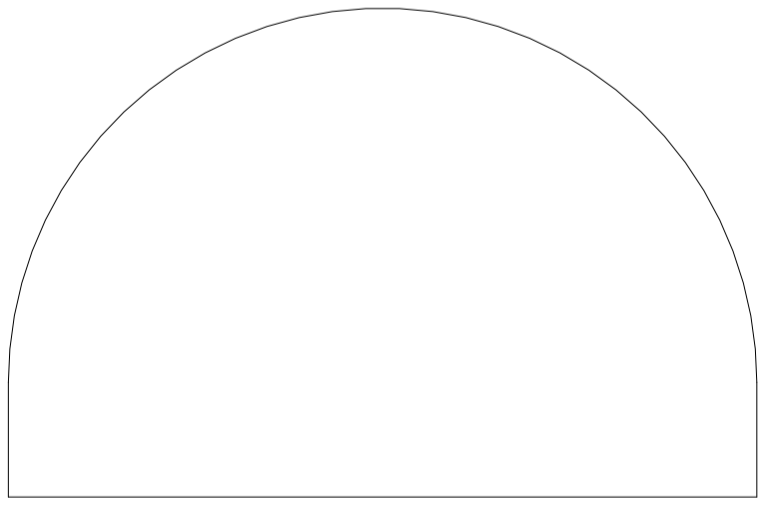
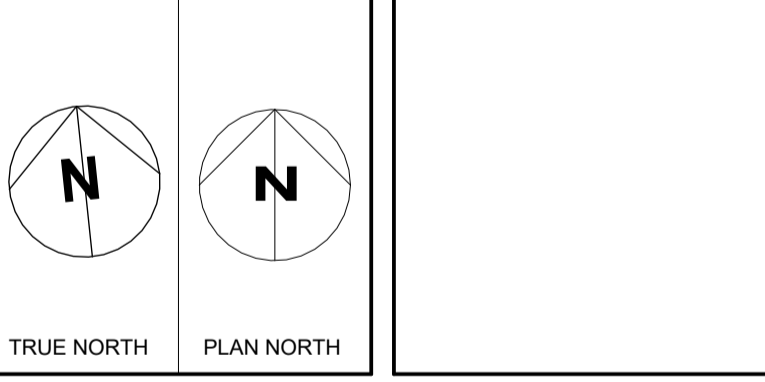
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PROJECT/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING/TITRE DU DESSIN  
**ENLARGED GROUND FLOOR SOUTH EAST AREA**

|                        |        |                |      |           |  |
|------------------------|--------|----------------|------|-----------|--|
| SCALE/ECHELLE          | 1 : 50 | PROJ. No.      | 2205 | ISSUE No. |  |
| DRAWN BY/DESSINÉ PAR   | JC-G   | DRAWING/DESSIN |      |           |  |
| CHECKED BY/VÉRIFIÉ PAR | DB     |                |      |           |  |
| DATE                   | 2023   |                |      |           |  |

**1 ENLARGED GROUND FLOOR SOUTH EAST AREA**  
 A112 1 : 50

DRAWING NOTES

- 1 DISHWASHER
- 2 WASHER AND DRYER
- 3 REFRIGERATOR
- 4 RANGE



| NO. | DATE     | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
|-----|----------|--------------------------------------|
| 1   | 23/09/22 | ISSUE                                |
|     | YV/MDD   |                                      |

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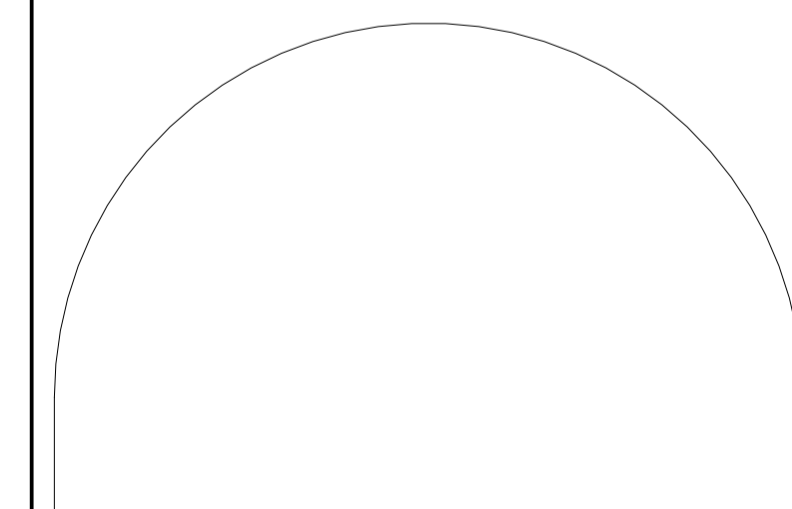
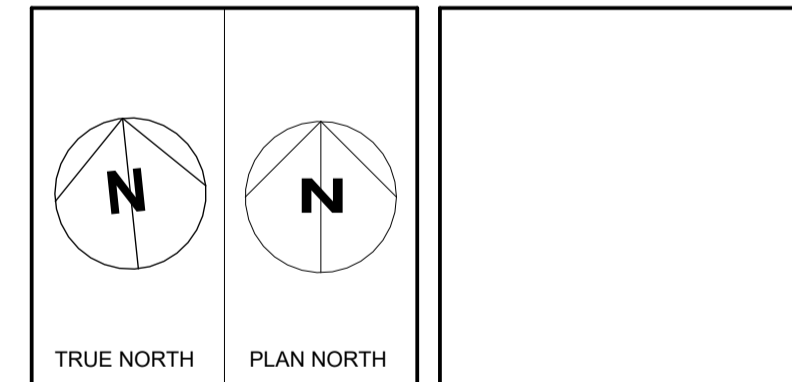
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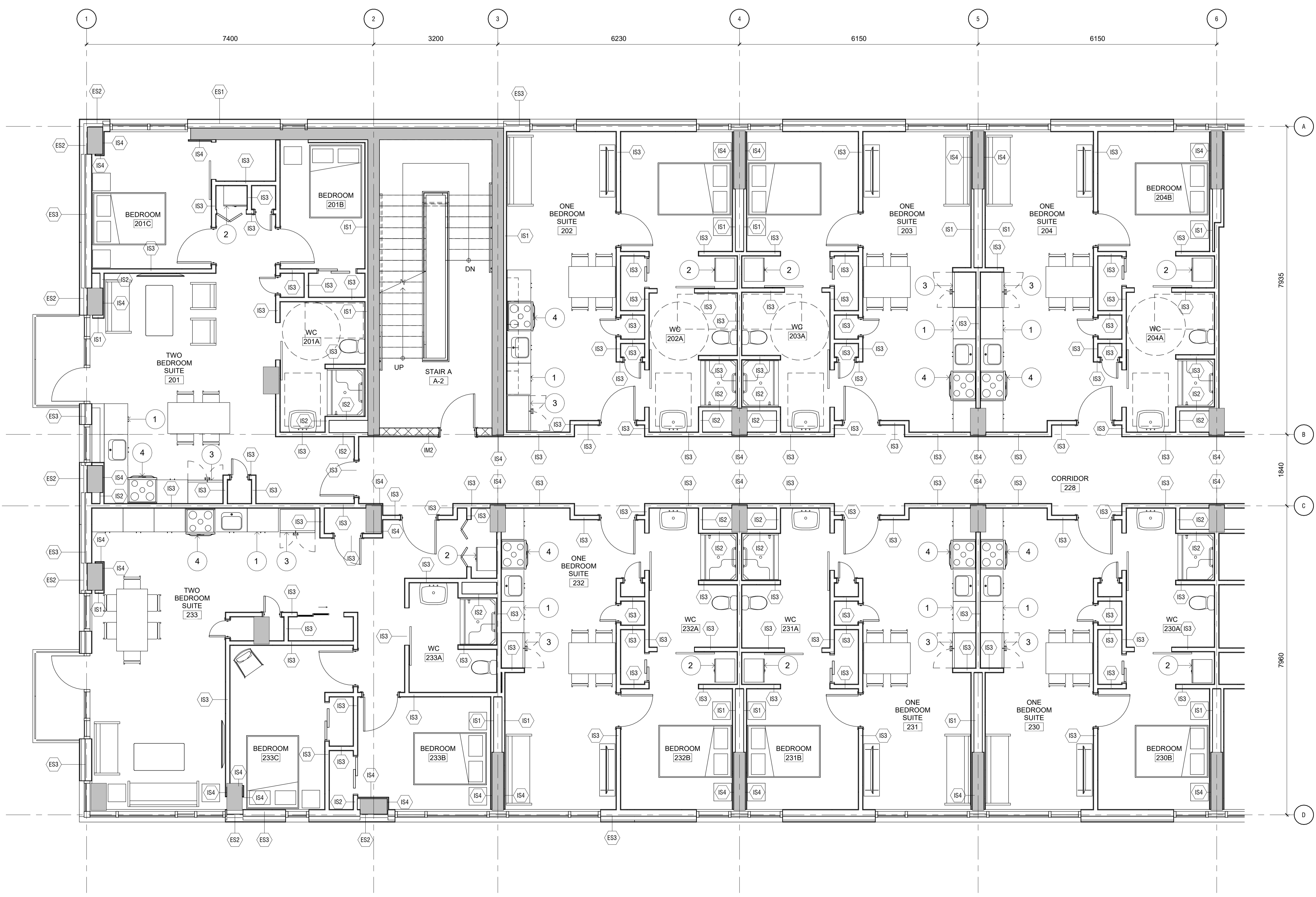
**EDWARD J. CUHACI & ASSOCIATES ARCHITECTS INC.**  
 1175 St. Patrick St., Suite 1101, Ottawa, Ontario, K1P 0H7  
 Fax: (613) 236-1944 Telephone: (613) 236-7155 E-mail: info@edjca.com

PROJECT TITLE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING TITLE/TITRE DU DESSIN  
**ENLARGED TYPICAL FLOOR NORTH WEST AREA**

|                           |        |                |      |           |  |
|---------------------------|--------|----------------|------|-----------|--|
| SCALE<br>ÉCHELLE          | 1 : 50 | PROJ. No.      | 2205 | ISSUE No. |  |
| DRAWN BY<br>DESSINÉ PAR   | JC-G   | DRAWING/DESSIN |      |           |  |
| CHECKED BY<br>VÉRIFIÉ PAR | DB     |                |      |           |  |
| DATE                      | 2023   |                |      |           |  |

**A113**



**1 ENLARGED TYPICAL FLOOR NORTH WEST AREA**  
 A113 1 : 50

C:\Users\jca\Documents\2205 - St. Patrick's Home of Ottawa\Working Model 2023\08-03\_2023\08-03\_2023\08-03\_2023.dwg



DRAWING NOTES

- 1 DISHWASHER
- 2 WASHER AND DRYER
- 3 REFRIGERATOR
- 4 RANGE
- 5 UNDERCOUNTER REFRIGERATOR
- 6 WASHER
- 7 DRYER
- 8 COOKTOP, INDUCTION
- 9 FREEZER
- 10 OVEN, DOUBLE

| NO. | DATE     | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
|-----|----------|--------------------------------------|
| 1   | 23/09/22 | ISSUE                                |
|     | YYMMDD   |                                      |

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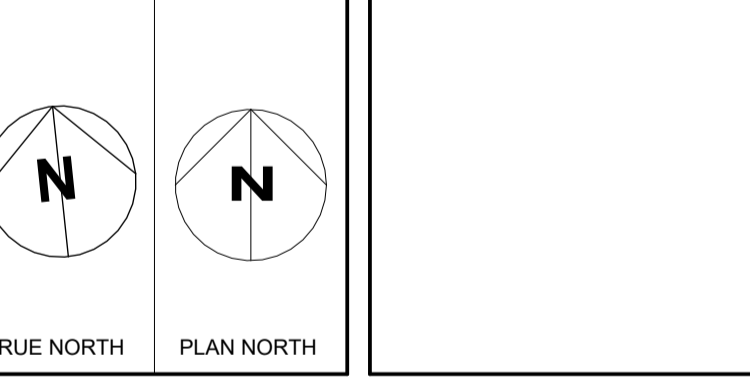
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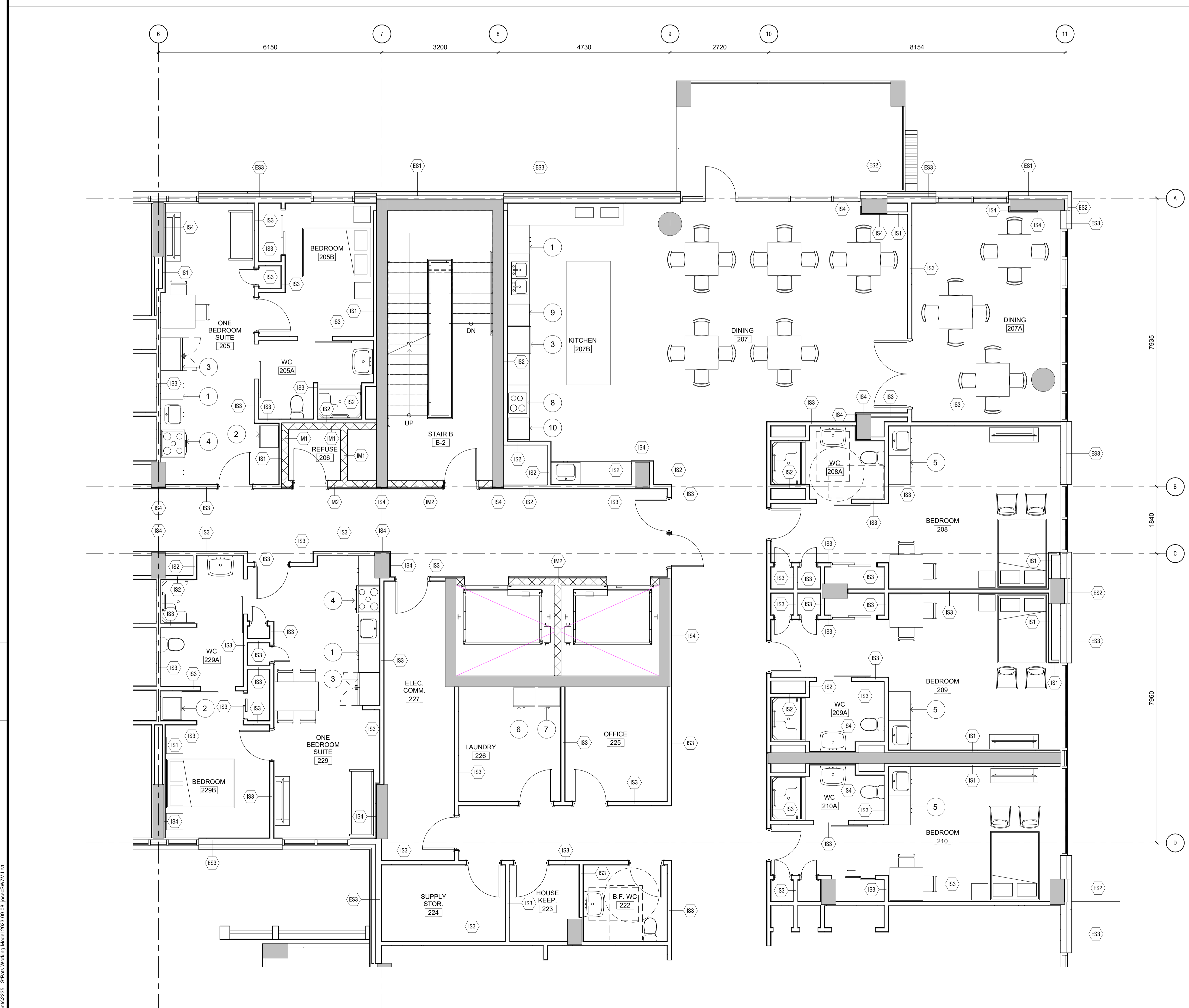
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 Fax: (613) 236-1944 Telephone: (613) 236-7135 E-mail: info@cuhaci.com

PROJECT/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING/TITRE DU DESSIN  
**ENLARGED TYPICAL FLOOR NORTH EAST CORNER**

|                        |        |                |      |           |  |
|------------------------|--------|----------------|------|-----------|--|
| SCALE/ECHELLE          | 1 : 50 | PROJ. No.      | 2235 | ISSUE No. |  |
| DRAWN BY/DESINEE PAR   | JC-G   | DRAWING/DESSIN |      |           |  |
| CHECKED BY/VERIFIE PAR | DB     |                |      |           |  |
| DATE                   | 2023   |                |      |           |  |

**A114**



**1 ENLARGED TYPICAL FLOOR NORTH EAST CORNER**  
 A114 1 : 50

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DRAWING NOTES

- 1 DISHWASHER
- 2 WASHER AND DRYER
- 3 REFRIGERATOR
- 4 RANGE
- 5 UNDERCOUNTER REFRIGERATOR



|     |          |                                      |
|-----|----------|--------------------------------------|
| 1   | 23/09/12 | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
| NO. | DATE     | ISSUE                                |
|     | YVMMDD   |                                      |

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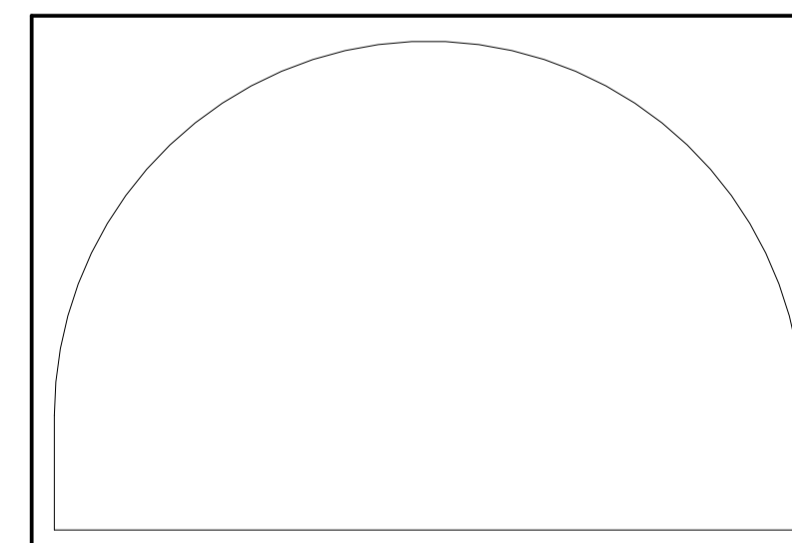
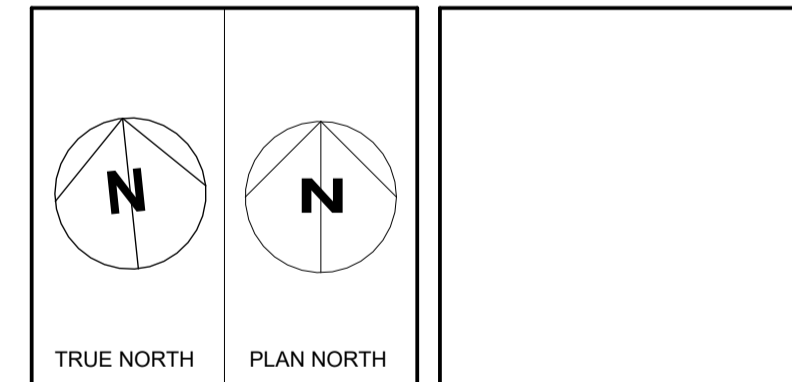
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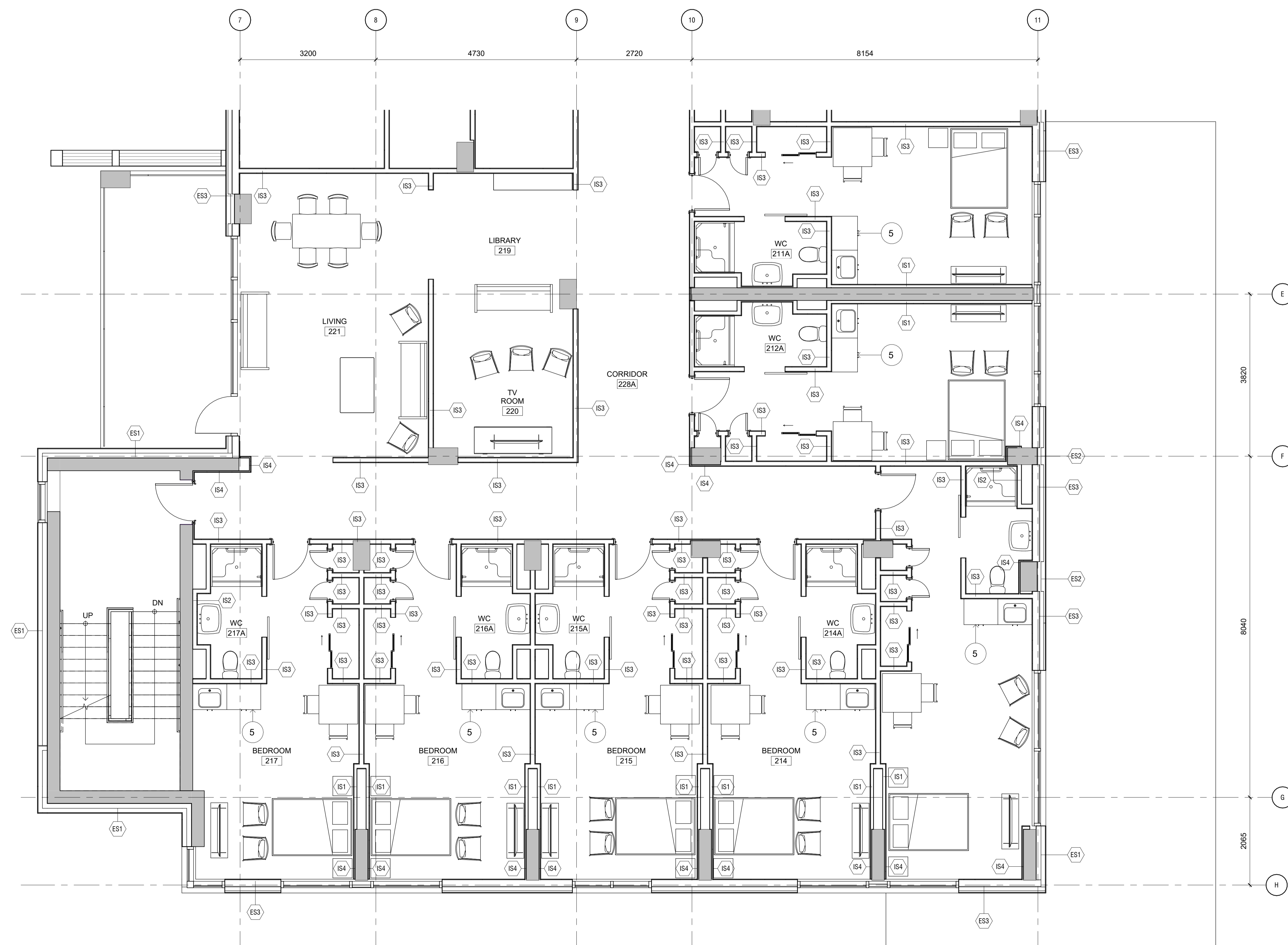


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 1175 Sturdee St., Suite 100, Ottawa, Ontario, K1P 0H7  
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PROJECT TITLE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING TITLE/TITRE DU DESSIN  
**ENLARGED TYPICAL FLOOR SOUTH EAST AREA**

|                           |        |                |      |           |  |
|---------------------------|--------|----------------|------|-----------|--|
| SCALE<br>ÉCHELLE          | 1 : 50 | PROJ. No.      | 2205 | ISSUE No. |  |
| DRAWN BY<br>DESSINÉ PAR   | JC-G   | DRAWING/DESSIN |      |           |  |
| CHECKED BY<br>VÉRIFIÉ PAR | DB     | <b>A115</b>    |      |           |  |
| DATE                      | 2023   |                |      |           |  |



**1 ENLARGED TYPICAL FLOOR SOUTH EAST AREA**  
 A115 1:50





DRAWING NOTES

- 1 SLIDING ENTRANCE DOORS
- 2 CURTAIN WALL SYSTEM
- 3 BRICK WALL ASSEMBLY
- 4 CEMENTITIOUS BOARD WALL ASSEMBLY ( DARK COLOUR)
- 5 CEMENTITIOUS BOARD WALL ASSEMBLY ( LIGHT COLOUR)
- 6 SCREEN WALL
- 7 BALCONY
- 8 GLAZED GUARDRAIL
- 9 CANOPY
- 10 CANOPY STRUCTURAL COLUMN
- 11 ROLLING OVERHEAD DOOR

| ISSUE NO. | DATE     | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
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| 1         | 23/09/22 | ISSUE                                |
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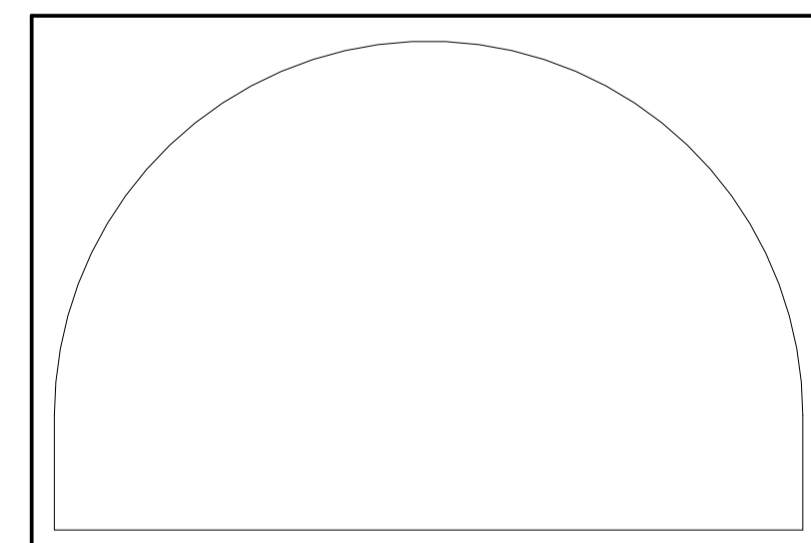
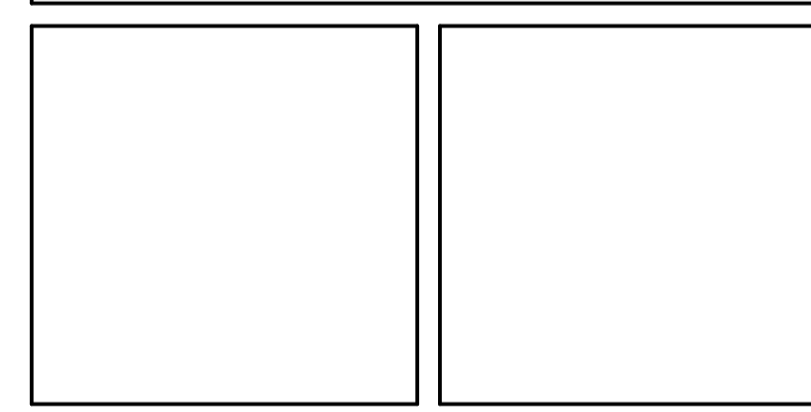
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PROJECT TITLE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING TITLE/TITRE DU DESSIN  
**ELEVATIONS**

|                          |         |                |      |           |  |
|--------------------------|---------|----------------|------|-----------|--|
| SCALE / ÉCHELLE          | 1 : 100 | PROJ. No.      | 2205 | ISSUE No. |  |
| DRAWN BY / DESSINÉ PAR   | JC-G    | DRAWING/DESSIN |      |           |  |
| CHECKED BY / VÉRIFIÉ PAR | DB      | <b>A200</b>    |      |           |  |
| DATE                     | 2023    |                |      |           |  |



1 East Elevation  
 A200 1:100



2 North Elevation  
 A200 1:100



1 South Elevation  
A201 1:100



2 West Elevation  
A201 1:100

DRAWING NOTES

- 1 SLIDING ENTRANCE DOORS
- 2 CURTAIN WALL SYSTEM
- 3 BRICK WALL ASSEMBLY
- 4 CEMENTITIOUS BOARD WALL ASSEMBLY ( DARK COLOUR)
- 5 CEMENTITIOUS BOARD WALL ASSEMBLY ( LIGHT COLOUR)
- 6 SCREEN WALL
- 7 BALCONY
- 8 GLAZED GUARDRAIL
- 9 CANOPY
- 10 CANOPY STRUCTURAL COLUMN
- 11 ROLLING OVERHEAD DOOR



St. Patrick's Home  
of Ottawa Inc.

| ISSUE NO. | DATE     | ISSUE                                |
|-----------|----------|--------------------------------------|
| 1         | 23/09/22 | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
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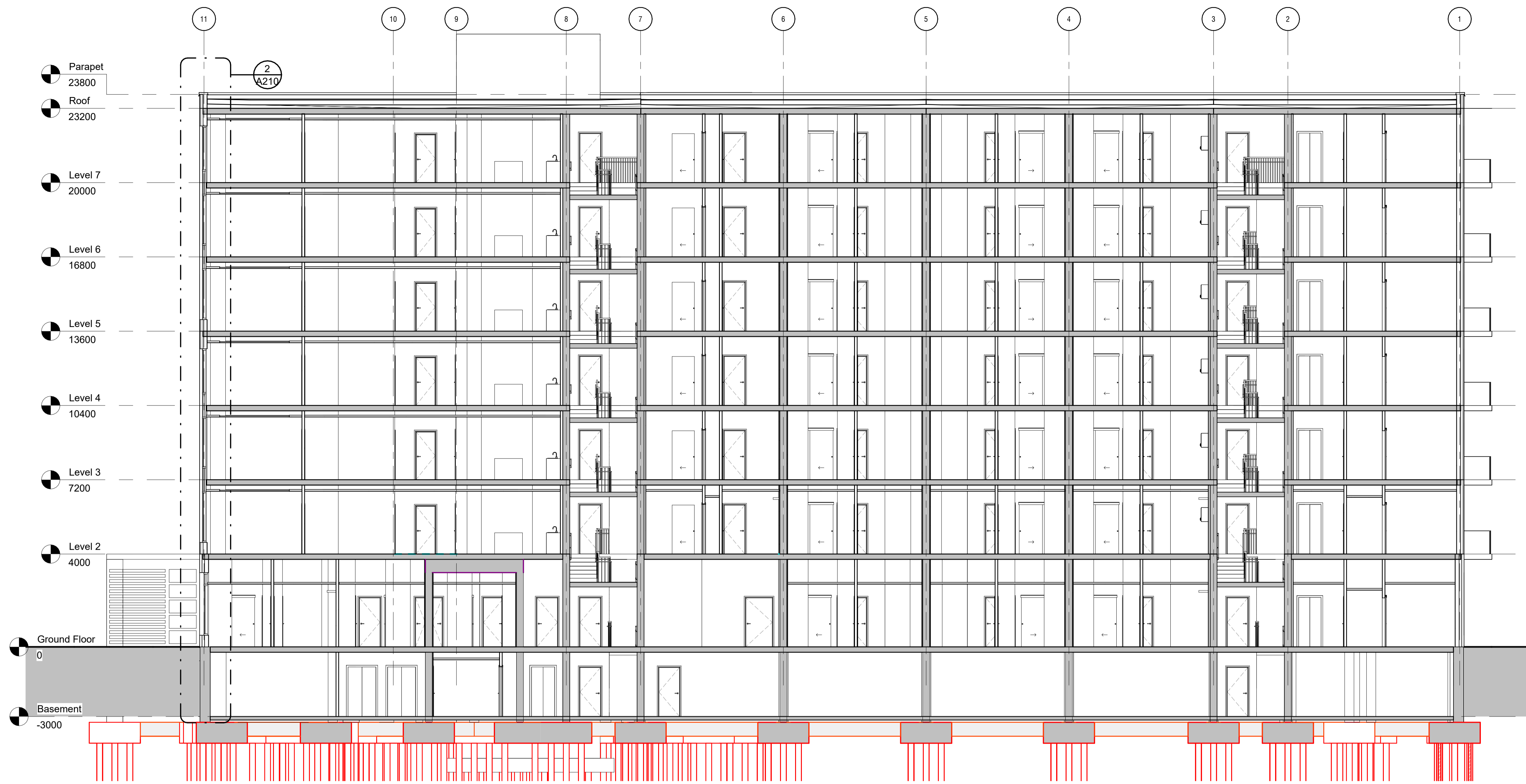
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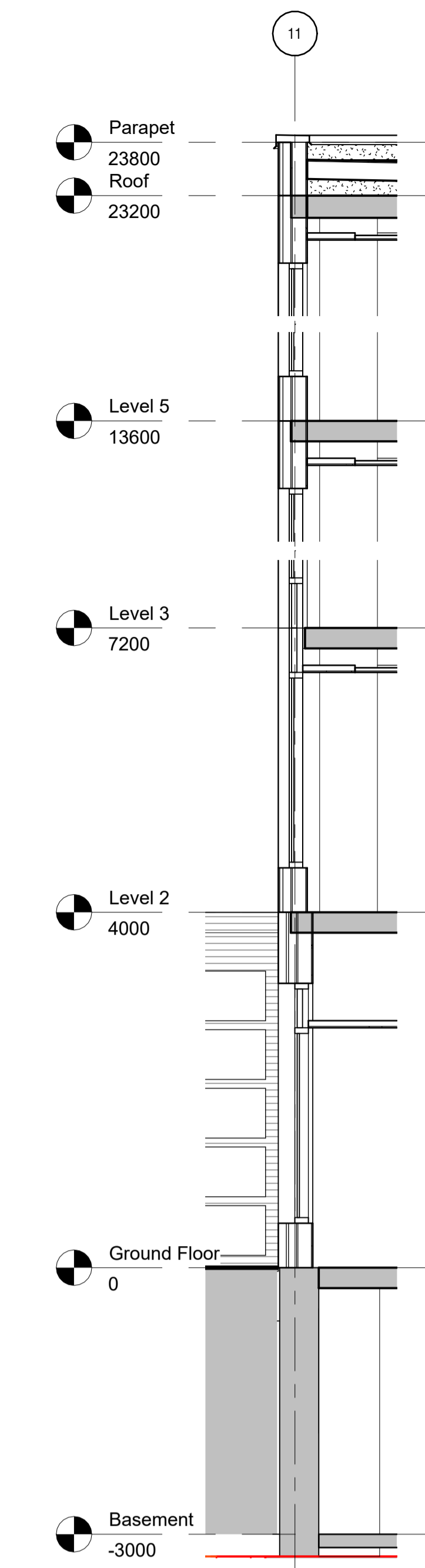
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**NEW APARTMENT BUILDING**  
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St. Patrick's Home of Ottawa

DRAWING/TITRE DU DESSIN  
**ELEVATIONS**

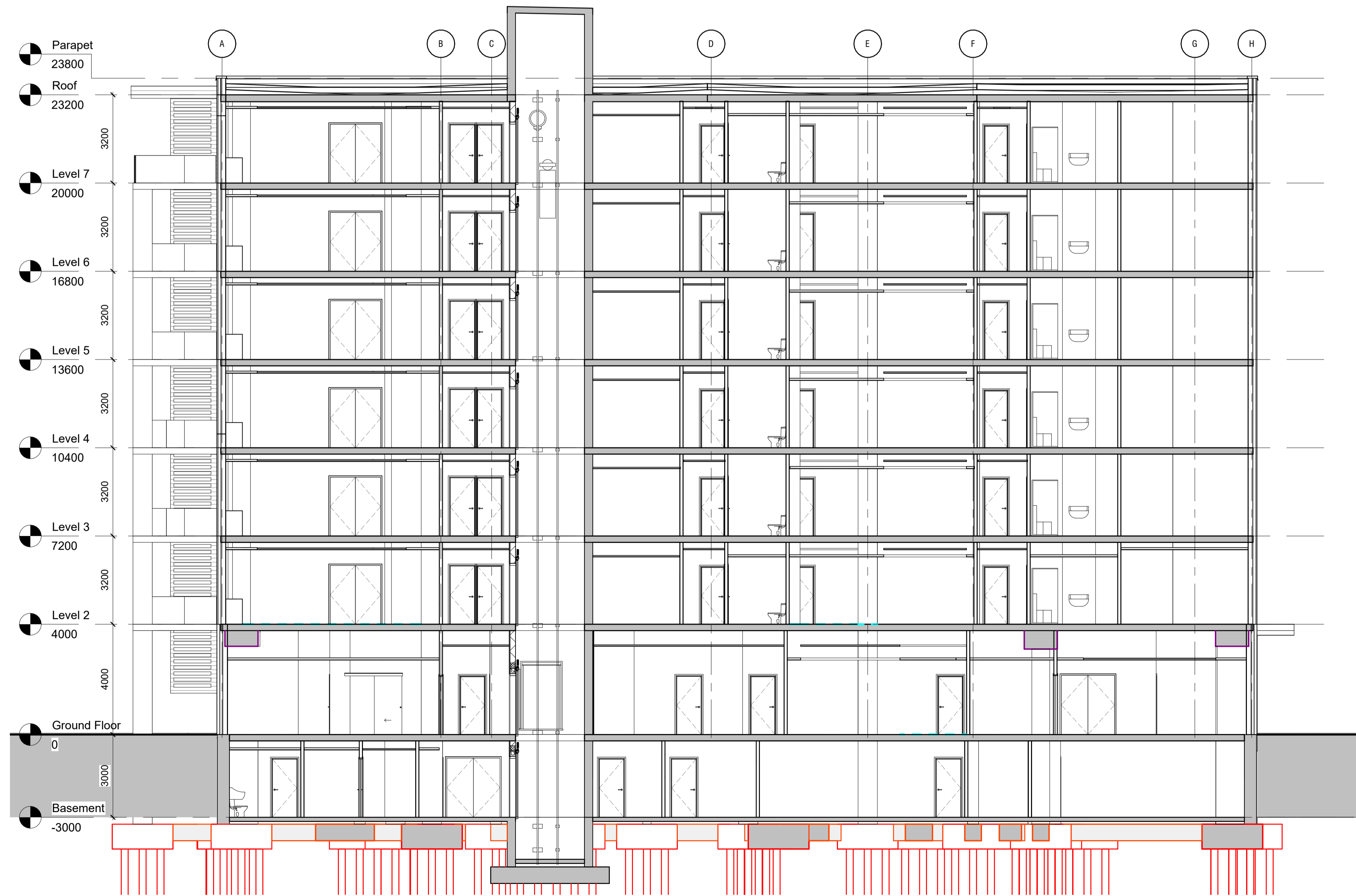
|                        |       |                |      |           |  |
|------------------------|-------|----------------|------|-----------|--|
| SCALE/ECHELLE          | 1:100 | PROJ. No.      | 2205 | ISSUE No. |  |
| DRAWN BY/DESINEE PAR   | JC-G  | DRAWING/DESSIN |      |           |  |
| CHECKED BY/VERIFIE PAR | DB    | <b>A201</b>    |      |           |  |
| DATE                   | 2023  |                |      |           |  |



**1 BUILDING SECTION 1**  
A210 1 : 100



**2 WALL SECTION 1**  
A210 1 : 50



**3 BUILDING SECTION 2**  
A210 1 : 100



| NO. | DATE     | ISSUE                                |
|-----|----------|--------------------------------------|
| 1   | 23/09/12 | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
| 2   | 11/10/12 | ISSUE                                |

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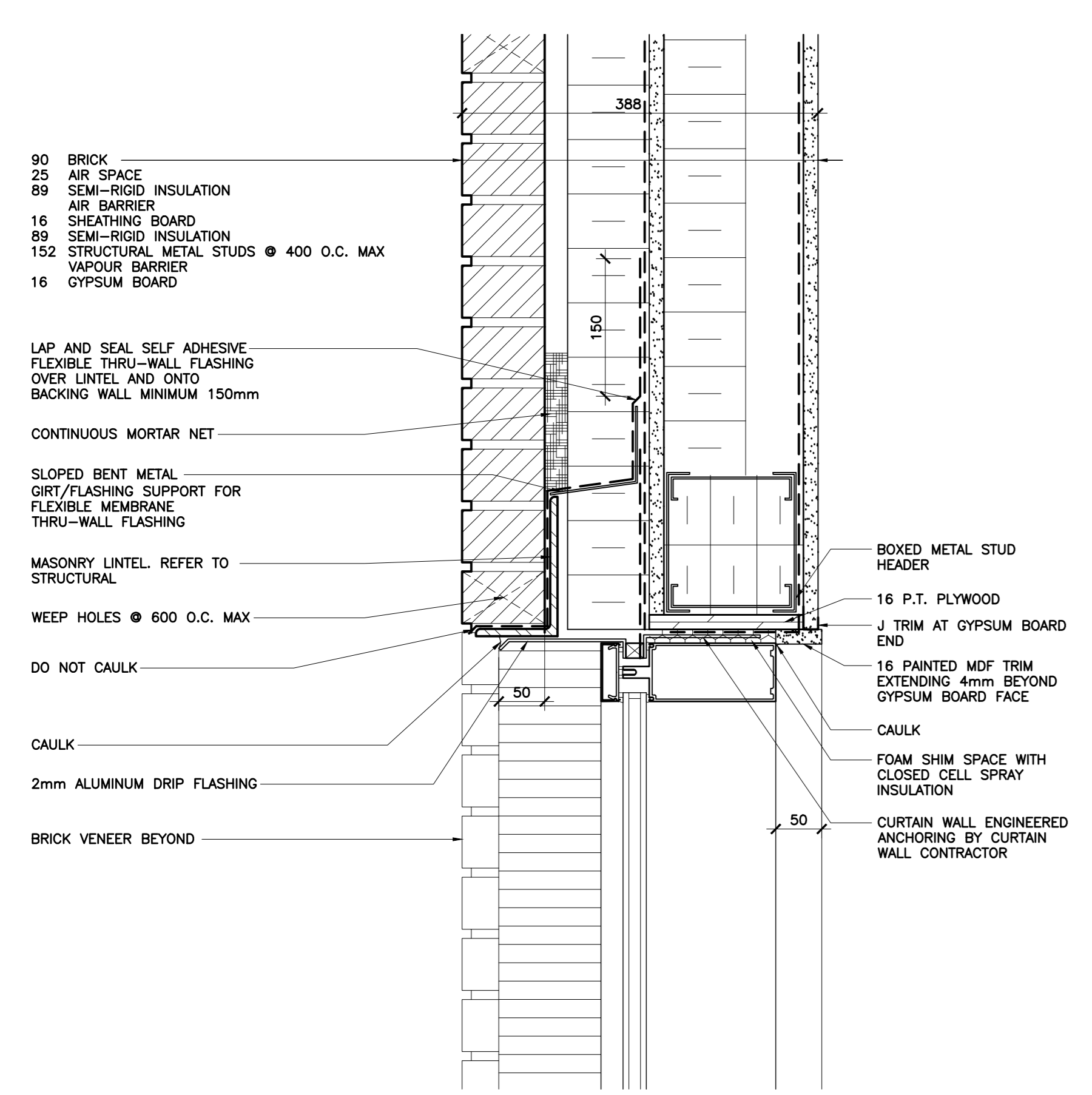
**EDWARD J. CUHACI & ASSOCIATES ARCHITECTS INC.**  
1175 Stittsville Rd., Suite 100, Ottawa, Ontario, K1P 5H7  
Fax: (613) 236-1944 Telephone: (613) 236-7155 E-mail: info@edjca.com

PROJECT/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
St. Patrick's Home of Ottawa

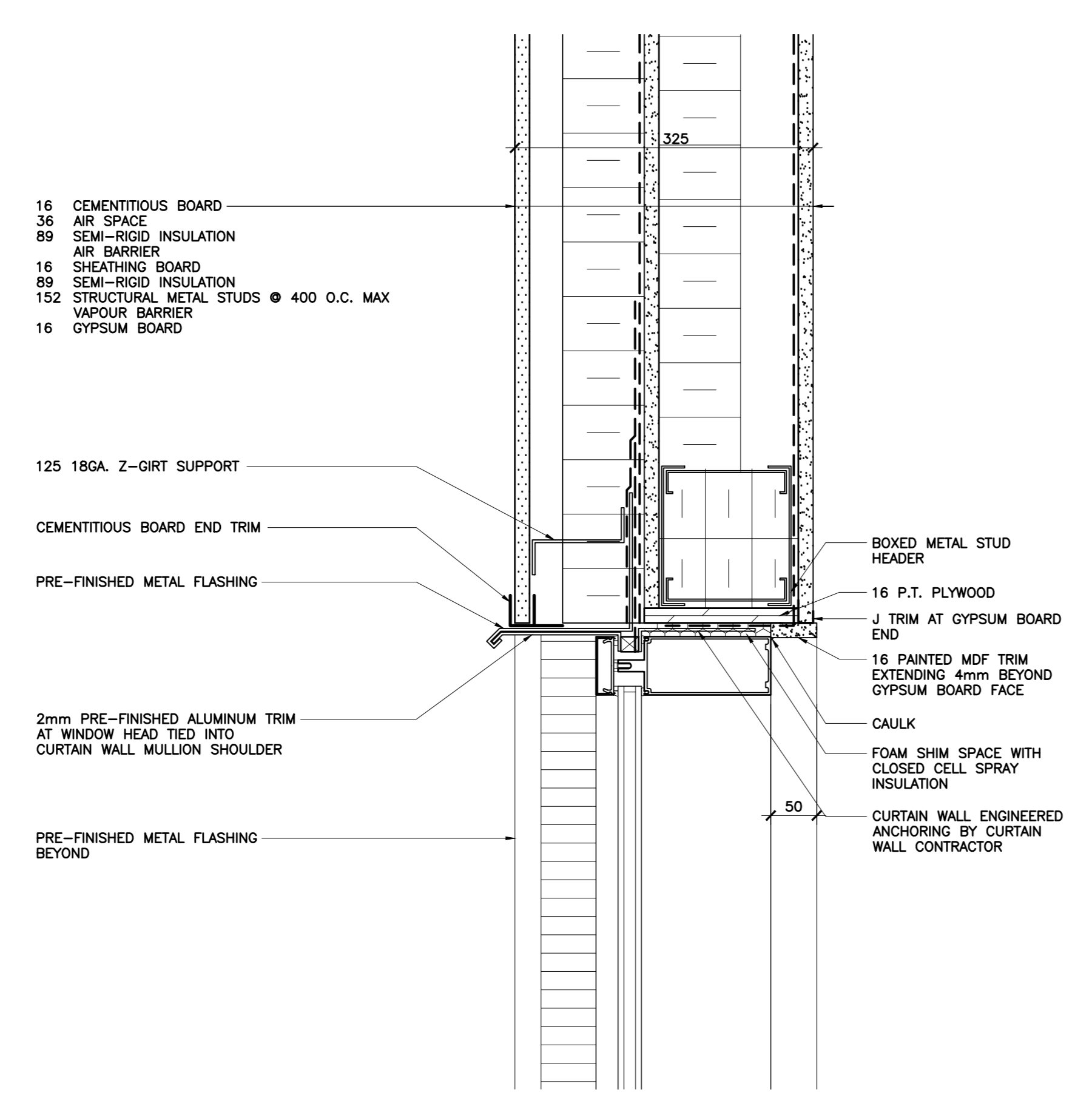
DRAWING/TITRE DU DESSIN  
**BUILDING AND WALL SECTIONS**

| SCALE/ECHELLE          | As Indicated | PROJ. No.      | 2235 | ISSUE No. |
|------------------------|--------------|----------------|------|-----------|
| DRAWN BY/DESSINÉ PAR   | JC-G         | DRAWING/DESSIN |      |           |
| CHECKED BY/VÉRIFIÉ PAR | DB           |                |      |           |
| DATE                   | 2023         |                |      |           |

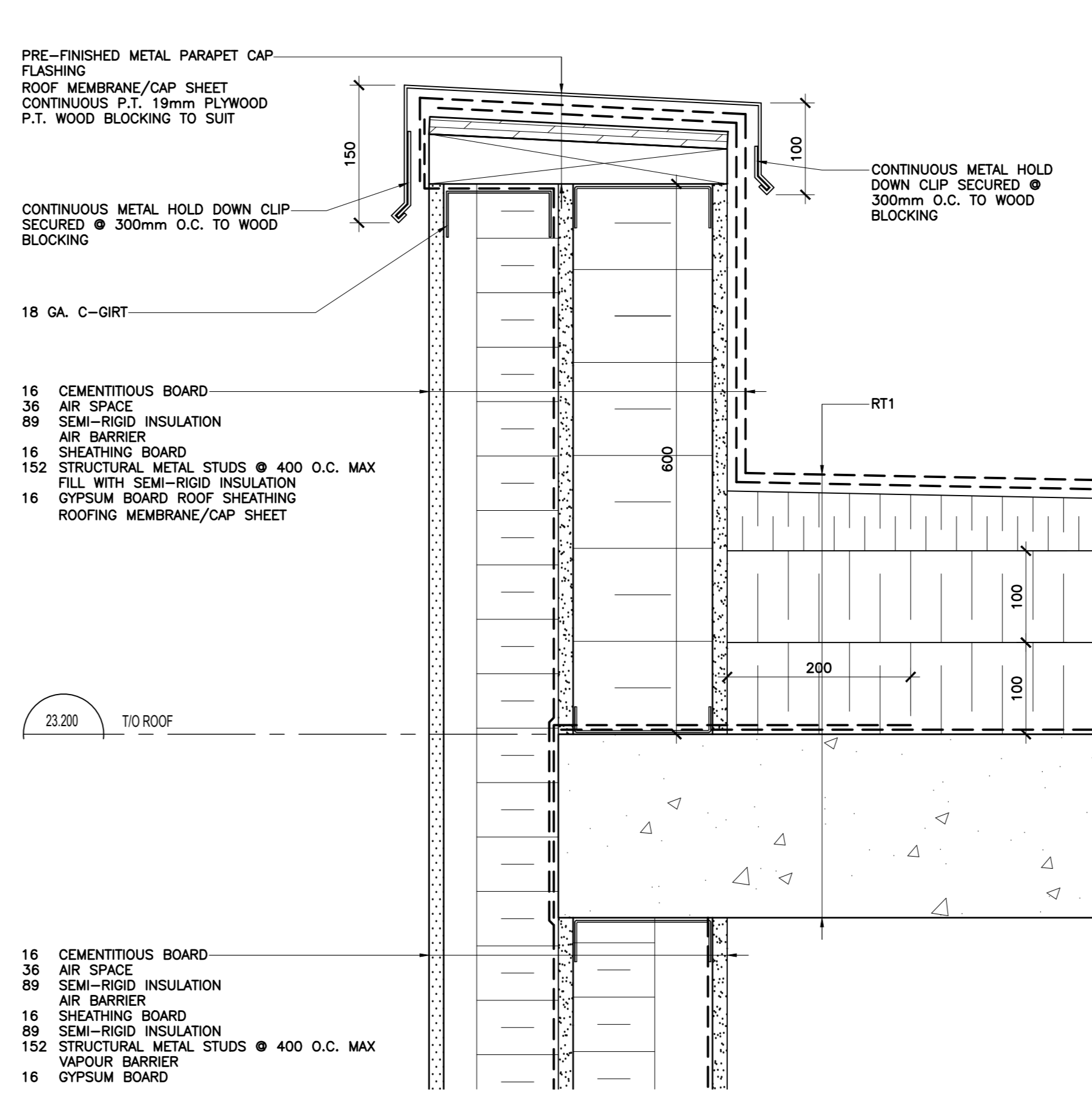
**A210**



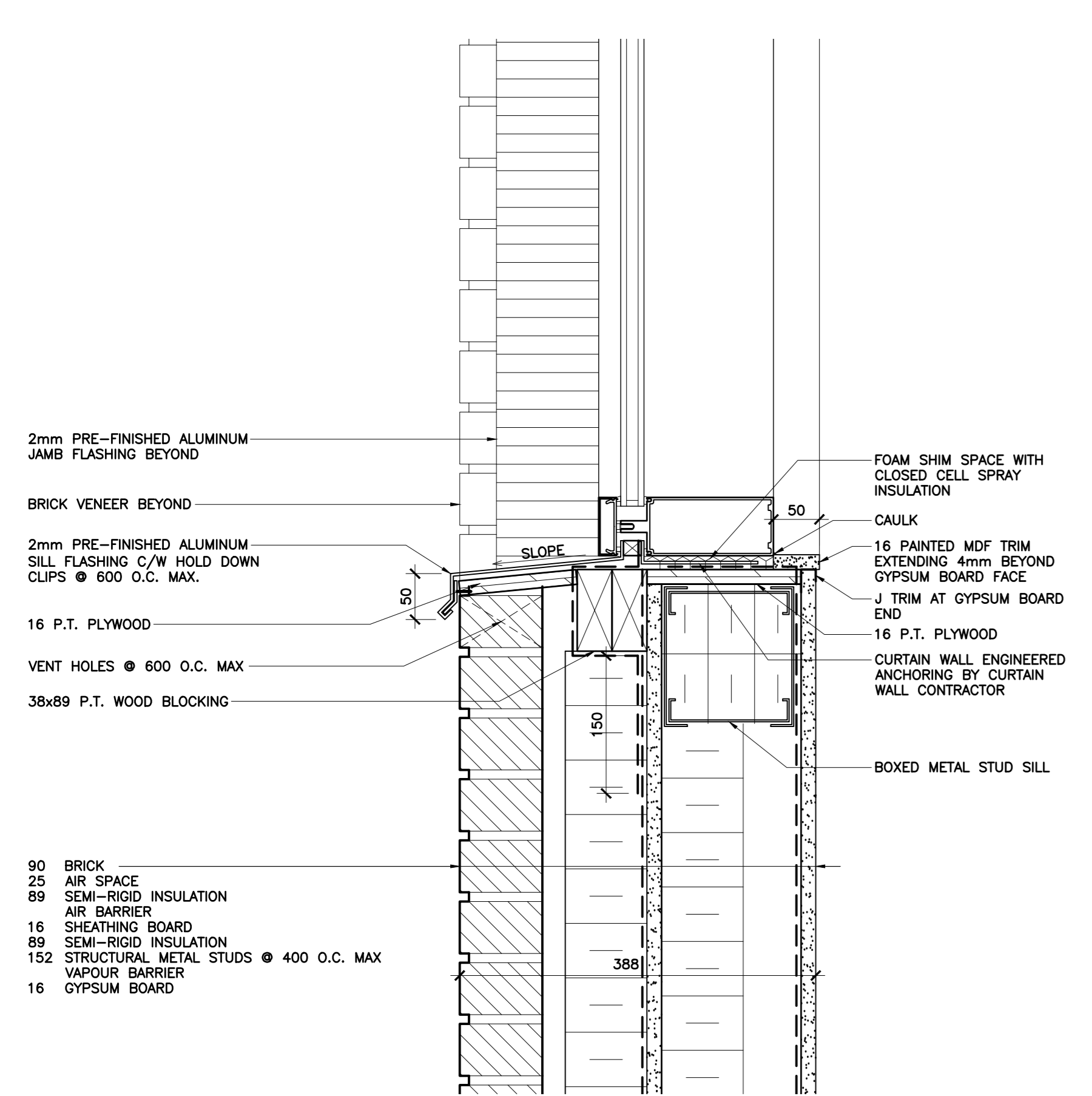
**1** CURTAIN WALL HEAD AT BRICK WALL  
A230 1:5



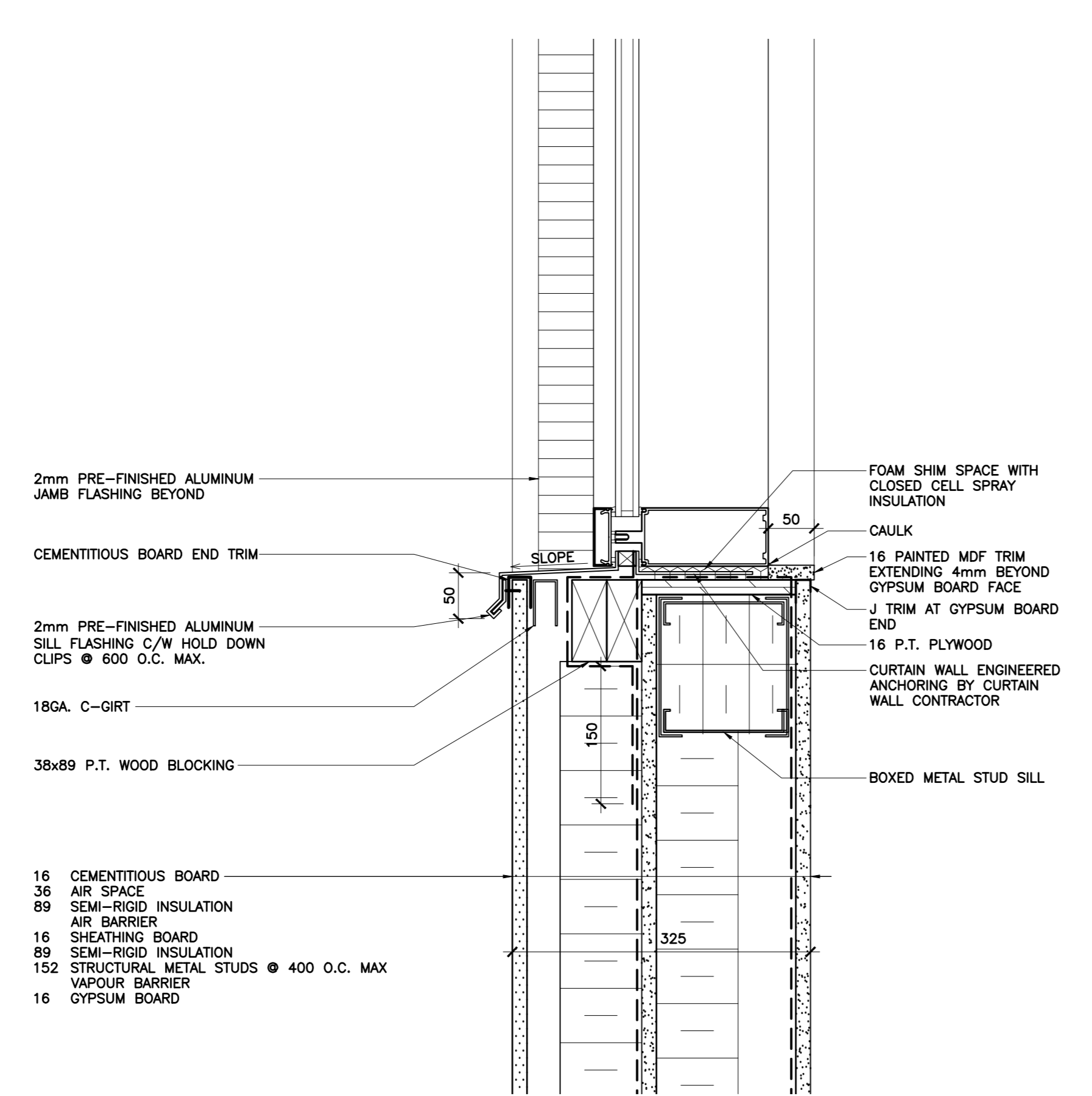
**3** CURTAIN WALL HEAD AT CEMENTITIOUS WALL  
A230 1:5



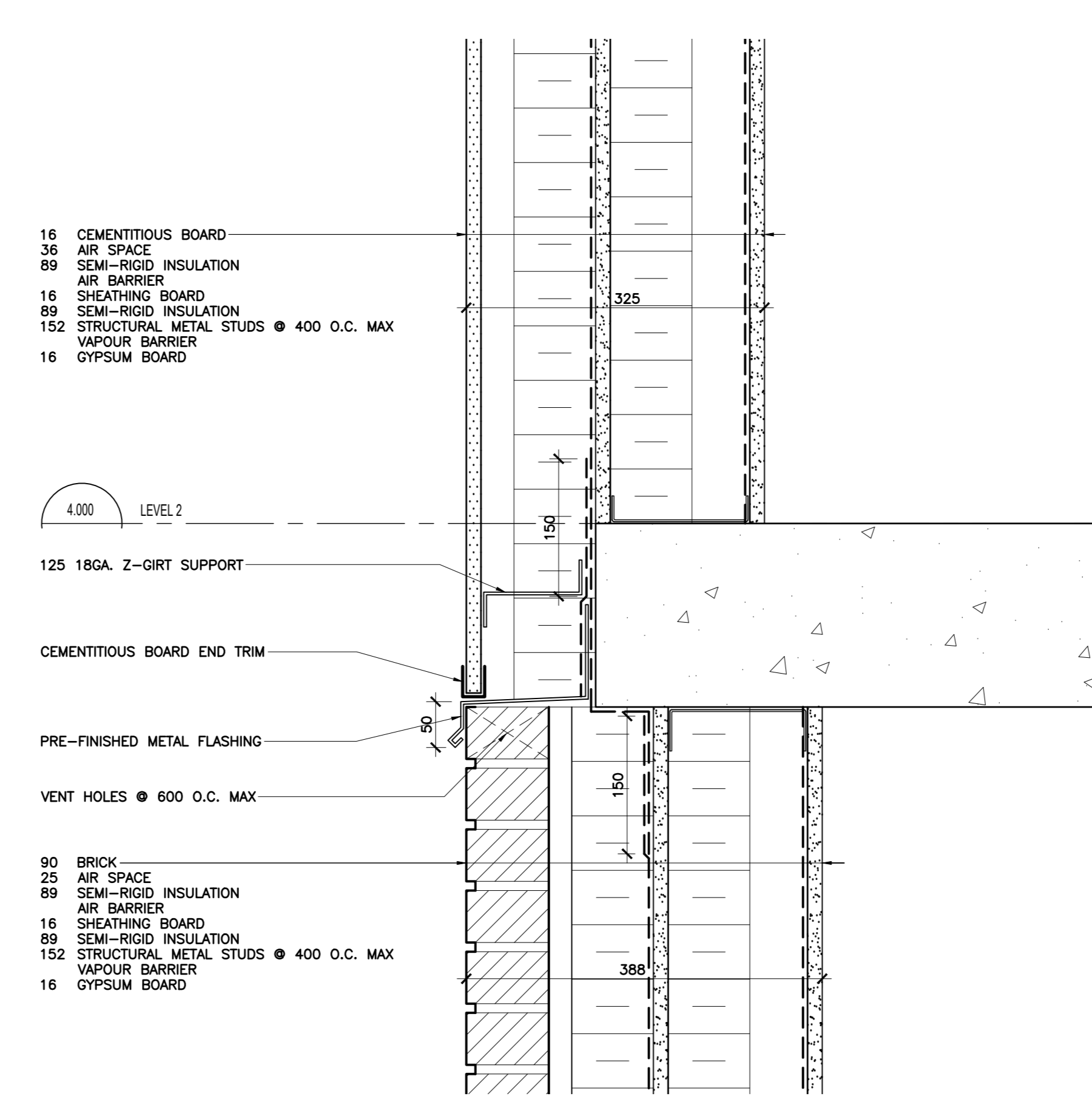
**5** PARAPET DETAIL  
A230 1:5



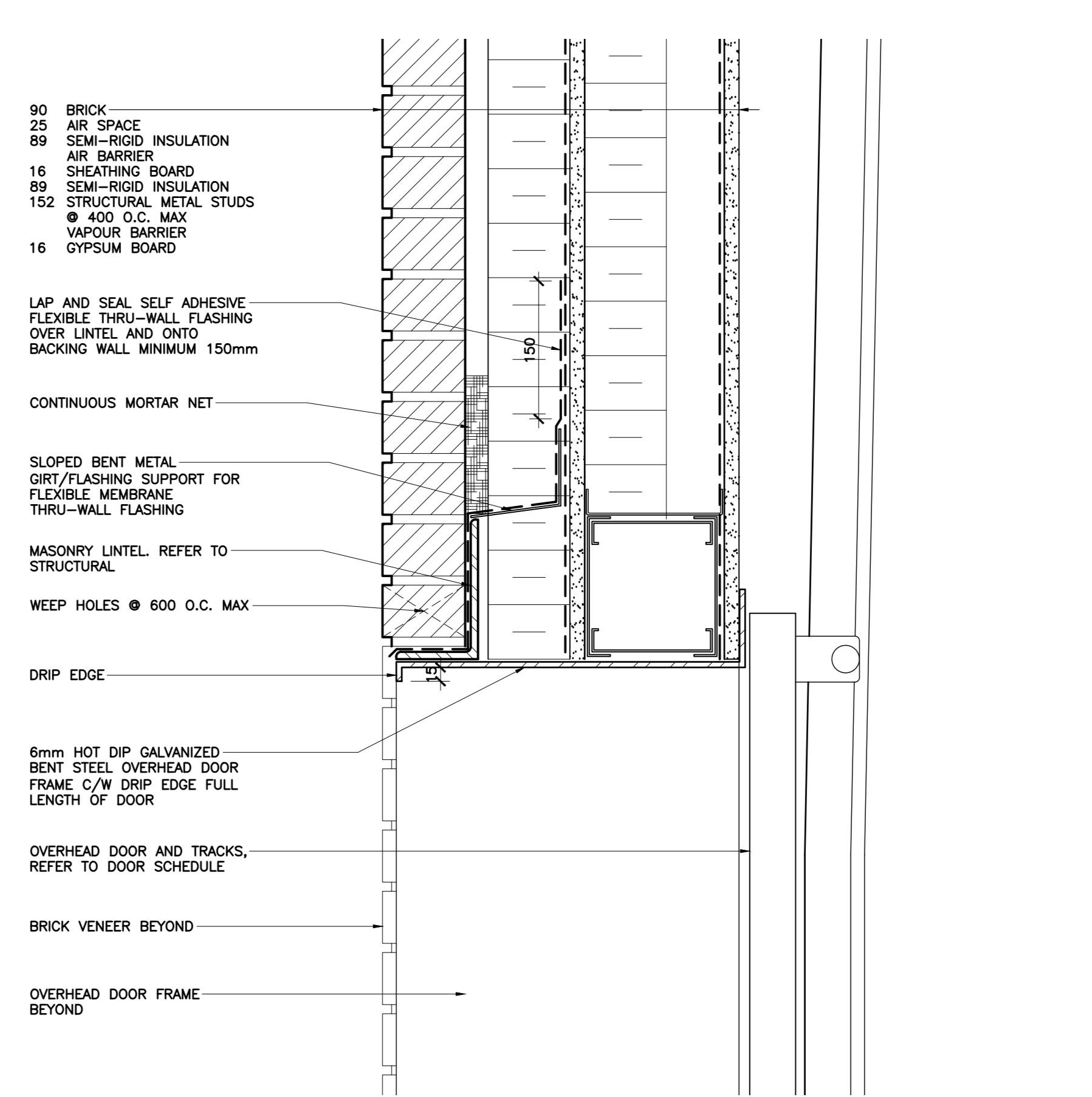
**2** CURTAIN WALL SILL AT BRICK WALL  
A230 1:5



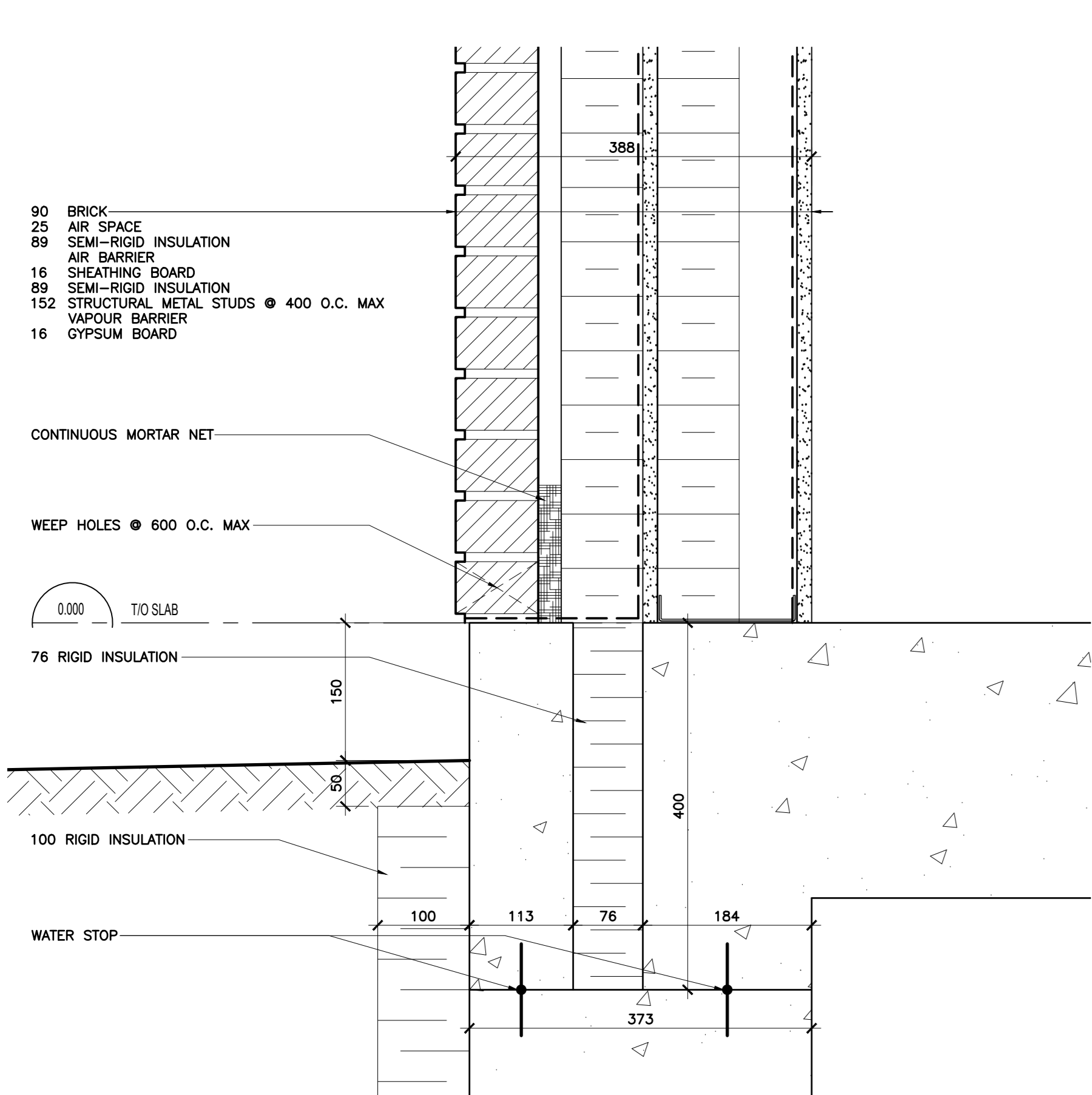
**4** CURTAIN WALL SILL AT CEMENTITIOUS WALL  
A230 1:5



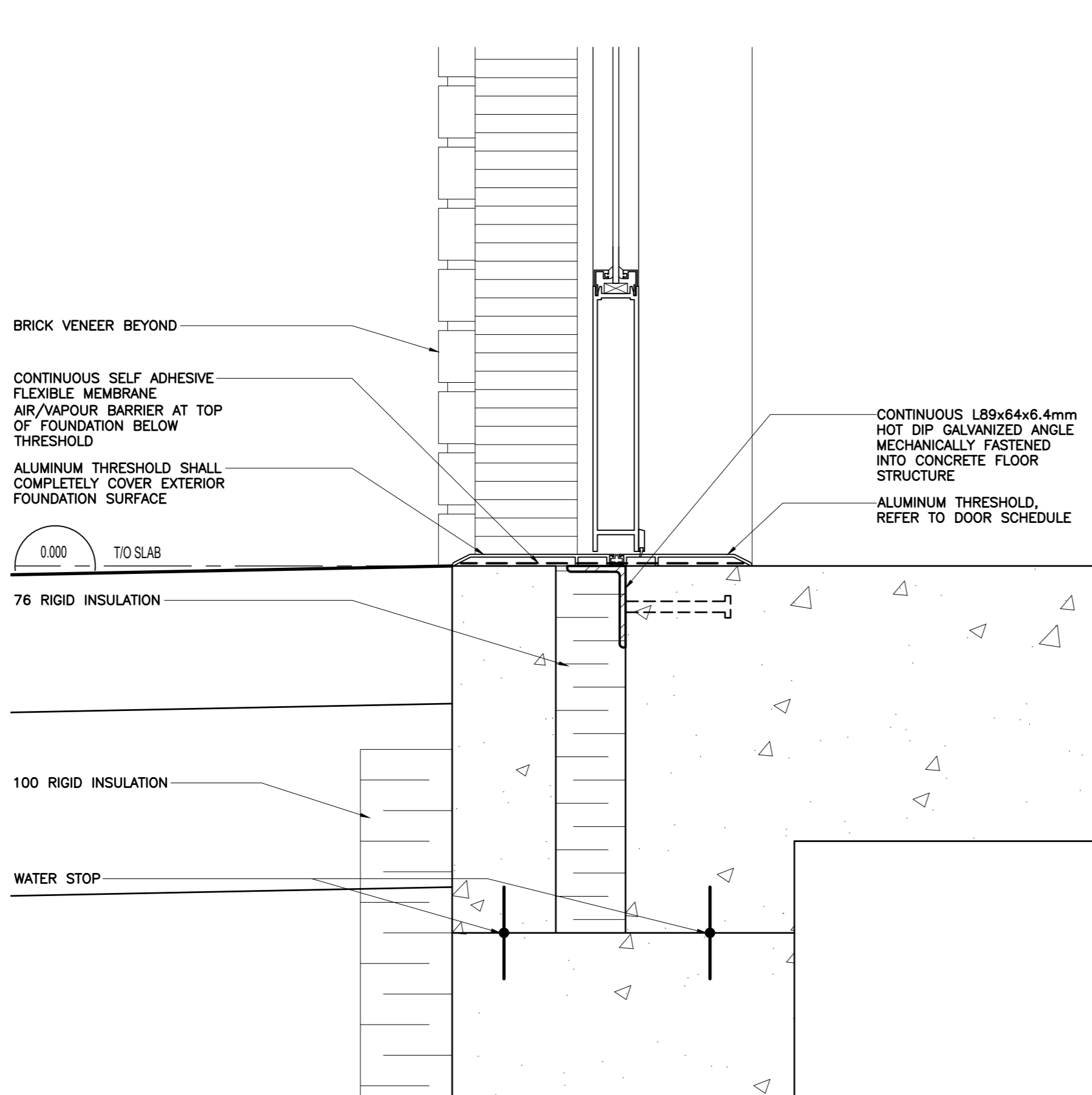
**6** BRICK WALL AND CEMENTITIOUS WALL FLASHING  
A230 1:5



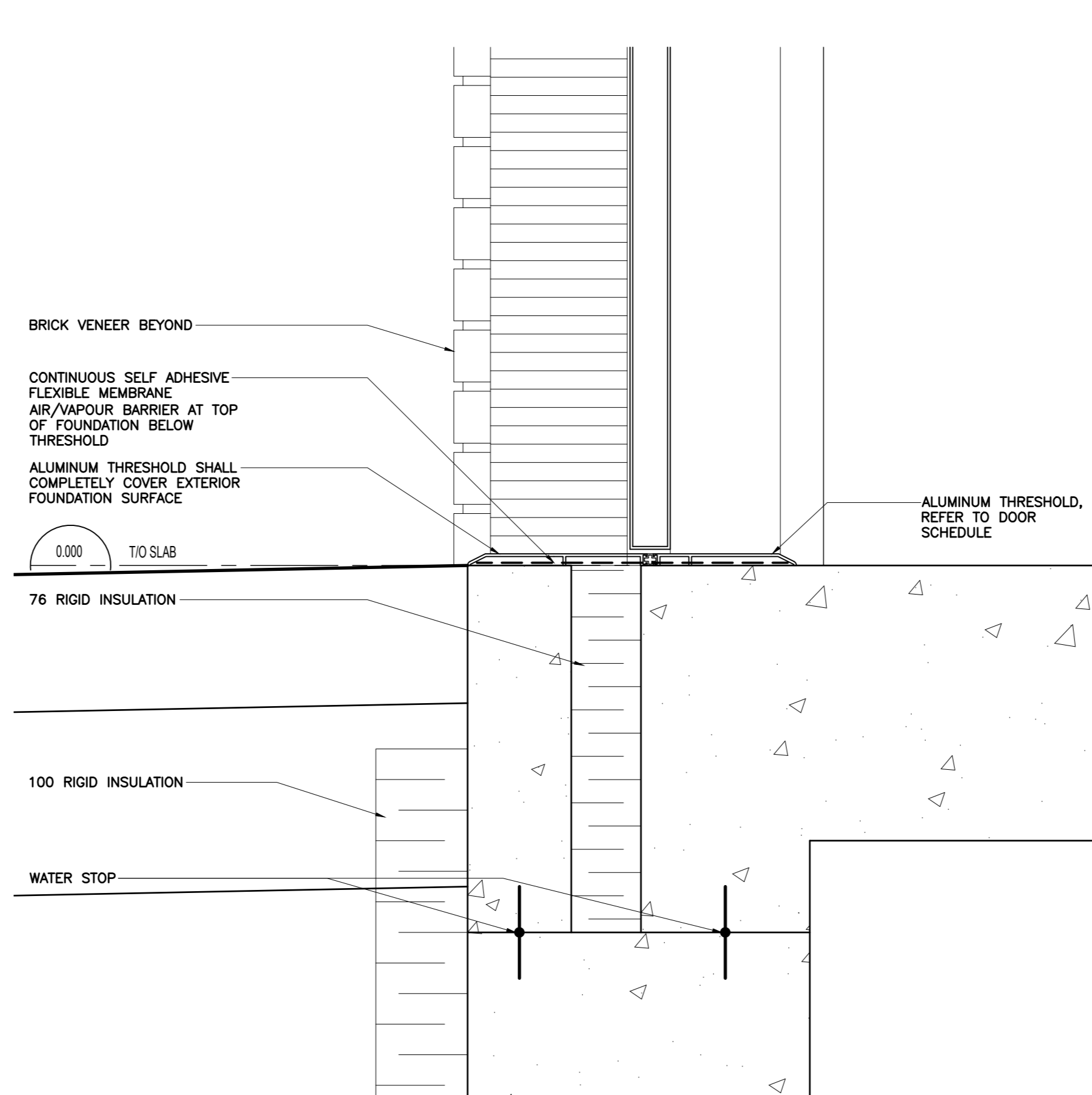
**11** GARAGE DOOR HEAD  
A230 1:5



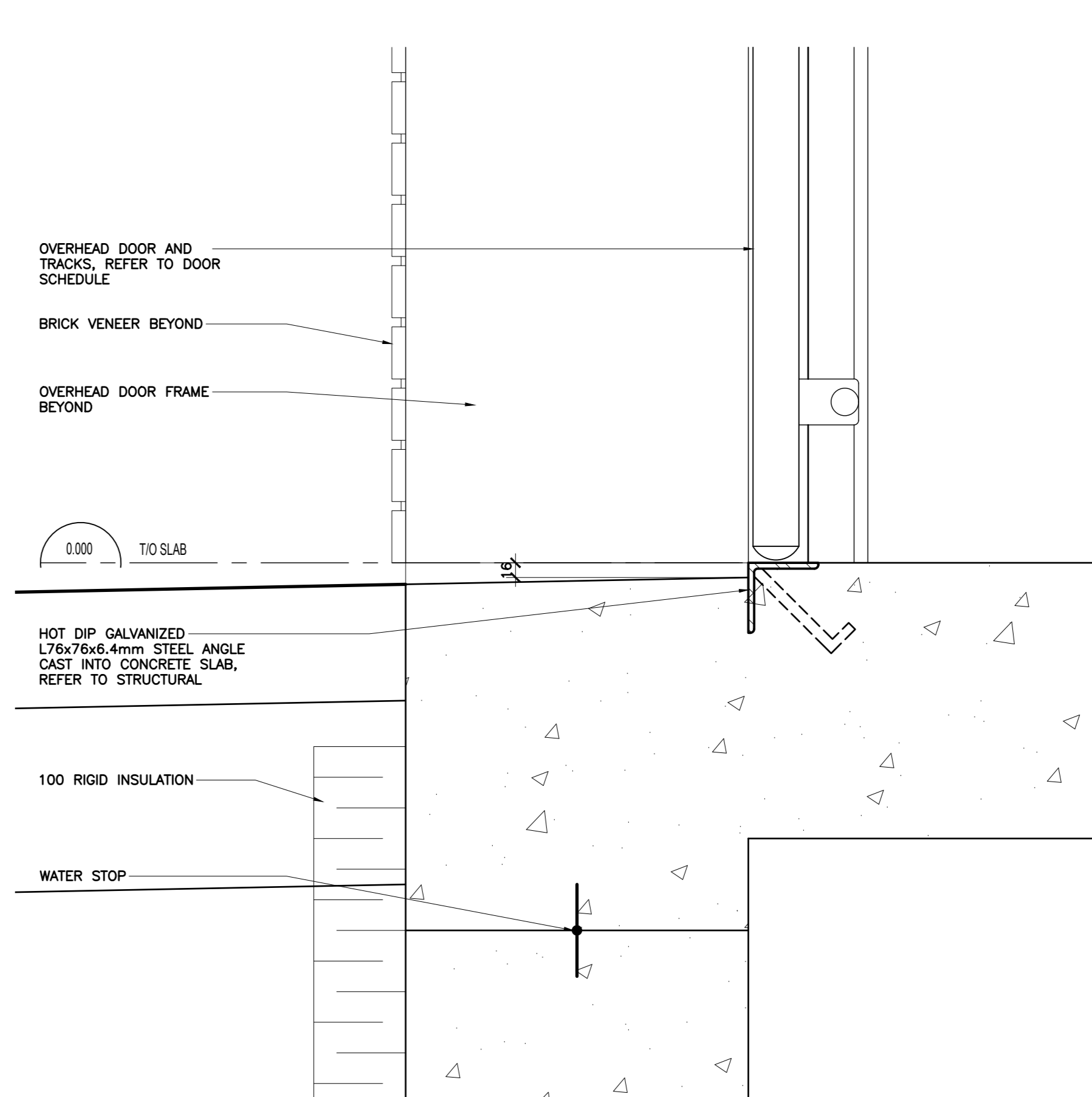
**7** BRICK WALL AT GRADE  
A230 1:5



**8** CURTAIN WALL DOOR AT FOUNDATION  
A230 1:5



**9** METAL DOOR AT FOUNDATION  
A230 1:5



**10** GARAGE DOOR AT FOUNDATION  
A230 1:5

| NO. | DATE       | ISSUE                                |
|-----|------------|--------------------------------------|
| 1   | 2023/04/18 | ISSUED FOR DESIGN DEVELOPMENT REVIEW |

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111 Ouellet St. Suite 101, Ottawa, Ontario, K1V 9Y1  
Tel: (613) 281-5848 Fax: (613) 281-7135 Email: info@ejc.ca

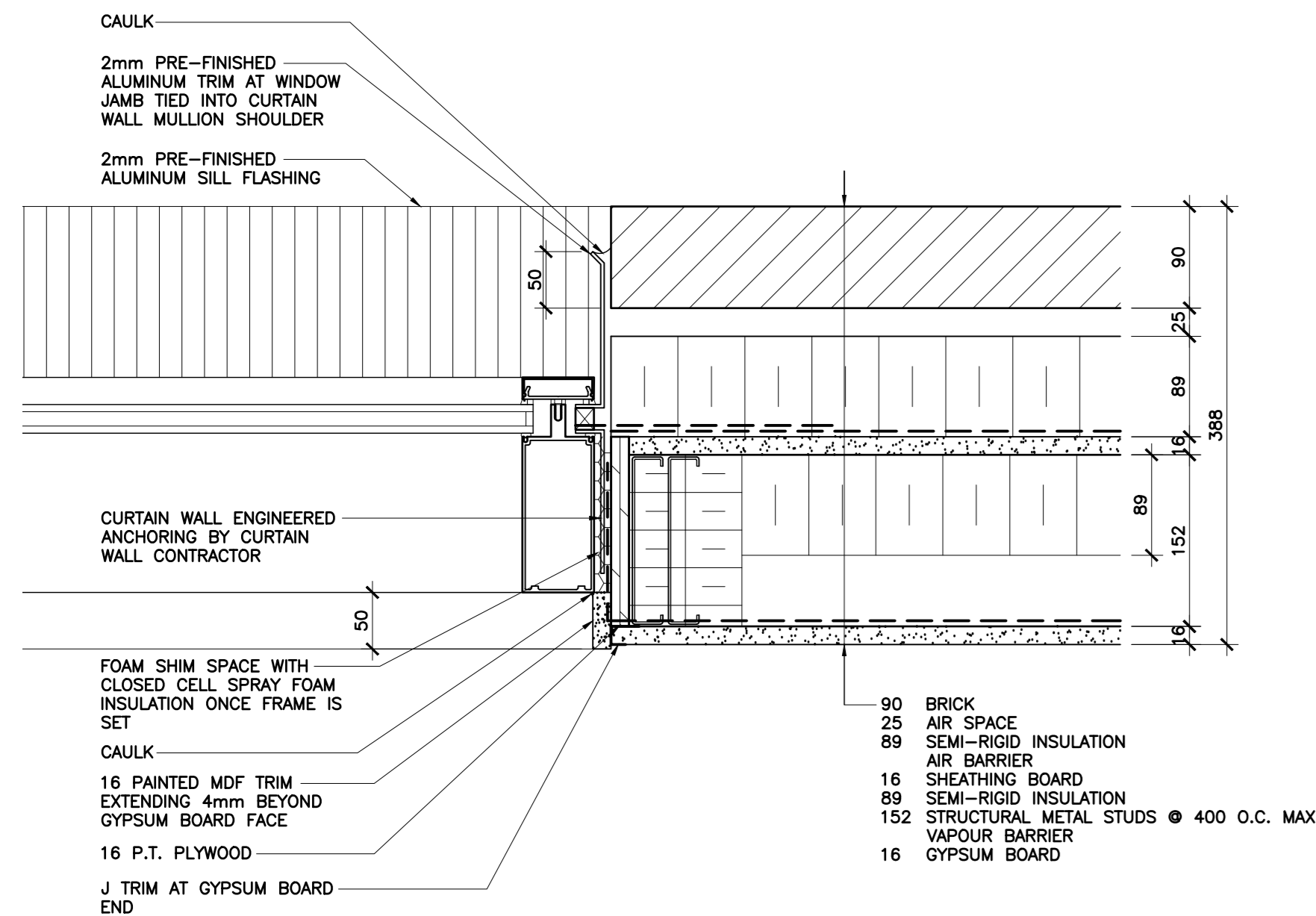
PROJECT/TITRE DU PROJET  
**ST PATRICK'S HOME NEW APARTMENT BUILDING**  
2865 RIVERSIDE DR. #226  
OTTAWA, ONTARIO

ST PATRICK'S HOME OF OTTAWA  
OTTAWA, ONTARIO  
2865 RIVERSIDE DR. #226

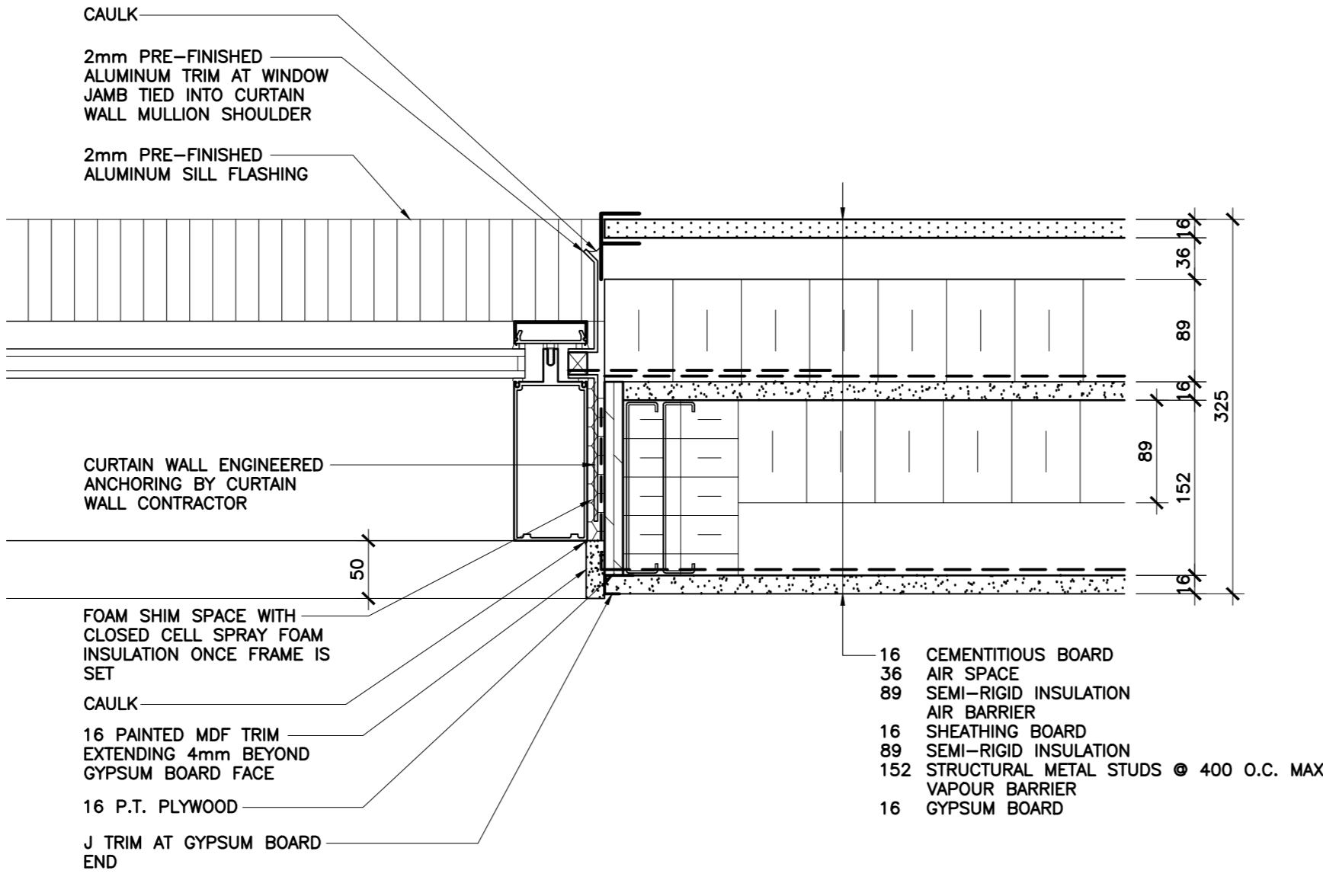
DRAWING/TITRE DU DESSIN  
**SECTION DETAILS**

| SCALE       | AS SHOWN | PROJ. NO.                        | ISSUE NO. | REV. NO. |
|-------------|----------|----------------------------------|-----------|----------|
| ECHELLE     | AS SHOWN | 2235                             | ---       | ---      |
| DRAWN BY    | EA       | DRAWING/DESIGN                   |           |          |
| DESIGNED BY | EA       |                                  |           |          |
| CHECKED BY  | DB       |                                  |           |          |
| VERIFIED BY |          |                                  |           |          |
| DATE        | 2023     | ACAD FILE/FICHIER: 2235-A230.DWG |           |          |

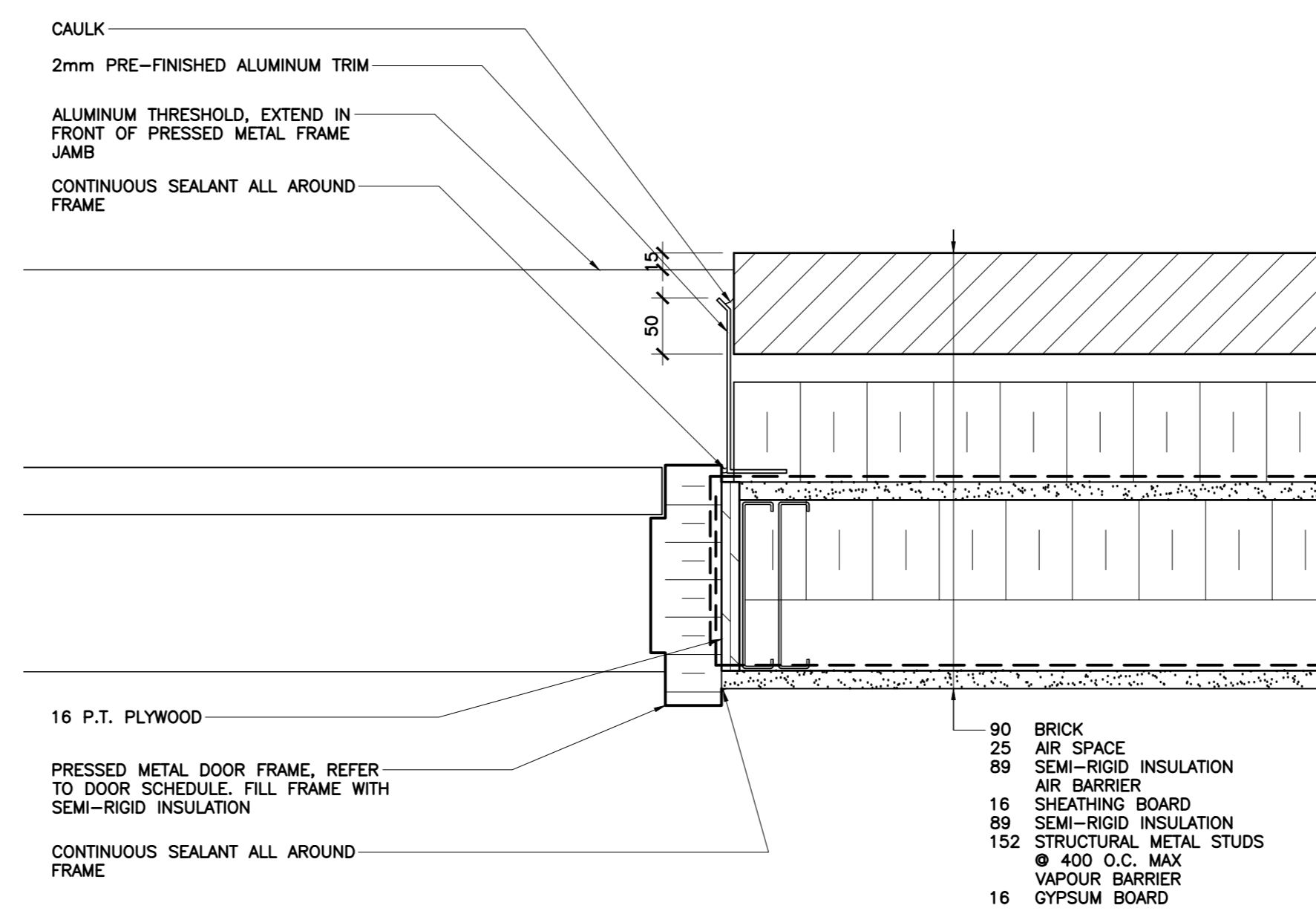
**A230**



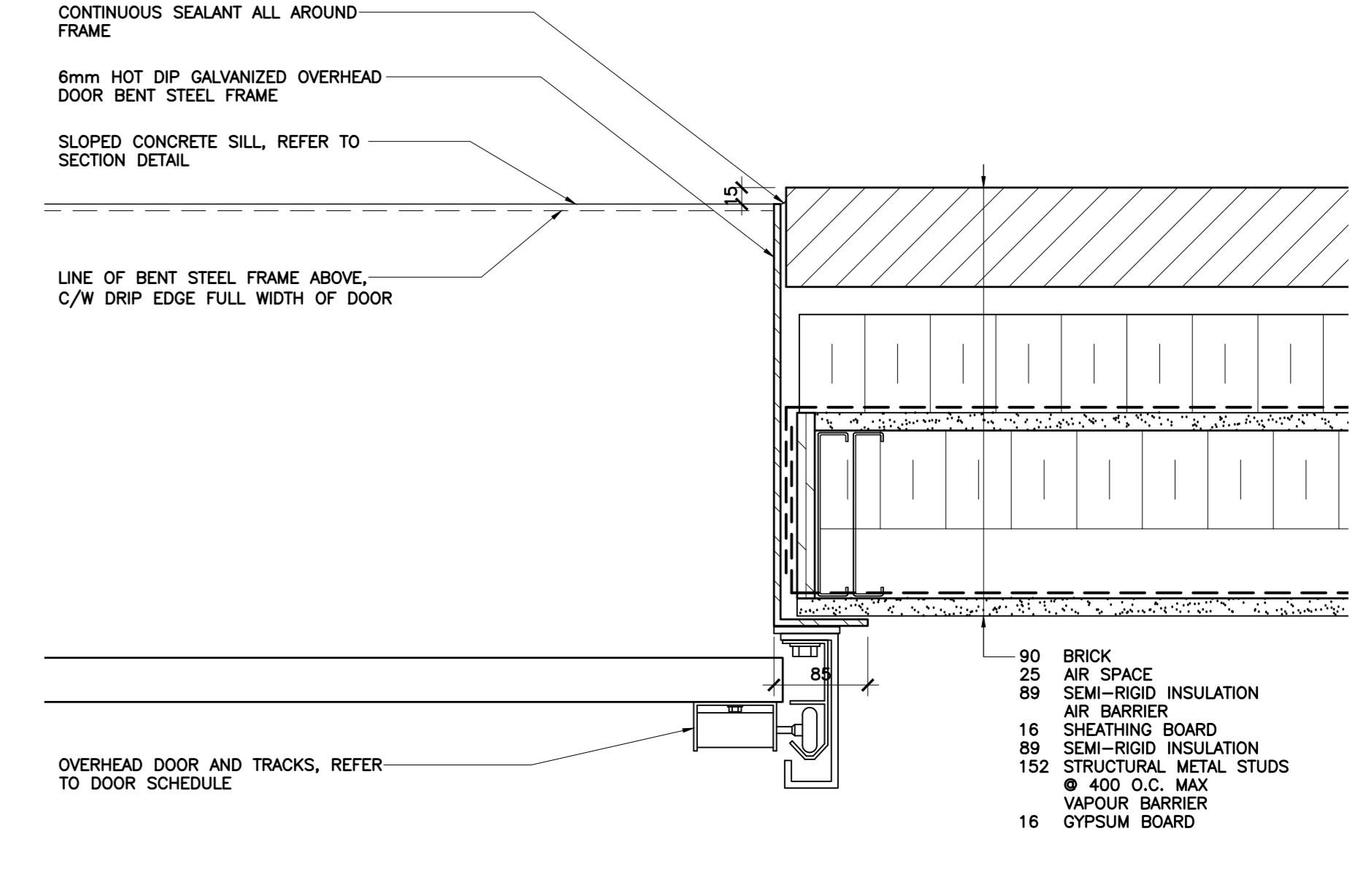
**1** CURTAIN WALL JAMB AT BRICK WALL  
A240 1:5



**2** CURTAIN WALL JAMB AT CEMENTITIOUS WALL  
A240 1:5



**3** EXTERIOR DOOR JAMB  
A240 1:5



**4** GARAGE DOOR JAMB  
A240 1:5

| NO. | DATE       | ISSUED FOR... |
|-----|------------|---------------|
| 1   | 2023/09/14 | ISSUED FOR... |

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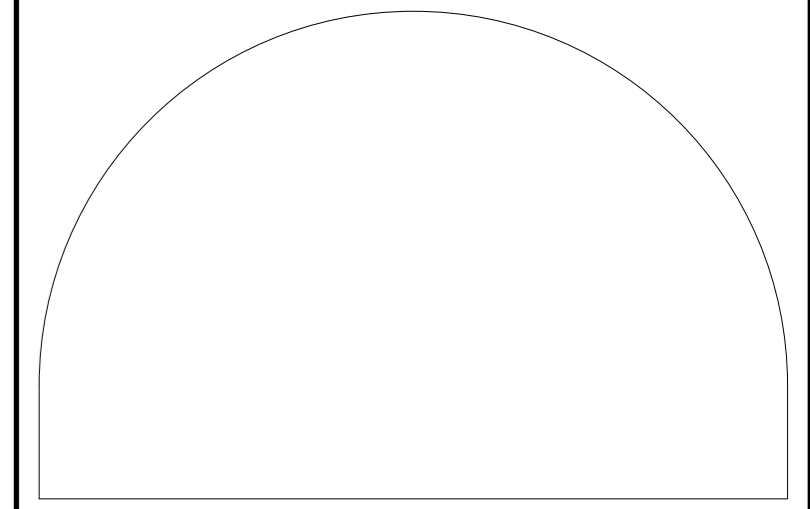
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111 Queen St. South, 10th. Ottawa, Ontario, K1P 5Y5  
Tel: (613) 238-5668 Fax: (613) 238-7133 E-mail: info@ejai.com

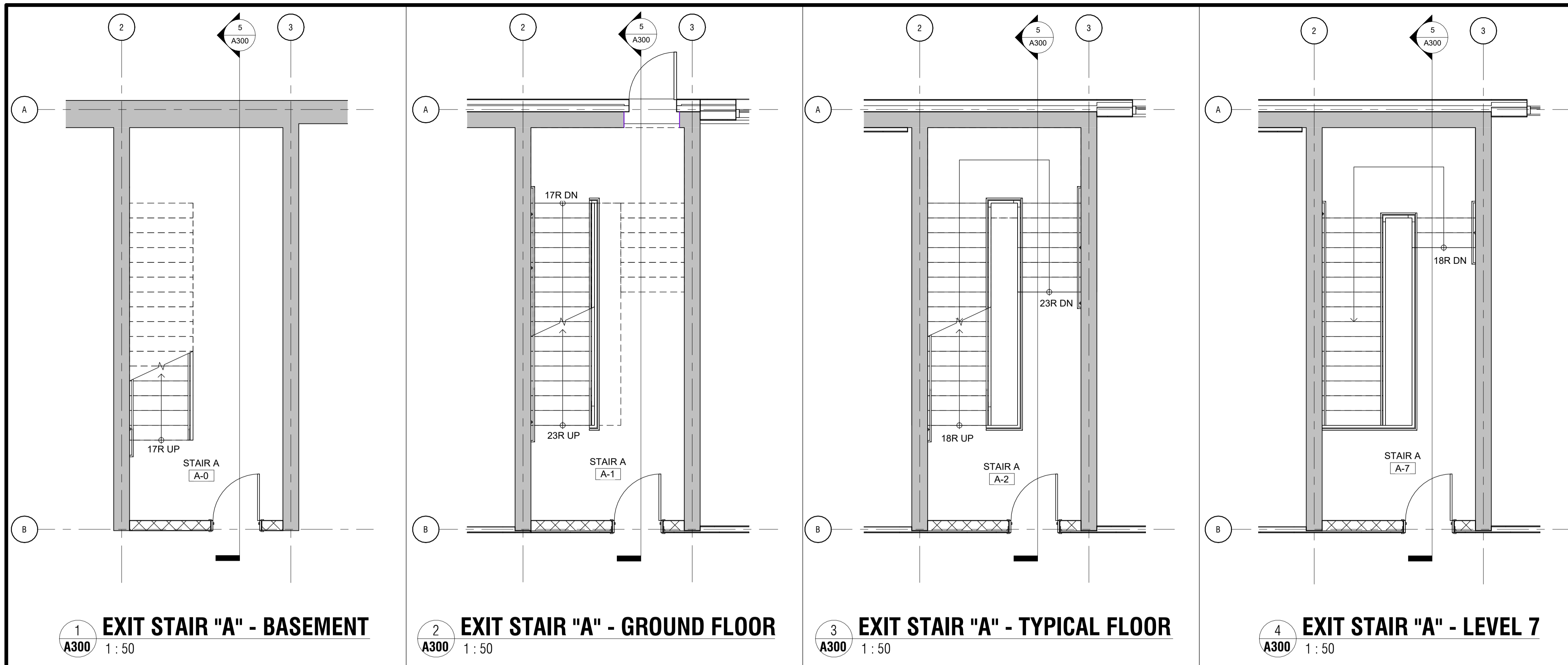
PROJECT TITLE/TITRE DU PROJET  
**ST PATRICK'S HOME  
NEW APARTMENT BUILDING**  
2865 RIVERSIDE DR. #226  
OTTAWA, ONTARIO

ST PATRICK'S HOME OF OTTAWA  
OTTAWA, ONTARIO  
2865 RIVERSIDE DR. #226

DRAWING TITLE/TITRE DU DESSIN  
**PLAN DETAILS**

| SCALE       | AS SHOWN | PROJ. NO.                         | ISSUE NO. | REV. NO. |
|-------------|----------|-----------------------------------|-----------|----------|
| ÉCHELLE     | AS SHOWN | 2235                              | ---       | ---      |
| DRAWN BY    | EA       | DRAWING/DESSIN                    |           |          |
| DESIGNED BY | EA       | DRAWING/DESSIN                    |           |          |
| CHECKED BY  | DB       | <b>A240</b>                       |           |          |
| DATE        | 2023     | ACAD FILE/FIÉCHIER: 2235-A240.DWG |           |          |

Printed: 2023-09-14 10:00:00 AM. Plot Date: 13/09/2023 10:00:00 AM. Plot Time: 10:00:00 AM. Plot By: GSE. Drawing: 2235-A240.DWG. Scale: 1:5. Plot Size: 11x17 in. Plot Resolution: 300 dots/inch.

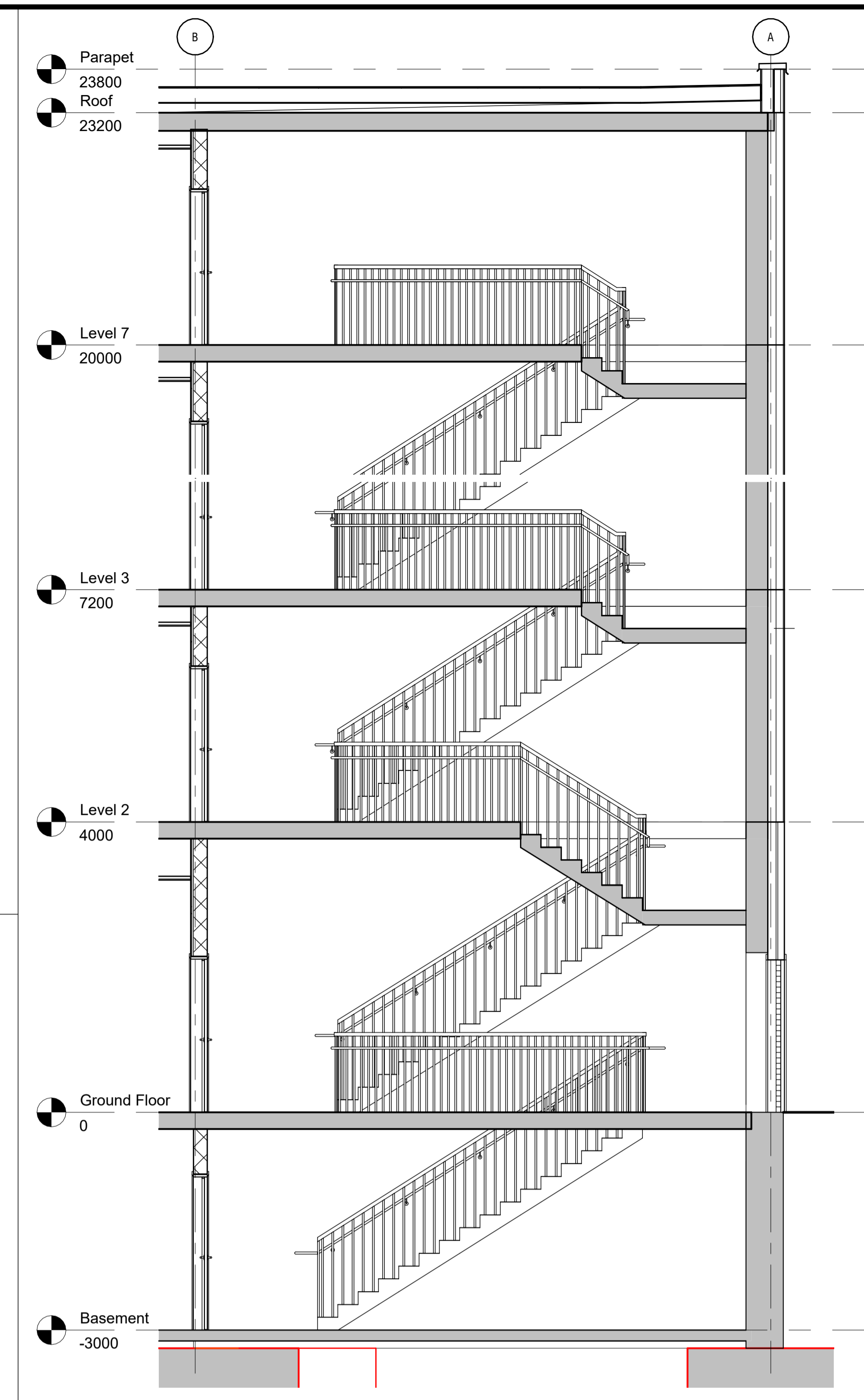


1 EXIT STAIR "A" - BASEMENT  
A300 1:50

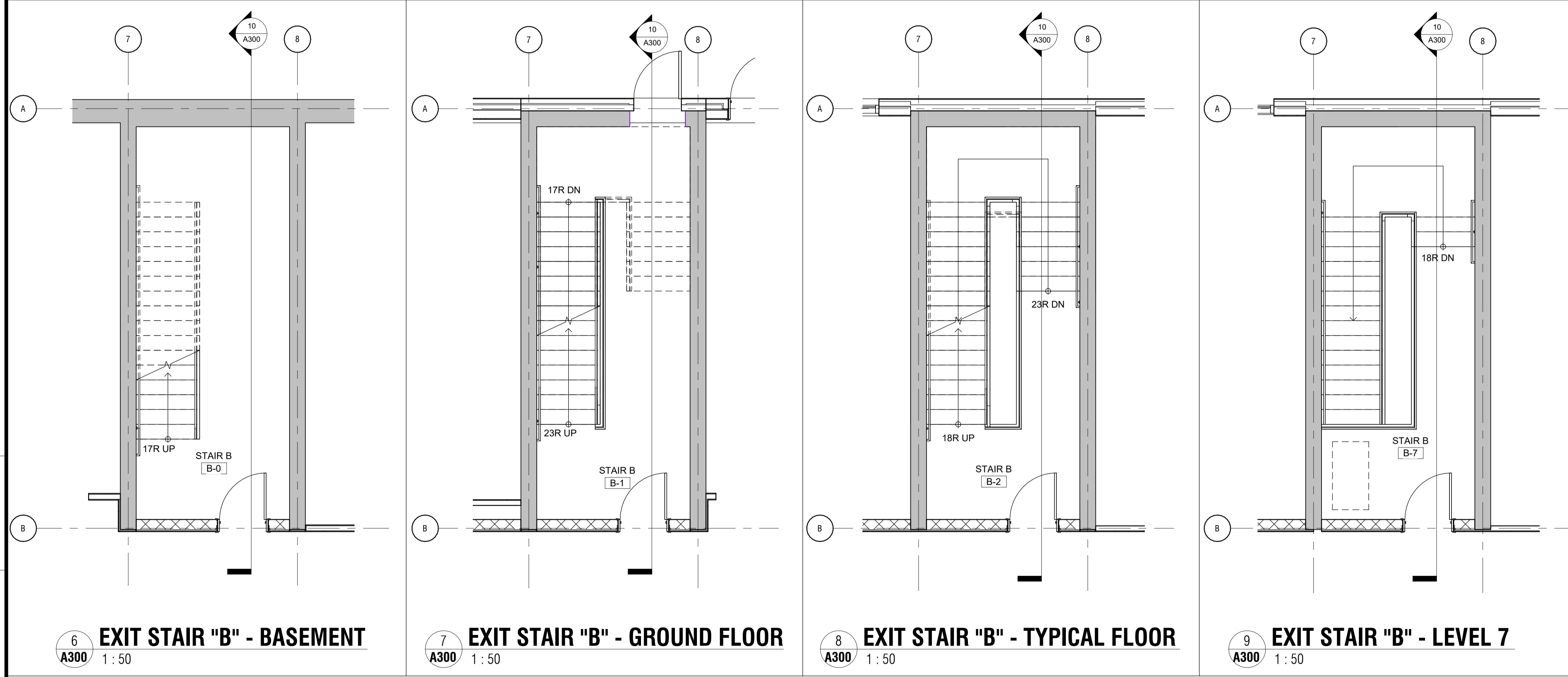
2 EXIT STAIR "A" - GROUND FLOOR  
A300 1:50

3 EXIT STAIR "A" - TYPICAL FLOOR  
A300 1:50

4 EXIT STAIR "A" - LEVEL 7  
A300 1:50



5 EXIT STAIR "A" SECTION  
A300 1:50

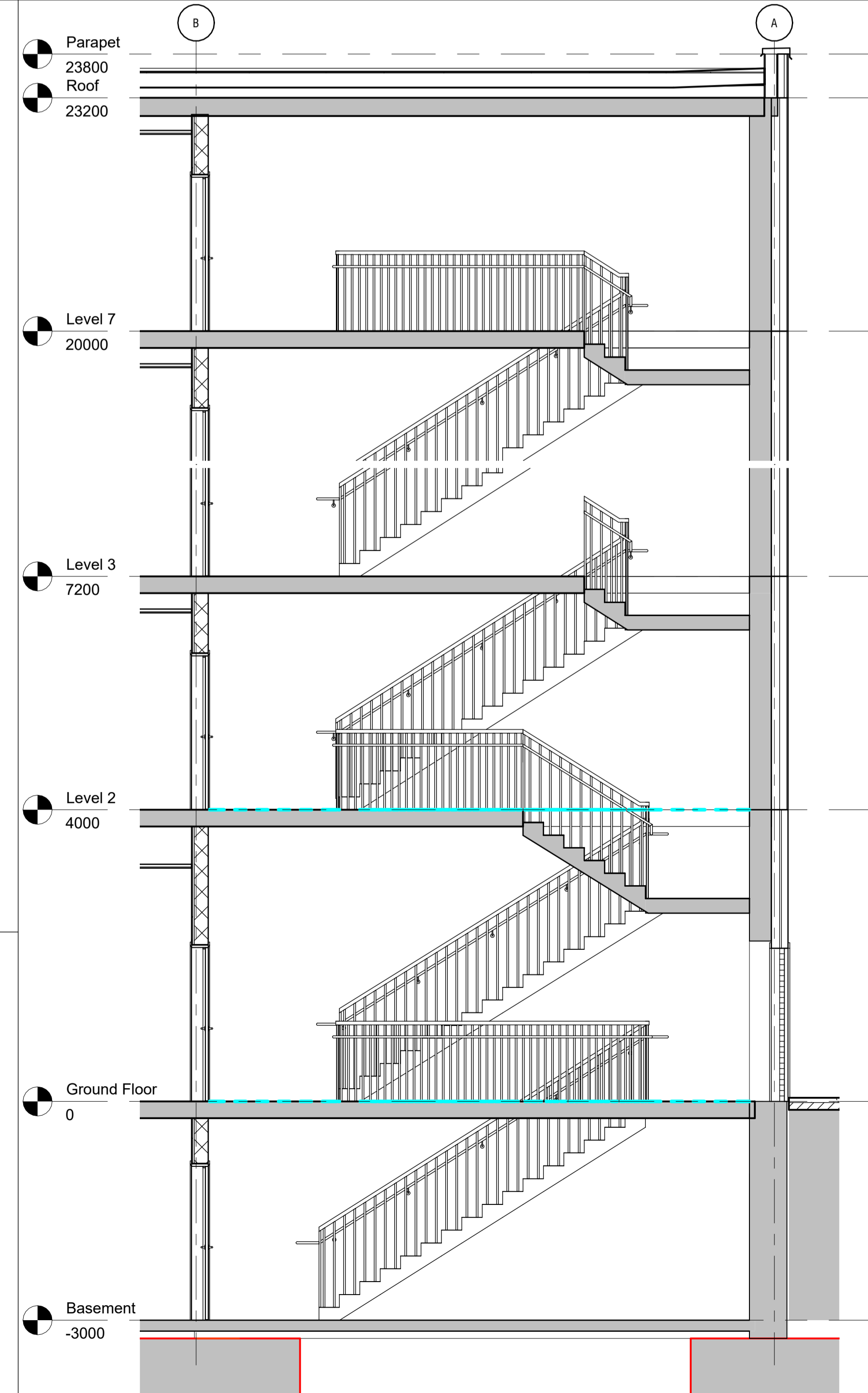


6 EXIT STAIR "B" - BASEMENT  
A300 1:50

7 EXIT STAIR "B" - GROUND FLOOR  
A300 1:50

8 EXIT STAIR "B" - TYPICAL FLOOR  
A300 1:50

9 EXIT STAIR "B" - LEVEL 7  
A300 1:50



10 EXIT STAIR "B" SECTION  
A300 1:50

|    |          |                                      |
|----|----------|--------------------------------------|
| 1  | 23/09/12 | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
| 2  | 04/11/20 | ISSUE                                |
| 3  | 11/04/20 | ISSUE                                |
| 4  | 11/04/20 | ISSUE                                |
| 5  | 11/04/20 | ISSUE                                |
| 6  | 11/04/20 | ISSUE                                |
| 7  | 11/04/20 | ISSUE                                |
| 8  | 11/04/20 | ISSUE                                |
| 9  | 11/04/20 | ISSUE                                |
| 10 | 11/04/20 | ISSUE                                |

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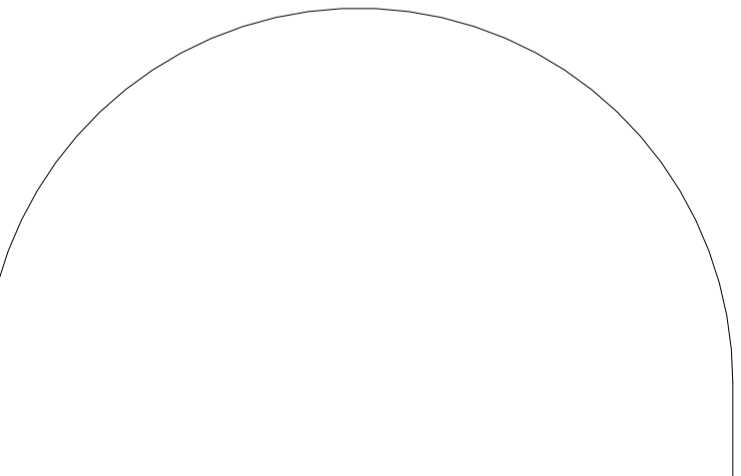
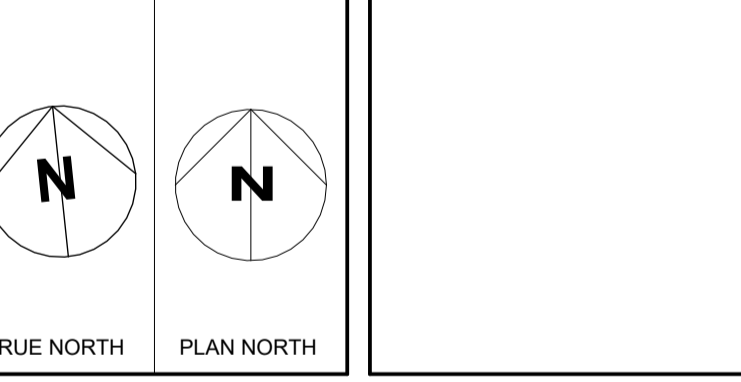
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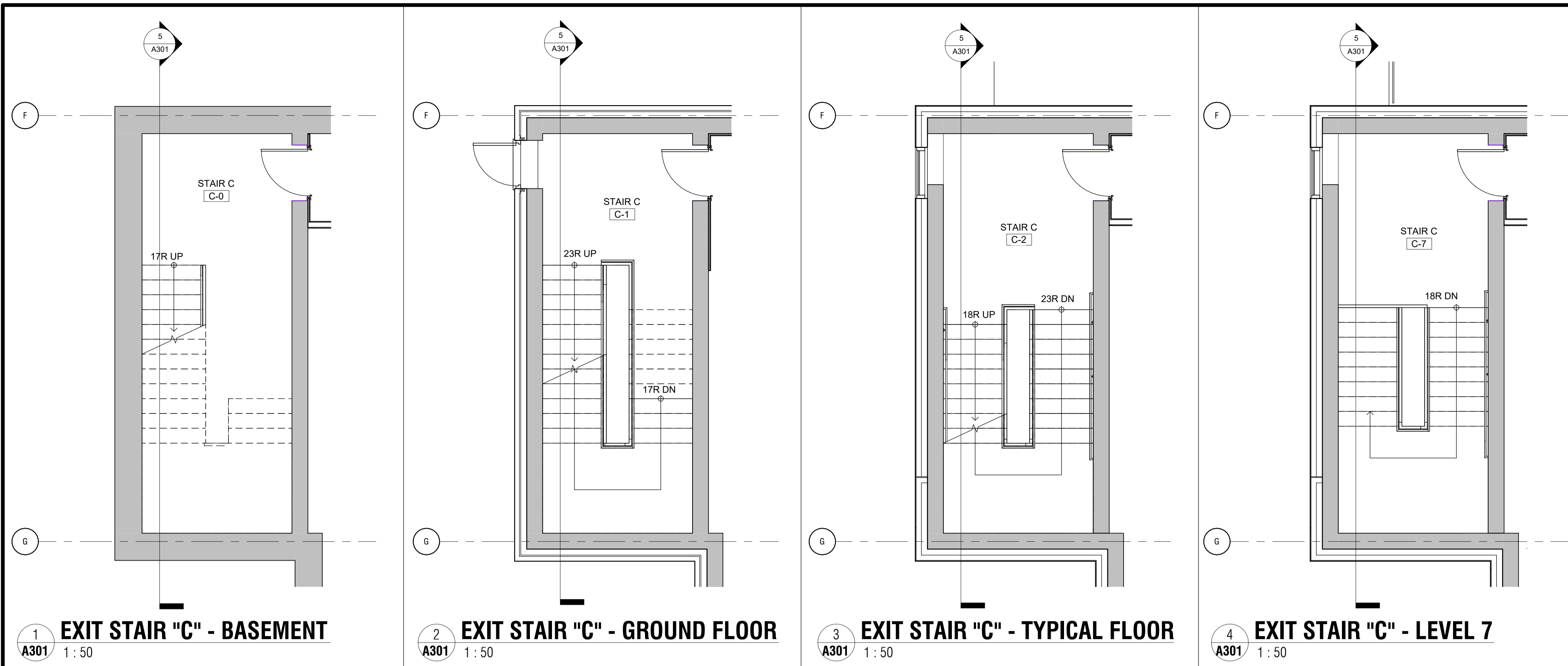
**EDWARD J. CUHACI & ASSOCIATES ARCHITECTS INC.**  
1175 Steeles St. Suite 1100, Ottawa, Ontario, K1P 5H7  
Fax: (613) 236-1944 Telephone: (613) 236-7155 E-mail: info@edjca.com

PROJECT TITRE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
St. Patrick's Home of Ottawa

DRAWING TITRE/TITRE DU DESSIN  
**STAIR PLANS AND SECTIONS**

|                           |      |                |      |           |  |
|---------------------------|------|----------------|------|-----------|--|
| SCALE<br>ÉCHELLE          | 1:50 | PROJ. No.      | 2205 | ISSUE No. |  |
| DRAWN BY<br>DESSINÉ PAR   | JC-G | DRAWING/DESSIN |      |           |  |
| CHECKED BY<br>VÉRIFIÉ PAR | DB   |                |      |           |  |
| DATE                      | 2023 |                |      |           |  |

**A300**

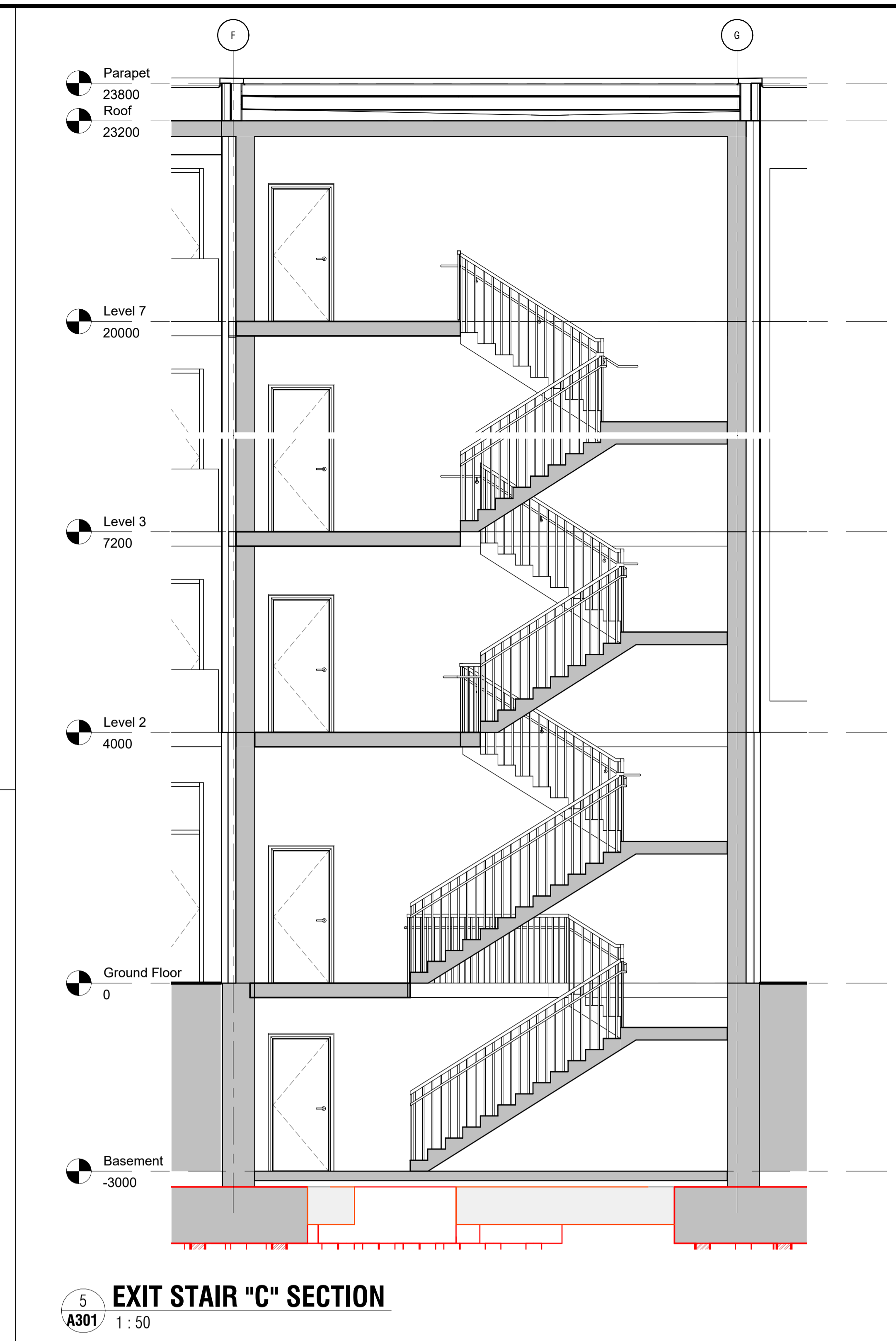


1 EXIT STAIR "C" - BASEMENT  
A301 1:50

2 EXIT STAIR "C" - GROUND FLOOR  
A301 1:50

3 EXIT STAIR "C" - TYPICAL FLOOR  
A301 1:50

4 EXIT STAIR "C" - LEVEL 7  
A301 1:50



5 EXIT STAIR "C" SECTION  
A301 1:50



| NO. | DATE     | ISSUE                                |
|-----|----------|--------------------------------------|
| 1   | 23/09/22 | ISSUED FOR DESIGN DEVELOPMENT REVIEW |
|     | YYMMDD   | ISSUE                                |

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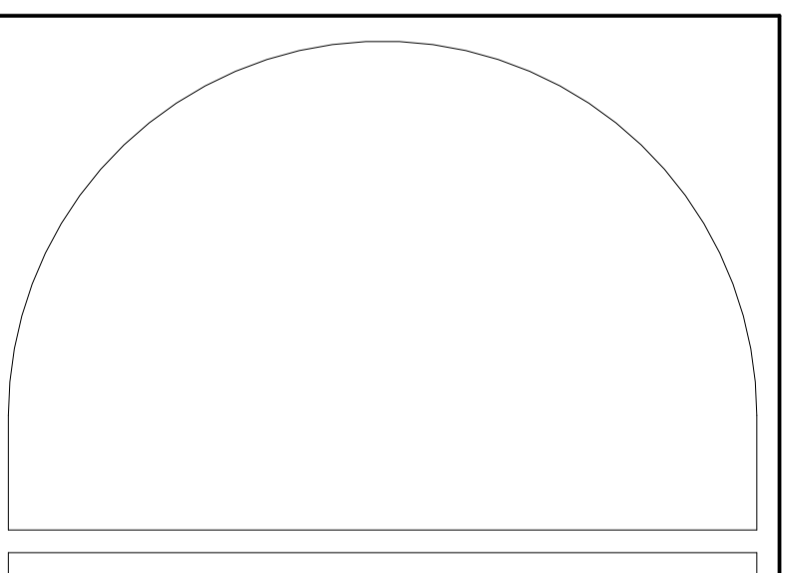
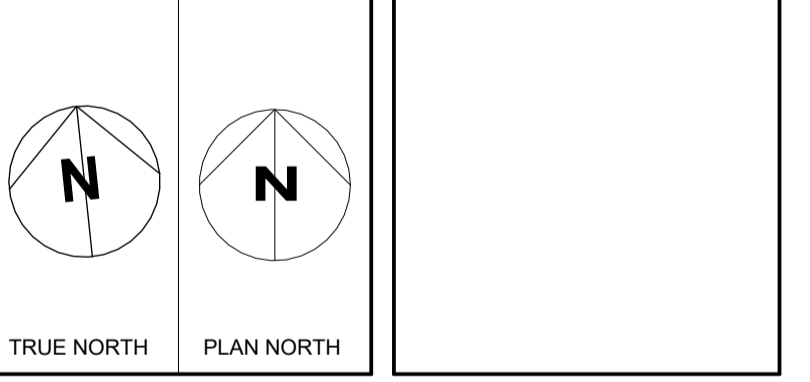
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St. Patrick's Home of Ottawa

DRAWING/TITRE DU DESSIN  
**STAIR PLANS AND SECTIONS**

|                        |      |                |      |           |  |
|------------------------|------|----------------|------|-----------|--|
| SCALE/ECHELLE          | 1:50 | PROJ. No.      | 2205 | ISSUE No. |  |
| DRAWN BY/DESSINÉ PAR   | JC-G | DRAWING/DESSIN |      |           |  |
| CHECKED BY/VÉRIFIÉ PAR | DB   |                |      |           |  |
| DATE                   | 2023 |                |      |           |  |

**A301**



**GENERAL NOTES**

- IN THE EVENT OF DISCREPANCIES FOR THE LOCATION OF MECHANICAL OR ELECTRICAL ITEMS TO BE INCORPORATED, THE ARCHITECTURAL DRAWINGS SHALL GOVERN.
- IN THE EVENT OF DISCREPANCIES IN THE QUANTITY AND TYPE OF MECHANICAL, ELECTRICAL ITEMS TO BE INCORPORATED, MECHANICAL AND ELECTRICAL DRAWINGS SHALL GOVERN. REFER ALSO TO MECHANICAL AND ELECTRICAL DOCUMENTS FOR OTHER ITEMS TO BE INCORPORATED BUT NOT SHOWN ON ARCHITECTURAL DRAWINGS.
- REFLECTED CEILING PLANS ARE TO BE READ IN CONJUNCTION WITH DETAILS AND INFORMATION SHOWN ELSEWHERE ON DRAWINGS. IN THE EVENT OF DISCREPANCIES THE MORE STRINGENT REQUIREMENT SHALL GOVERN (FOR EXAMPLE: DRYWALL BULKHEADS SHOWN ON REFLECTED CEILING PLANS MAY NOT APPEAR ON BUILDING SECTIONS BUT ARE REQUIRED TO BE INCORPORATED).
- UNLESS SHOWN OTHERWISE ON DRAWINGS, GYPSUM BOARD BULKHEADS SHALL EXTEND VERTICALLY A MINIMUM OF 15mm ABOVE THE ADJACENT CEILING. ALL BULKHEADS SHALL PROJECT A MINIMUM OF 50mm BELOW THE LOWEST ADJACENT ACOUSTIC TILE CEILING UNLESS NOTED OTHERWISE.
- SEE FLOOR PLANS AND DWG A010 FOR ADDITIONAL TYPICAL NOTES. REFER ALSO TO DOOR SCHEDULE FOR FRAME INSTALLATION DETAILS AND WALL CONSTRUCTION ABOVE OPENINGS.
- GYPSUM BOARD BULKHEAD SHALL EXTEND VERTICALLY TO UNDERSIDE OF ROOF OR FLOOR DECK AT LOCATIONS WHERE NO ADJACENT CEILING IS PROVIDED.
- PROVIDE UNDERSIDE MASONRY LINTEL WHERE 90 BLOCK VENEER PASSES OVER DOORS, WINDOWS OR OPENINGS.

**LEGEND**

- STRIP LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- RECESSED DOWN LIGHT, REFER TO ELECTRICAL DRAWINGS
- LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- WALL MOUNTED LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- MECHANICAL DIFFUSERS - REFER TO MECHANICAL DRAWINGS
- MECHANICAL GRILLE - REFER TO MECHANICAL DRAWINGS
- RADIANT HEAT PANEL, REFER TO MECHANICAL DRAWINGS
- TYPE 'X' GYPSUM BOARD BULKHEAD ENCLOSURE FOR STEEL STRUCTURE ABOVE CEILING FINISH, REFER TO DRAWING A022 TYPICAL DETAILS AND STRUCTURAL DRAWING, COORDINATE LOCATIONS AND TYPE BETWEEN STRUCTURAL AND ARCHITECTURAL DOCUMENTS.
- DENOTES CEILING TYPE (SEE SCHEDULE FOR LETTER DESIGNATION)
- DENOTES ELEVATION ABOVE FLOOR BELOW
- DENOTES NEW EXPOSED ROOF OR FLOOR STRUCTURE ABOVE
- DENOTES CEILING TYPE (SEE SCHEDULE FOR LETTER DESIGNATION)
- DENOTES ELEVATION TO BE AS HIGH AS POSSIBLE
- \*\* REFER TO SECTIONS FOR FINISHED CEILING HEIGHT

**CEILING TYPE SCHEDULE**

| TYPE | INDICATION | DESCRIPTION   |
|------|------------|---|
| A    |            | PAINTED SUSPENDED 16mm GYPSUM BOARD CEILING OR BULKHEAD       |
| B    |            | SUSPENDED MOISTURE RESISTANT GYPSUM BOARD CEILING OR BULKHEAD |
| C    |            | 2x2' (610mm x 610mm) ACOUSTICAL CEILING TILE, TYPE 1          |
| D    |            | PAINTED EXPOSED CONCRETE                                      |
| E    |            | CEMENTITIOUS LIGHT SOLID PANEL SOFFIT ON CANOPY               |

LES IDÉES, DESSINS, ARRANGEMENTS ET PLANS INDICÉS OU REPRÉSENTÉS PAR CE DESSIN APPARTIENNENT À EDWARD J. CUHACI AND ASSOCIATES INC. ET ONT ÉTÉ CRÉÉS ET DÉVELOPPÉS POUR ÊTRE UTILISÉS DANS LE CADRE DU PROJET INDICÉ. ILS NE DOIVENT PAS ÊTRE UTILISÉS OU COMMUNIQUÉS À QUI QUE CE SOIT ET À QUELQUE FIN QUE CE SOIT SANS LA PERMISSION ÉCRITE DE EDWARD J. CUHACI AND ASSOCIATES INC.

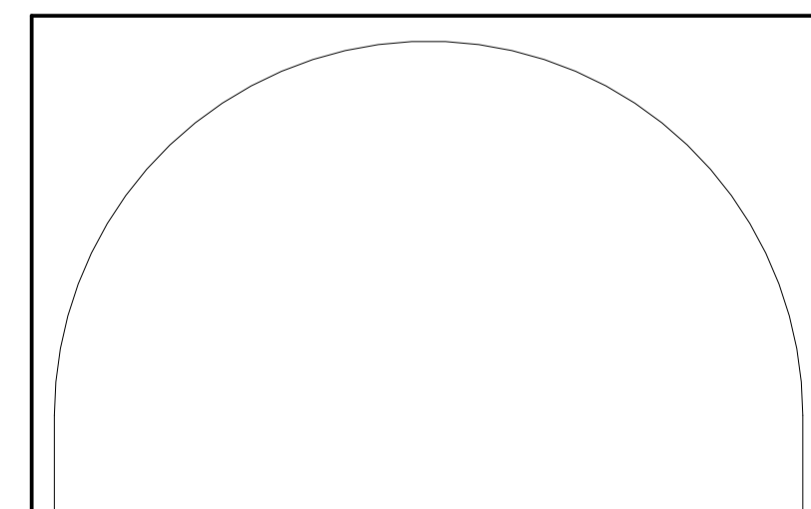
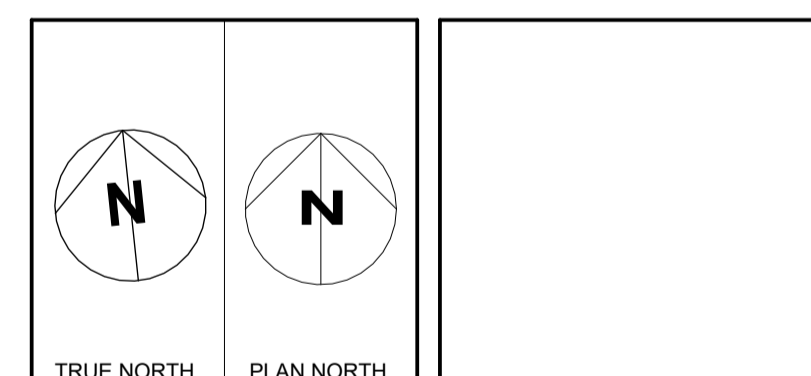
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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

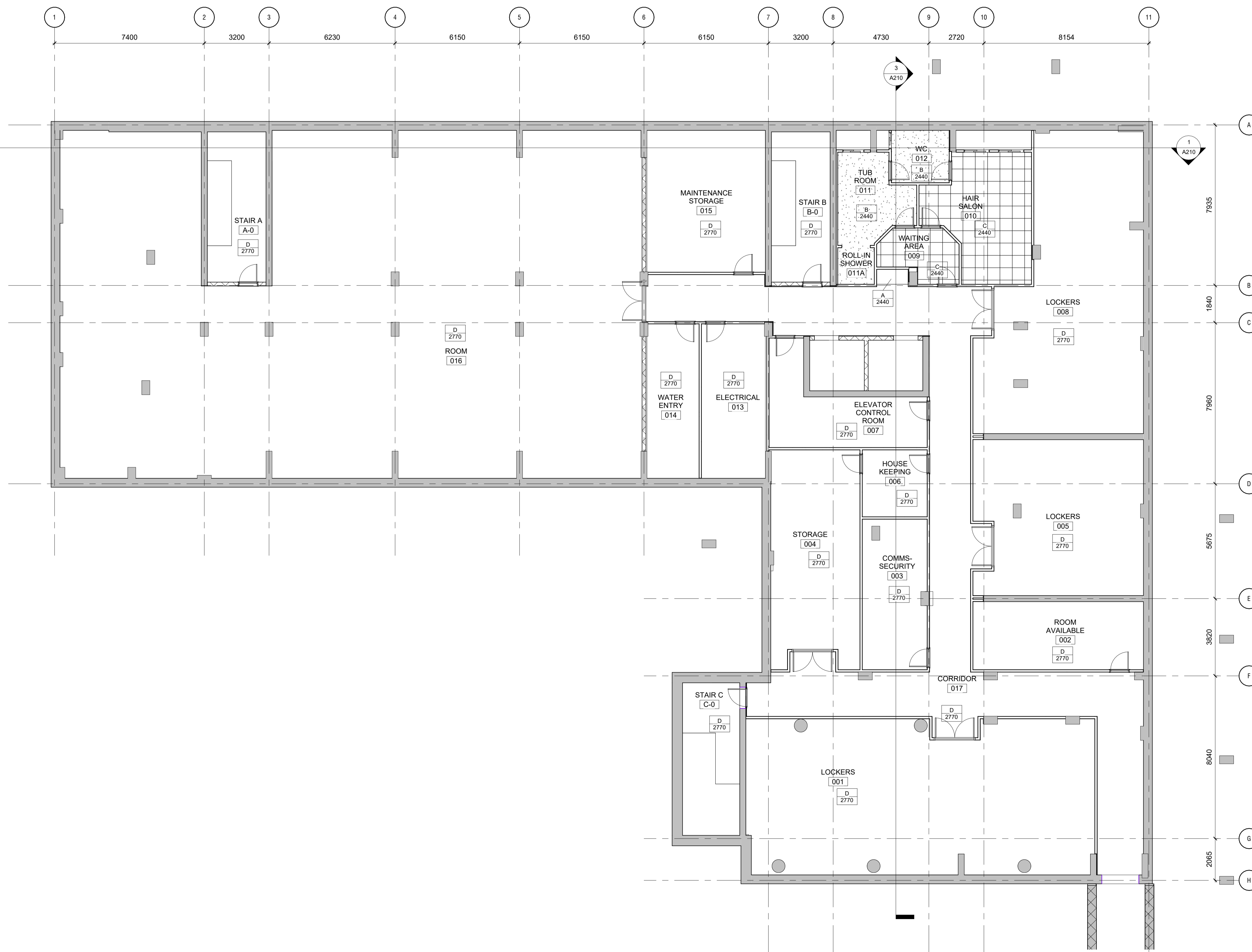


**EDWARD J. CUHACI & ASSOCIATES ARCHITECTS INC.**  
 1775 St. Lawrence St., Suite 1100, Ottawa, Ontario, K1P 5H7  
 Fax: (613) 236-1944 Telephone: (613) 236-7155 E-mail: info@edjca.com

PROJECT TITRE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING TITRE/TITRE DU DESSIN  
**BASEMENT REFLECTED CEILING PLAN**

SCALE / ÉCHELLE: 1 : 100  
 PROJ. No.: 2205  
 DRAWING/DESSIN: **A400**  
 DRAWN BY / DÉSSINÉ PAR: JC-G  
 CHECKED BY / VÉRIFIÉ PAR: DB  
 DATE: 2023



**1 BASEMENT REFLECTED CEILING PLAN**  
 A400 1 : 100

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- UNLESS SHOWN OTHERWISE ON DRAWINGS, GYPSUM BOARD BULKHEADS SHALL EXTEND VERTICALLY A MINIMUM OF 150mm ABOVE THE ADJACENT CEILING. ALL BULKHEADS SHALL PROJECT A MINIMUM OF 50mm BELOW THE LOWEST ADJACENT ACOUSTIC TILE CEILING UNLESS NOTED OTHERWISE.
- SEE FLOOR PLANS AND DWG A401 FOR ADDITIONAL TYPICAL NOTES. REFER ALSO TO DOOR SCHEDULE FOR FRAME INSTALLATION DETAILS AND WALL CONSTRUCTION ABOVE OPENINGS.
- GYPSUM BOARD BULKHEAD SHALL EXTEND VERTICALLY TO UNDERSIDE OF ROOF OR FLOOR DECK AT LOCATIONS WHERE NO ADJACENT CEILING IS PROVIDED.
- PROVIDE UNDERSIDE MASONRY LINTEL WHERE 90 BLOCK VENEER PASSES OVER DOORS, WINDOWS OR OPENINGS.

**LEGEND**

- STRIP LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- RECESSED DOWN LIGHT, REFER TO ELECTRICAL DRAWINGS
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- RADIANT HEAT PANEL, REFER TO MECHANICAL DRAWINGS
- TYPE 'X' GYPSUM BOARD BULKHEAD ENCLOSURE FOR STEEL STRUCTURE ABOVE CEILING FINISH, REFER TO DRAWING A022 TYPICAL DETAILS AND STRUCTURAL DRAWING. COORDINATE LOCATIONS AND TYPE BETWEEN STRUCTURAL AND ARCHITECTURAL DOCUMENTS.
- Y DENOTES CEILING TYPE (SEE SCHEDULE FOR LETTER DESIGNATION)
- 2750 DENOTES ELEVATION ABOVE FLOOR BELOW
- EXP DENOTES NEW EXPOSED ROOF OR FLOOR STRUCTURE ABOVE
- Y DENOTES CEILING TYPE (SEE SCHEDULE FOR LETTER DESIGNATION)
- 2750 DENOTES ELEVATION TO BE AS HIGH AS POSSIBLE
- X \*\* REFER TO SECTIONS FOR FINISHED CEILING HEIGHT

**CEILING TYPE SCHEDULE**

| TYPE | INDICATION | DESCRIPTION   |
|------|------------|---|
| A    |            | PAINTED SUSPENDED 16mm GYPSUM BOARD CEILING OR BULKHEAD       |
| B    |            | SUSPENDED MOISTURE RESISTANT GYPSUM BOARD CEILING OR BULKHEAD |
| C    |            | 2x2 (610mm x 610mm) ACOUSTICAL CEILING TILE, TYPE 1           |
| D    |            | PAINTED EXPOSED CONCRETE                                      |
| E    |            | CEMENTITIOUS LIGHT SOLID PANEL SOFFIT ON CANOPY               |

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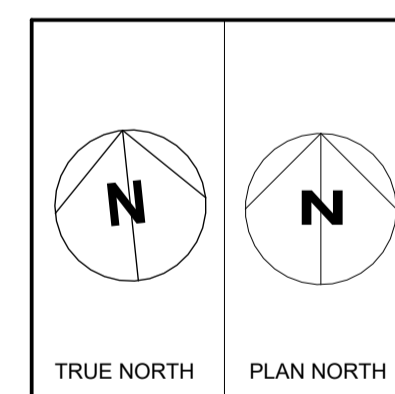
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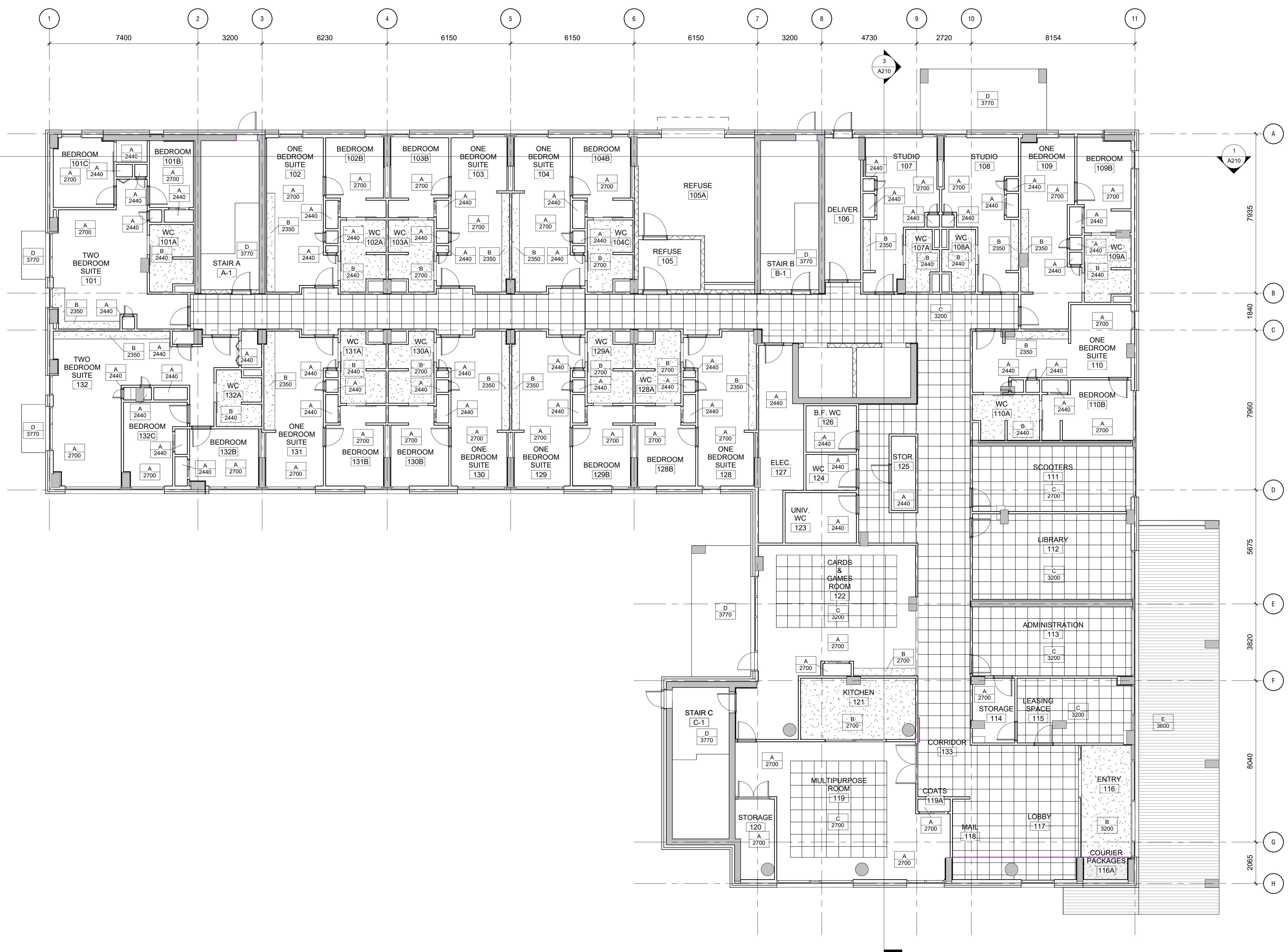


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PROJECT / TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING / TITRE DU DESSIN  
**GROUND FLOOR REFLECTED CEILING PLAN**

|                          |         |                |      |           |             |
|--------------------------|---------|----------------|------|-----------|-------------|
| SCALE / ÉCHELLE          | 1 : 100 | PROJ. No.      | 2235 | ISSUE No. |             |
| DRAWN BY / DESSINÉ PAR   | JC-G    | DRAWING/DESSIN |      |           |             |
| CHECKED BY / VÉRIFIÉ PAR | DB      |                |      |           | <b>A401</b> |
| DATE                     | 2023    |                |      |           |             |



**A401** GROUND FLOOR REFLECTED CEILING PLAN  
 1 : 100

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- SEE FLOOR PLANS AND DWG A510 FOR ADDITIONAL TYPICAL NOTES. REFER ALSO TO DOOR SCHEDULE FOR FRAME INSTALLATION DETAILS AND WALL CONSTRUCTION ABOVE OPENINGS.
- GYPSUM BOARD BULKHEAD SHALL EXTEND VERTICALLY TO UNDERSIDE OF ROOF OR FLOOR DECK AT LOCATIONS WHERE NO ADJACENT CEILING IS PROVIDED. PROVIDE UNDERSIDE MASONRY LINTEL WHERE 90 BLOCK VENEER PASSES OVER DOORS, WINDOWS OR OPENINGS.

**LEGEND**

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- X** \*\* REFER TO SECTIONS FOR FINISHED CEILING HEIGHT

**CEILING TYPE SCHEDULE**

| TYPE | INDICATION | DESCRIPTION   |
|------|------------|---|
| A    |            | PAINTED SUSPENDED 16mm GYPSUM BOARD CEILING OR BULKHEAD       |
| B    |            | SUSPENDED MOISTURE RESISTANT GYPSUM BOARD CEILING OR BULKHEAD |
| C    |            | 2x2' (610mm x 610mm) ACOUSTICAL CEILING TILE, TYPE 1          |
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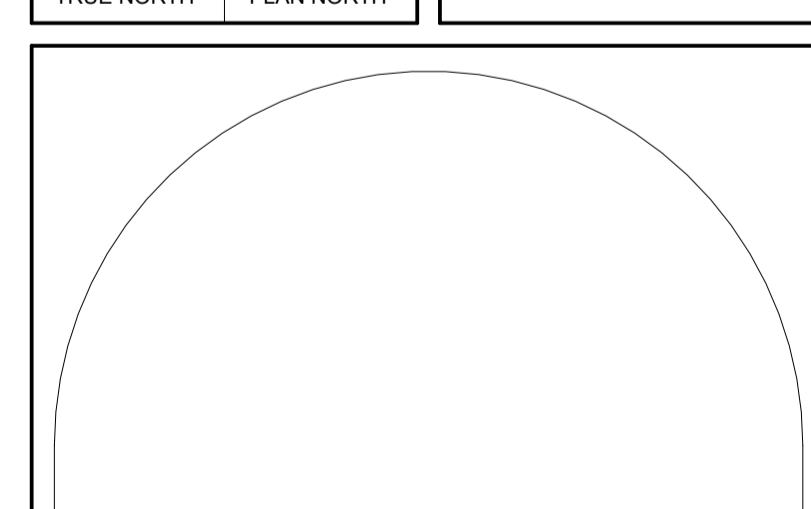
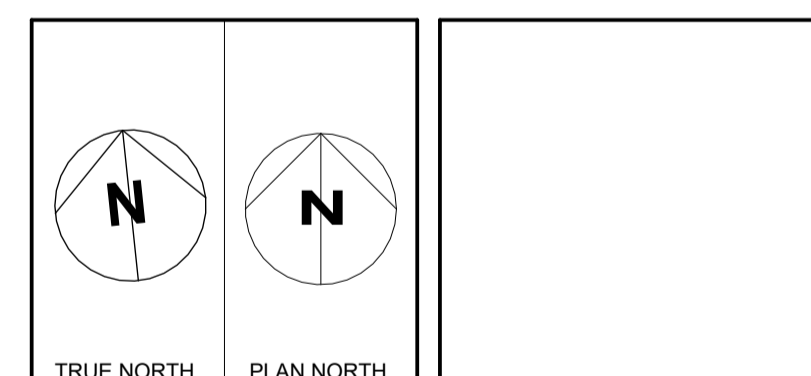
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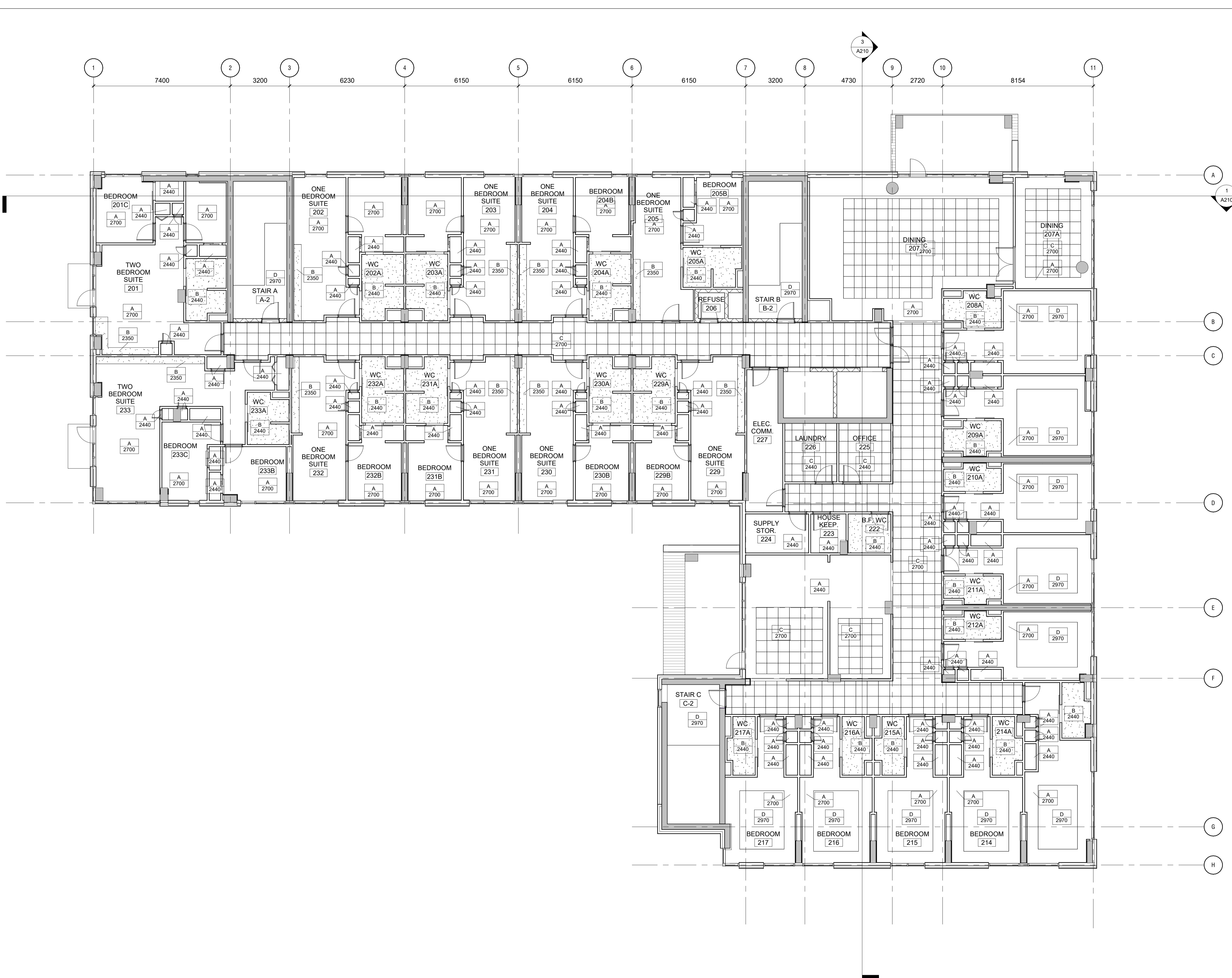


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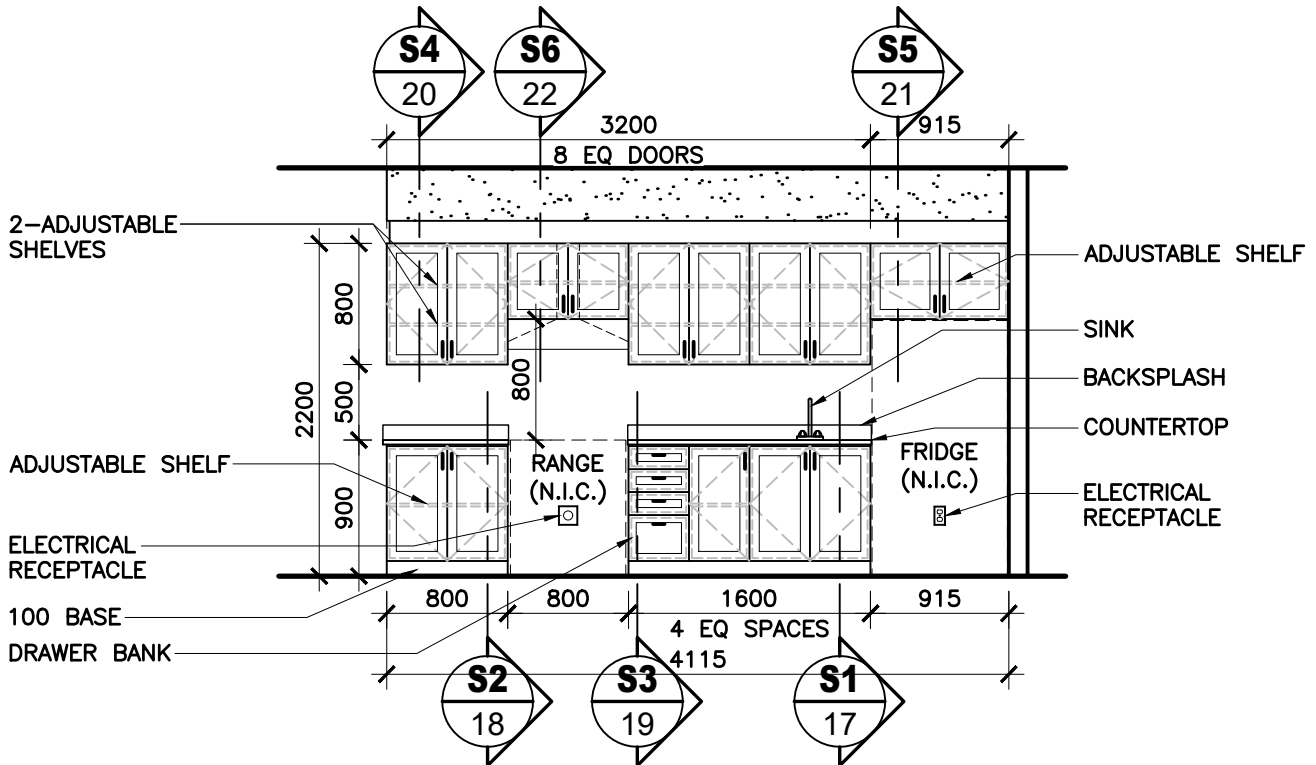
PROJECT TITLE/TITRE DU PROJET  
**NEW APARTMENT BUILDING**  
 2865 Riverside Dr. #226, Ottawa, ON K1V 8N5  
 St. Patrick's Home of Ottawa

DRAWING TITLE/TITRE DU DESSIN  
**TYPICAL FLOOR REFLECTED CEILING PLAN**

SCALE / ÉCHELLE: 1:100  
 PROJ. No.: 2235  
 DRAWING/DESSIN: A402  
 DRAWN BY / DESSINÉ PAR: JC-G  
 CHECKED BY / VÉRIFIÉ PAR: DB  
 DATE: 2023



**1 TYPICAL FLOOR REFLECTED CEILING PLAN**  
 A402 1:100

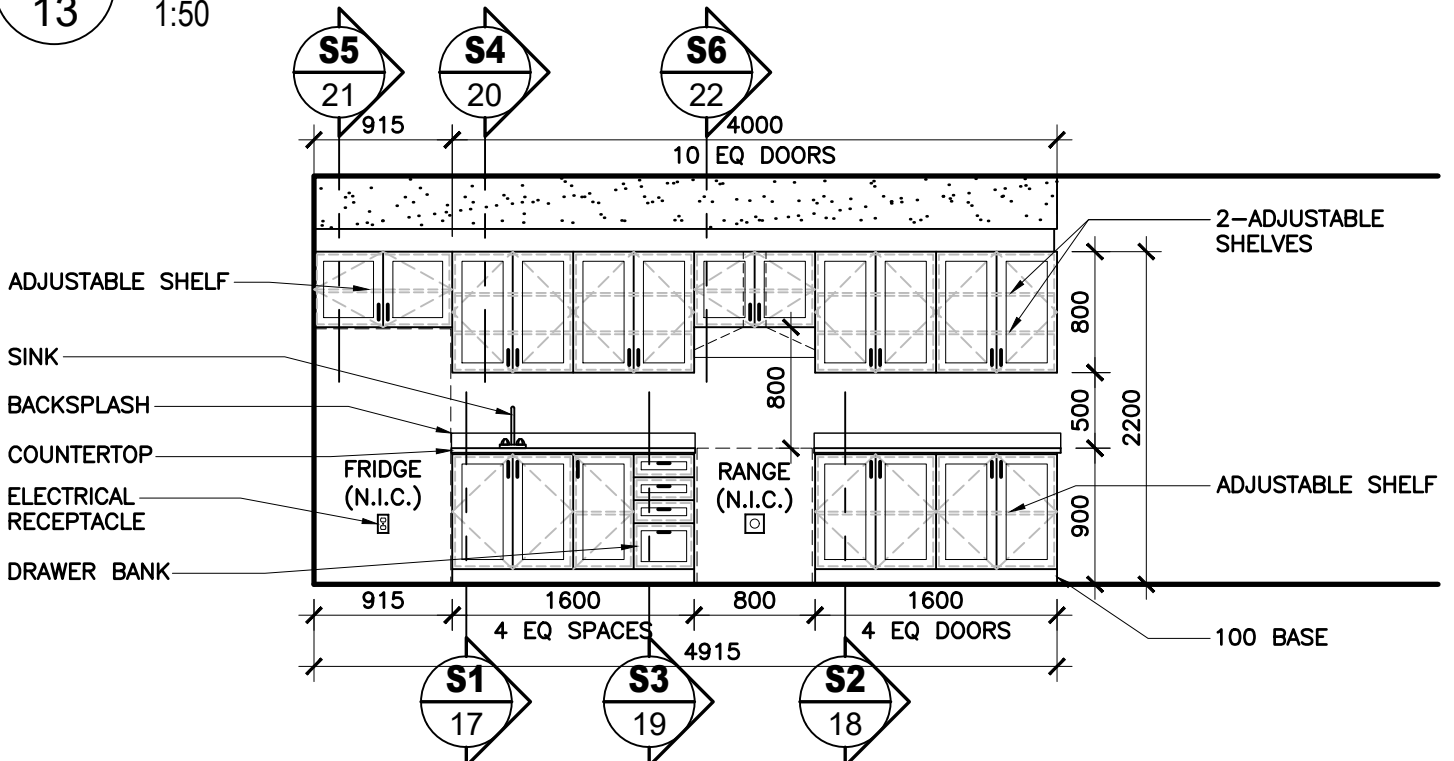


ROOMS 101, 109, 201, 202, 203, 204, 225, 226, 227, 228

**E1**  
**KITCHENETTE MILLWORK**

13

1:50

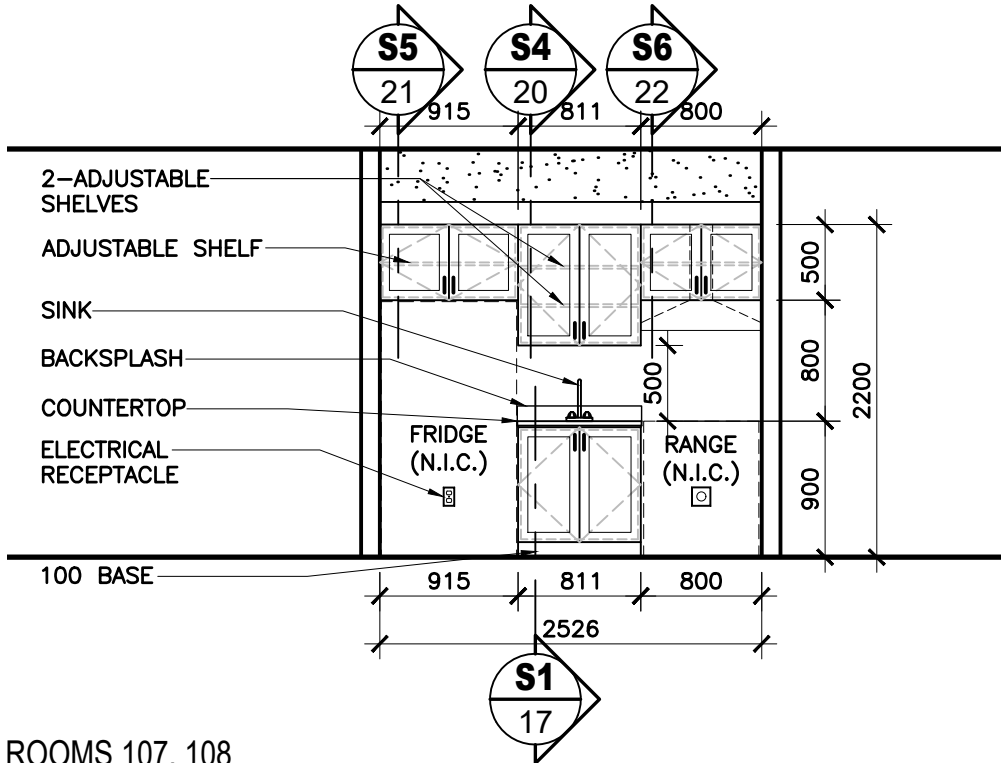


ROOMS 102, 103, 104, 123, 124, 125, 126

**E2**  
**KITCHENETTE MILLWORK**

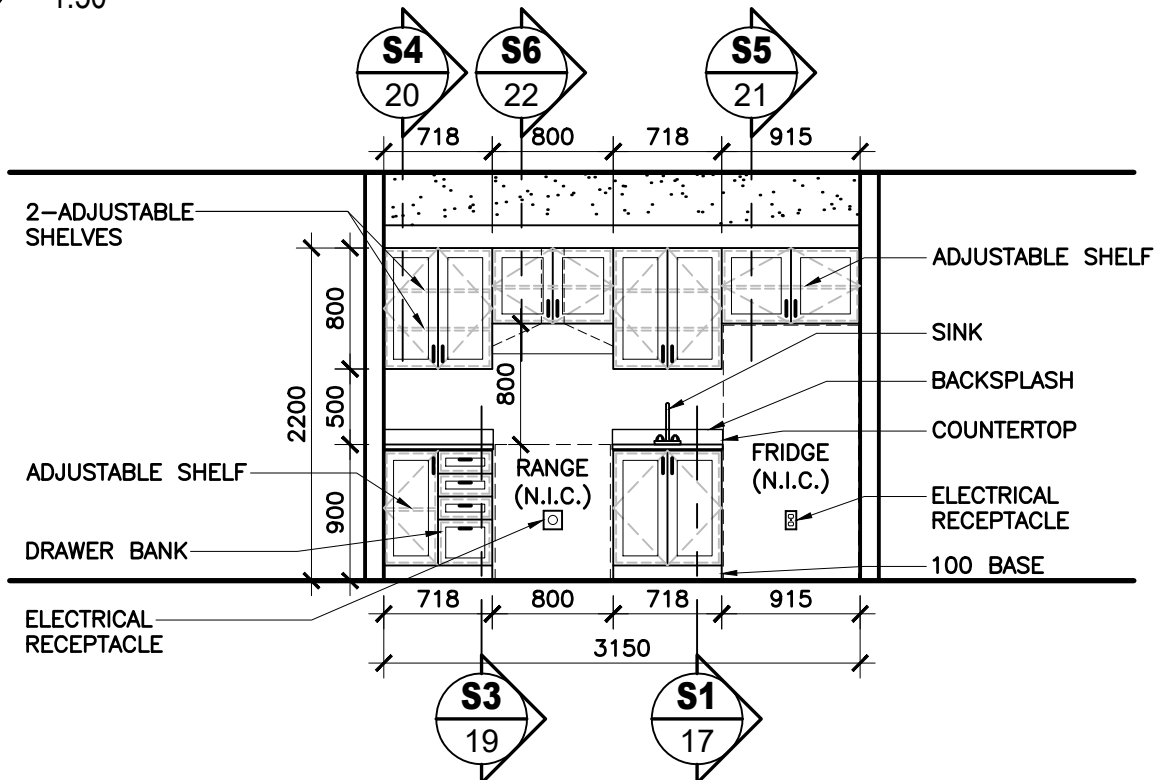
13

1:50



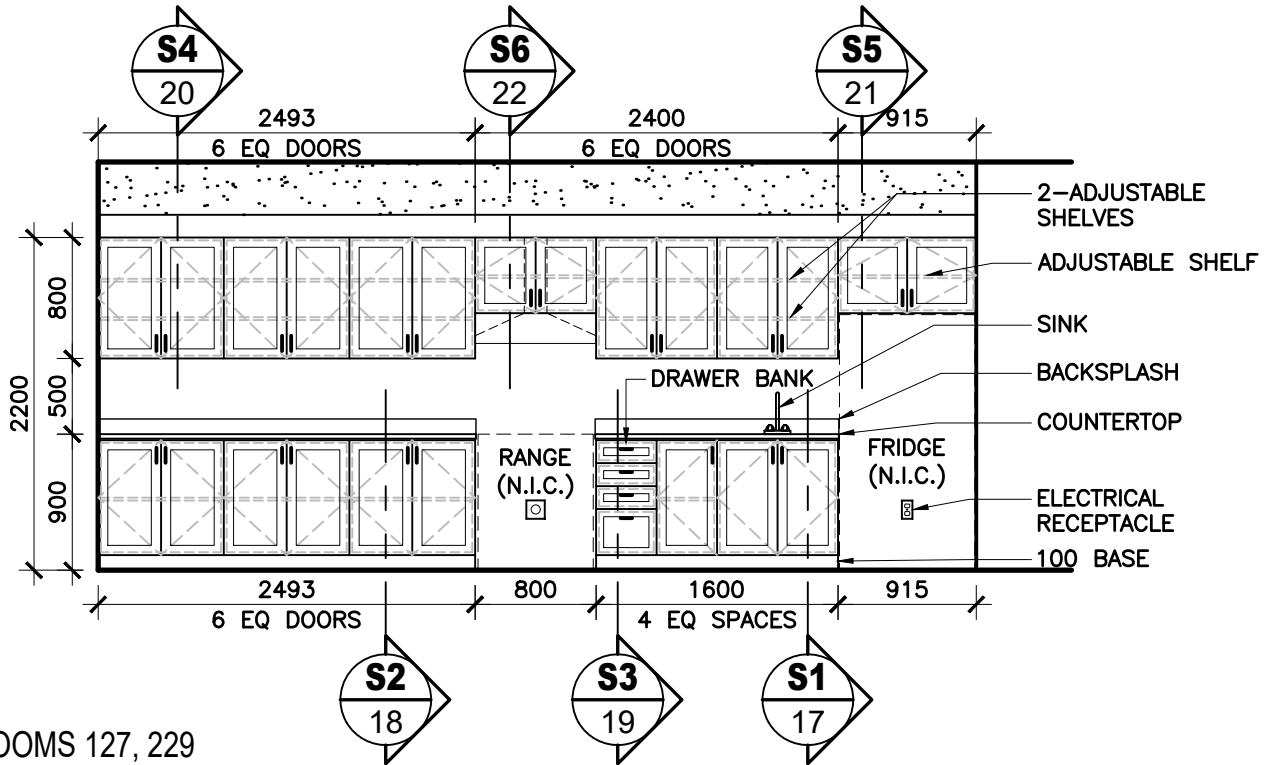
ROOMS 107, 108

**E3**  
 14  
 1:50  
**KITCHENETTE MILLWORK**



ROOM 110

**E4**  
 14  
 1:50  
**KITCHENETTE MILLWORK**

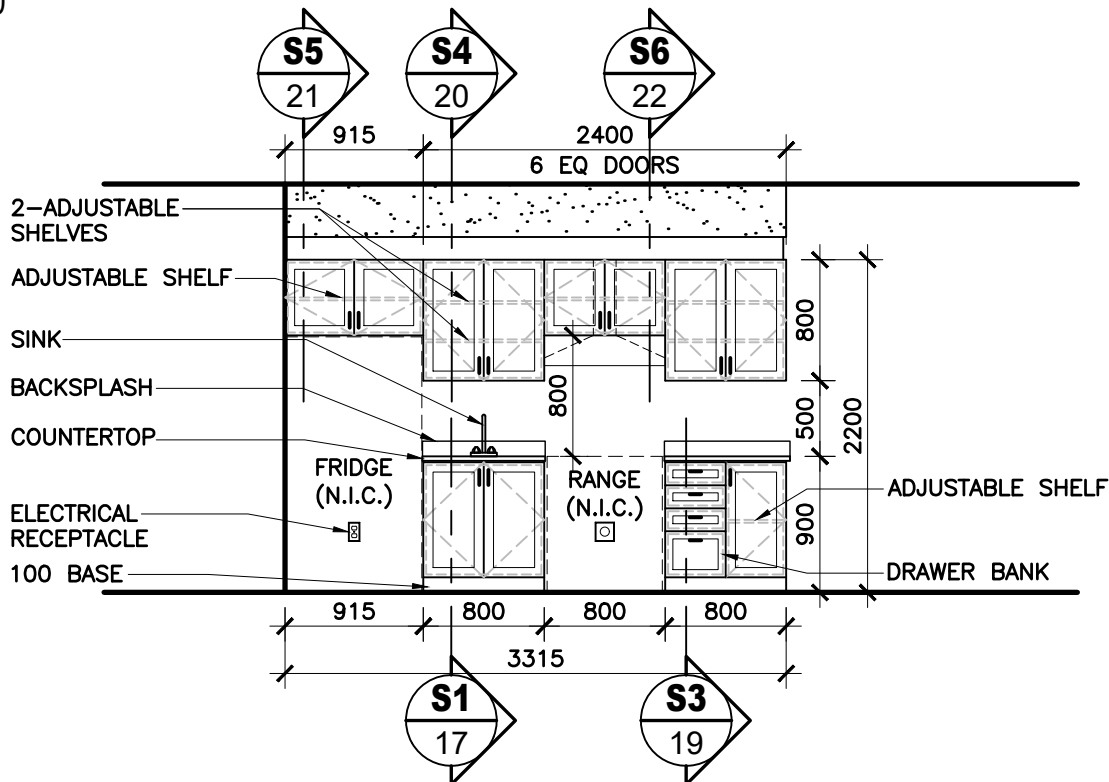


ROOMS 127, 229

# KITCHENETTE MILLWORK

**E5**  
15

1:50

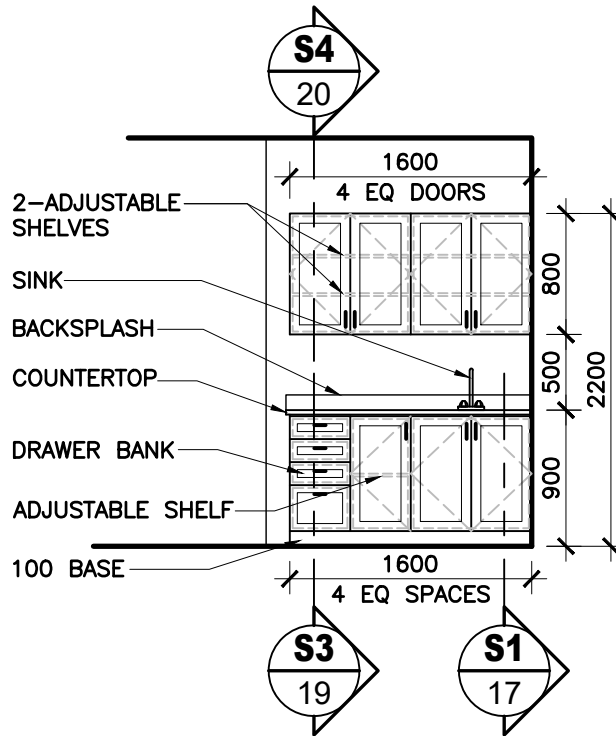


ROOM 205

# KITCHENETTE MILLWORK

**E6**  
15

1:50

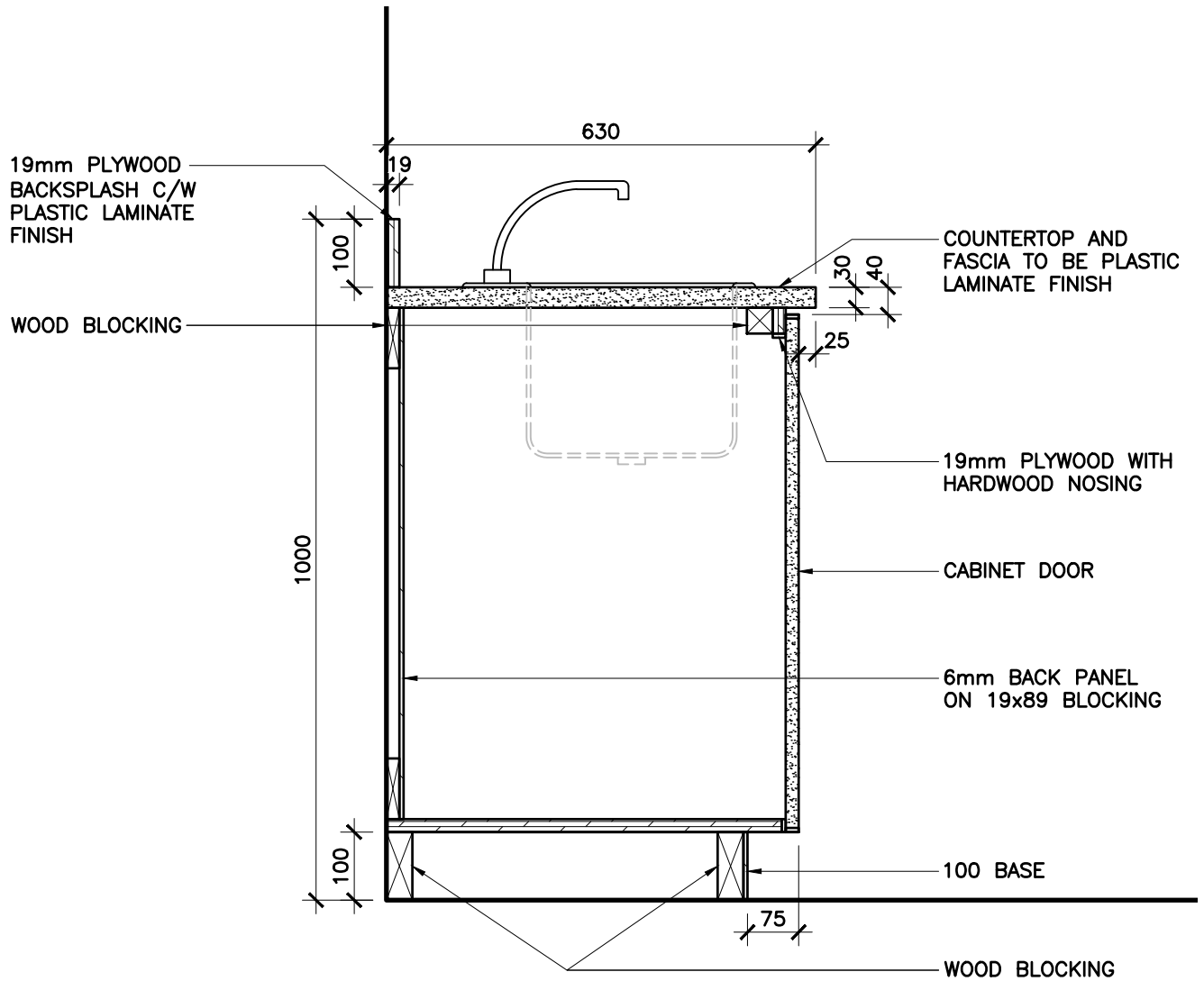


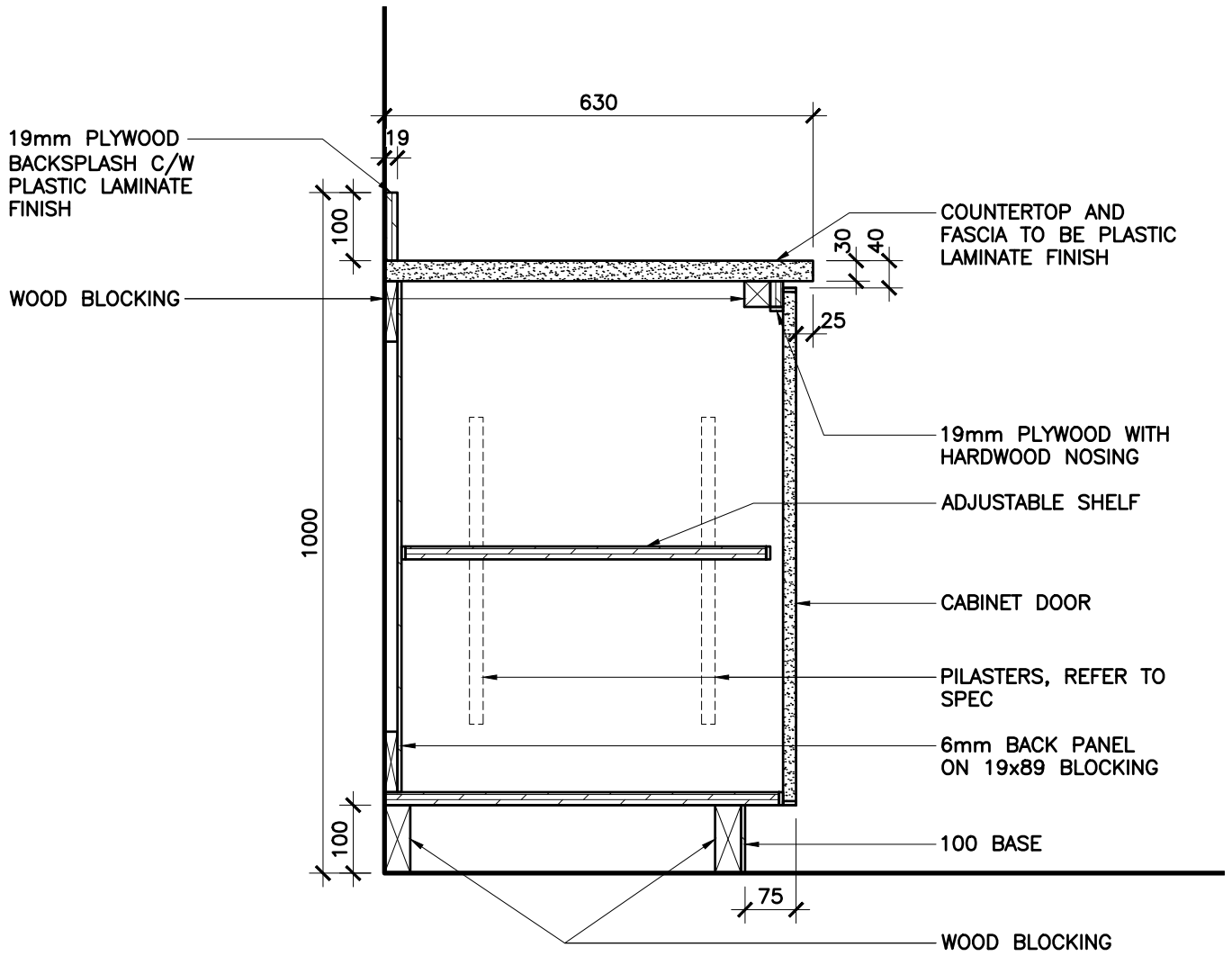
ROOMS 208, 209, 210, 211, 212, 213, 214, 215, 216, 217

# KITCHENETTE MILLWORK

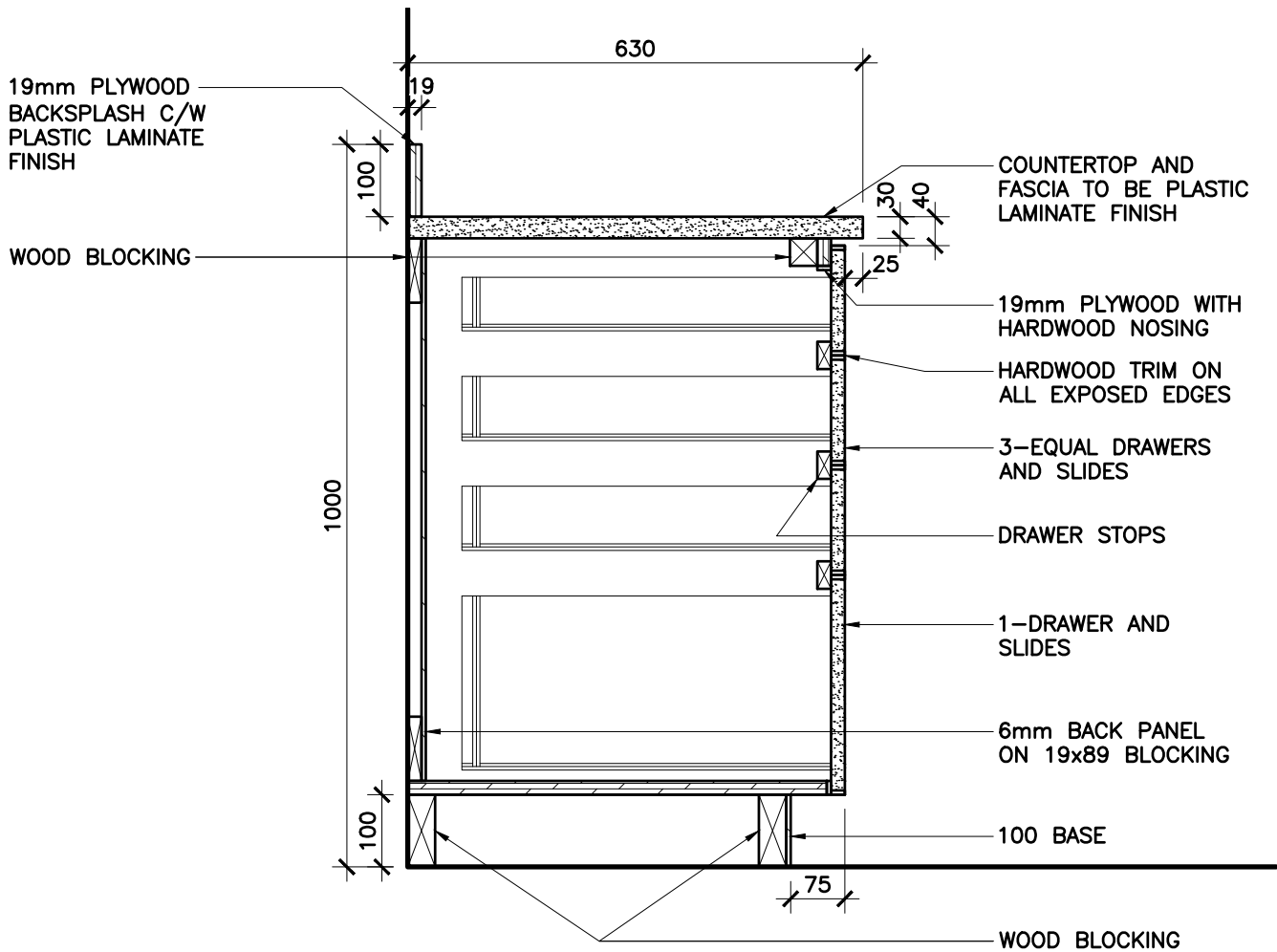
**E7**  
16

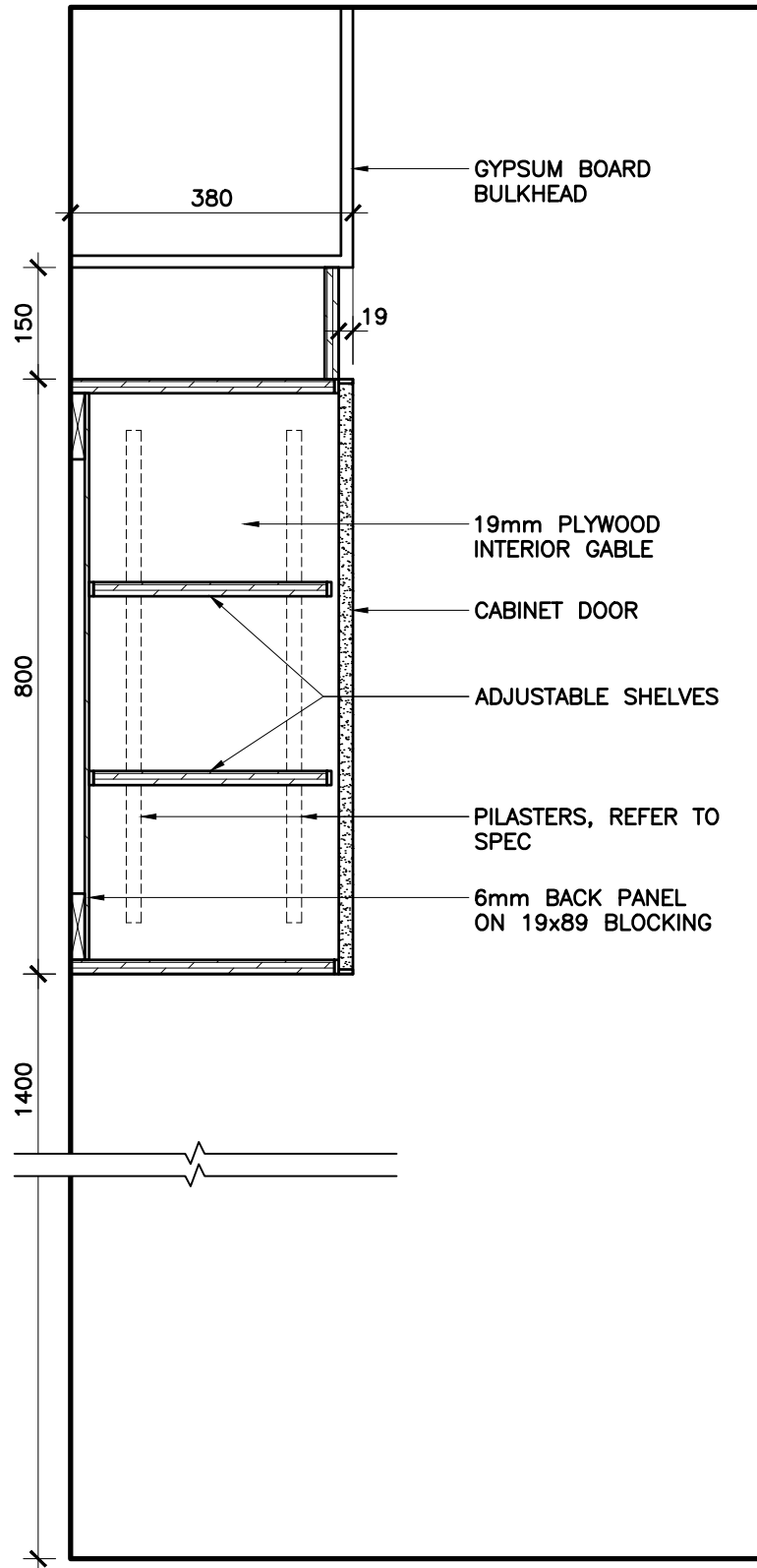
1:50

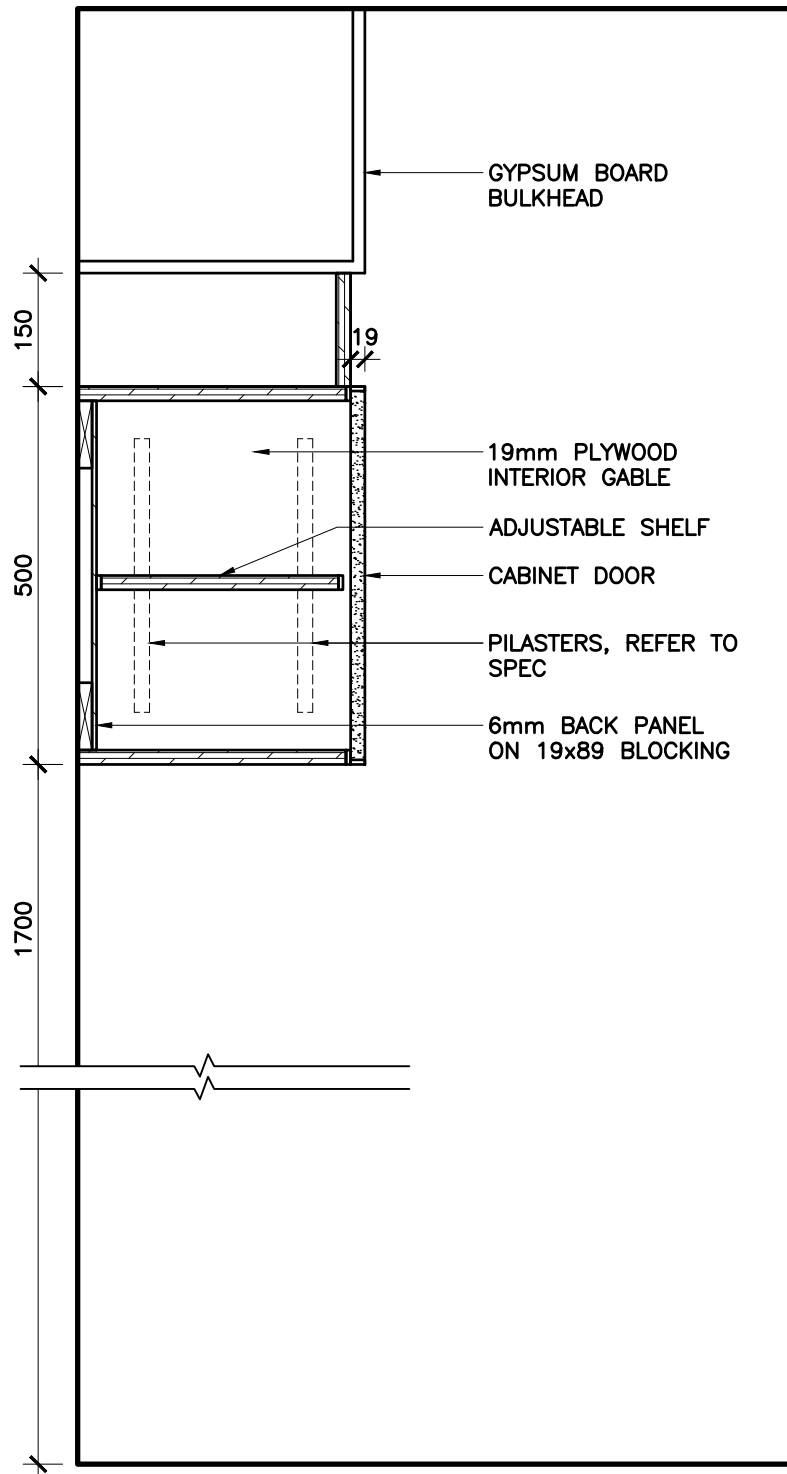


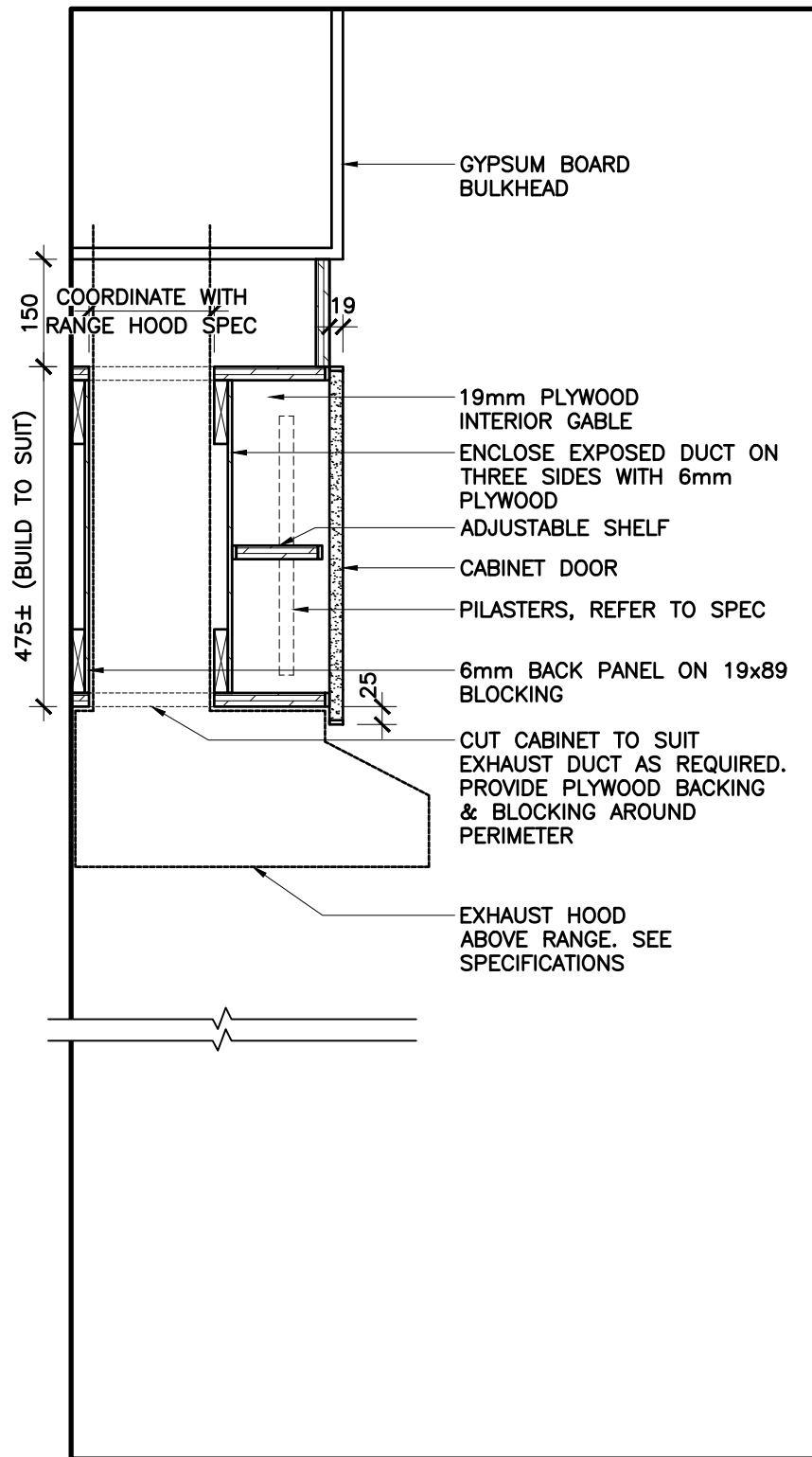












PART OF LOTS 45, 46 REGISTERED PLAN 66 PART OF LOT 23 JUNCTION GORE GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2023 Scale 1: 250

Metric Note Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 3.28084.

Bearing Note Bearings herein are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

Elevation Notes 1. Elevations shown are geoidic and are referred to Geoidic Datum CGVD-1928 1978. (Monument No. 10754328) 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that it's relative elevation and description agrees with the information shown on this drawing.

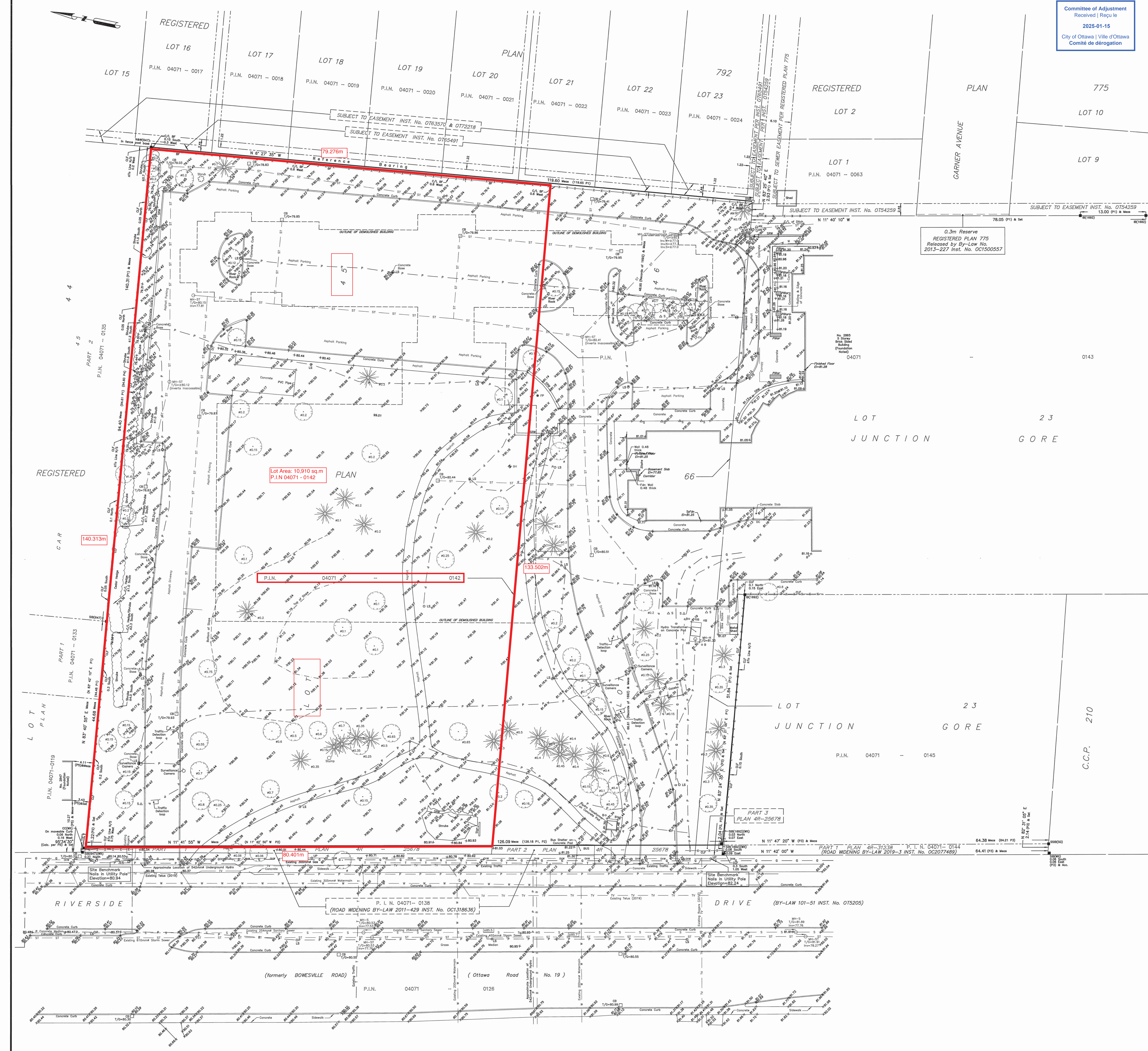
Utility Notes 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. Underground utility data derived from City of Ottawa utility sheet reference: L-08-06, L-08-07, 705, 6235, 6238, 672 p-01, 672 p-02, E354-2. 4. Sanitary and storm sewer grades and inverts were compiled from: Field measurement & City of Ottawa Utility Sheets. 5. A field location of underground plan by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

Notes & Legend table with symbols for Survey Monument, Standard Iron Bar, Iron Bar, Cut Cross, Short Standard Iron Bar, Nail & Washer, Witness, Meas, Measured, C.C.P., PLAN, (P1), (P2), (P3), (P4), (P5), M-H-S, M-H-B, M-H-T, M-H-U, M-H-C, S, W, G, U, R, T, OW, UWP, AW, LS, CB, FH, WV, SP, B, S, AP, AC, CF, DC, BF, SF, INV, T/G, T/P, U/E, T/Fdn, C, + E5.00, + E5.00, Property Line, Deciduous Tree, Coniferous Tree.

Committee of Adjustment Received | Reçu le 2025-01-15 City of Ottawa | Ville d'Ottawa Comité de dérogation

0.3m Reserve REGISTERED PLAN 775 Released by By-Law No. 2015-227 Inst. No. 001500557

Lot Area: 10,910 sq.m P.I.N. 04071 - 0142



WARNING: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2023. Surveyor's Certificate I certify that: 1. This survey and plan are correct and in accordance with the Survey Act, the Surveyors Act and the Regulations made under them. 2. The survey was completed on the 5th day of June, 2023. Date June 7/23 Daniel Robinson Ontario Land Surveyor

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-48400 FARLEY, SMITH & DENIS SURVEYING LTD. ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS UNIT 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6 TEL: (613) 737-8226 E-mail: fedsurvey@bellnet.ca

SURVEYOR'S REAL PROPERTY REPORT  
PART 1 Plan of

**PART OF LOTS 45 & 46  
REGISTERED PLAN 66  
PART OF LOT 23  
JUNCTION GORE  
GEOGRAPHIC TOWNSHIP OF GLOUCESTER  
CITY OF OTTAWA**

FARLEY, SMITH & DENIS SURVEYING LTD., 2025  
Scale 1: 250

**Metric Note**

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

**Distance Note**

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

**Bearing Note**

Bearings herein are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (Original).

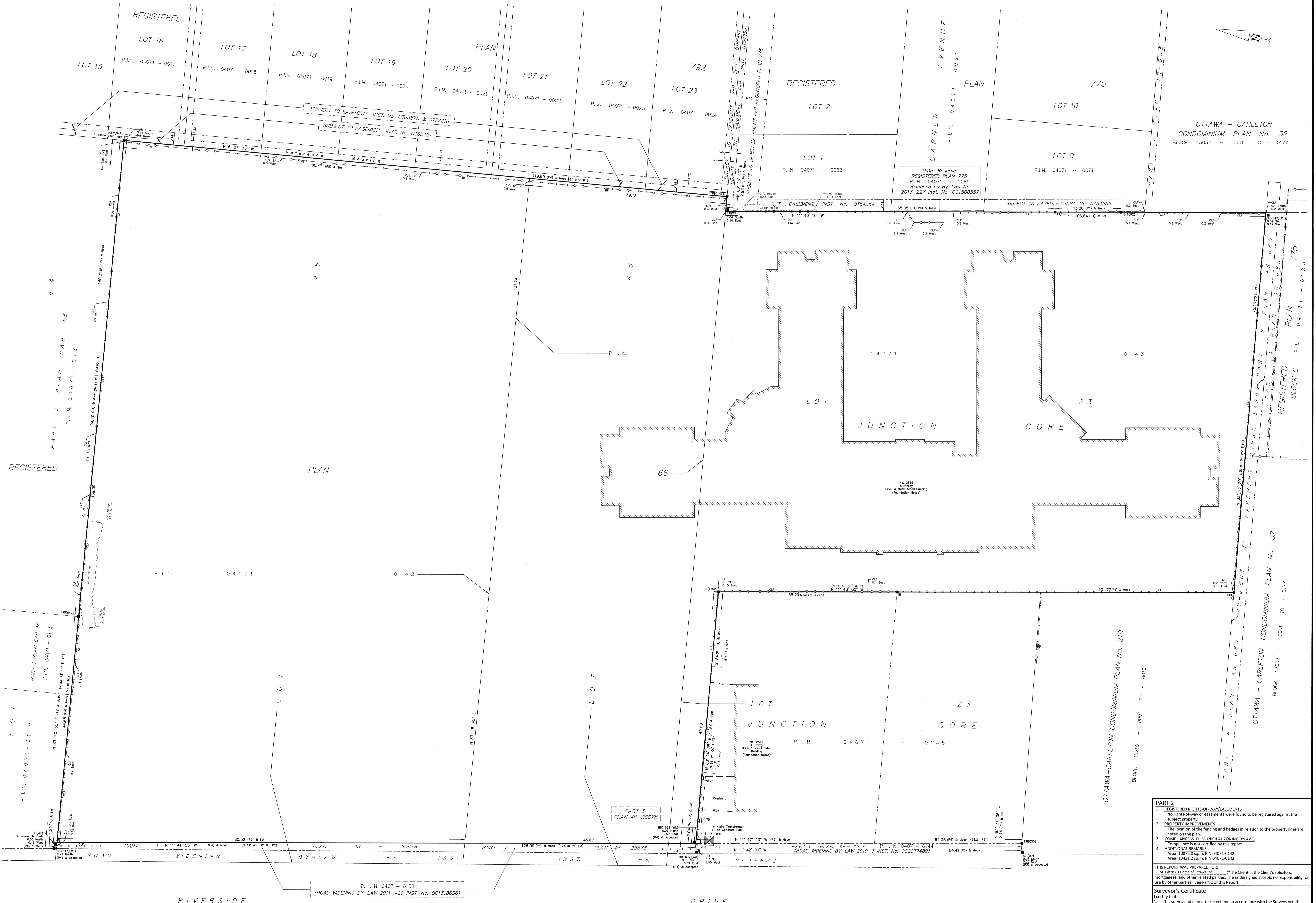
For bearing comparisons, a rotation of 0°27'35" counter-clockwise was applied to bearings on P1.

For bearing comparisons, a rotation of 0°04'10" counter-clockwise was applied to bearings on P3.

**Notes & Legend**

|      |  |                         |
|------|--|-------------------------|
| —○—  | Denotes  | Survey Monument Planted |
| —■—  | Denotes  | Survey Monument Found   |
| SIB  | Standard Iron Bar  |                         |
| IB   | Iron Bar   |                         |
| SSIB | Short Standard Iron Bar                                  |                         |
| CC   | Cut Cross  |                         |
| (W)  | Witness  |                         |
| Meas | Measured   |                         |
| (P1) | Plan by (1592) dated December 12, 2014 (File No. 495-14) |                         |
| (P2) | Plan by (1592) dated June 7, 2023 (File No. 141-23)      |                         |
| (P3) | Plan by (1592) dated June 7, 2023 (File No. 141-23)      |                         |
| (P4) | Plan by (1592) dated June 7, 2023 (File No. 141-23)      |                         |
| (P5) | Registered Plan 66                                       |                         |
| o. b | Bollard  |                         |
| CLF  | Chain Link Fence   |                         |
| BF   | Board Fence  |                         |
| CL   | Centreline   |                         |
| CL   | Property Line  |                         |

Committee of Adjustment  
Received | Reçu le  
2025-01-30  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



- PART 2**
- REGISTERED RIGHTS-OF-WAY/EASEMENTS  
No rights-of-way or easements were found to be registered against the subject property.
  - PROPERTY IMPROVEMENTS  
The location of the fencing and hedges in relation to the property lines are noted on the plan.  
COMPLIANCE WITH MUNICIPAL ZONING BYLAWS  
Compliance is not certified by this report.
  - ADDITIONAL REMARKS  
Area=10876.0 sq.m. PIN 04071-0142  
Area=13421.2 sq.m. PIN 04071-0143

THIS REPORT WAS PREPARED FOR:  
25 Patricia's Issues of Ottawa Inc. ("The Client"), The Client's solicitors, mortgagees, and other related parties. The undersigned accepts no responsibility for use by other parties. See Part 2 of this Report.

**Surveyor's Certificate**  
I certify that:  
1. This survey and plan are correct and in accordance with the Survey Act, the Surveyors Act and the Regulations made under them.  
2. The survey was completed on the 27th day of January, 2025.

Jan 29, 2025  
Date  
Enid Ahmed  
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-98714  
**FARLEY, SMITH & DENIS SURVEYING LTD.**  
ONTARIO LAND SURVEYORS  
CANADA LAND SURVEYORS

Unit 275, 30 CONNOR ROAD, OTTAWA, ONTARIO K2E 7J6  
TEL: (613) 727-8226 E-mail: info@fsd.com

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