

1 Ground Floor Plan
A1.1
Scale = 1:100

LEGAL DESCRIPTION: LOT 27 & PART OF LOTS 28, 29, & 30

PINS: 04413-0212
04413-0387
04413-0389
04413-0399

PROPERTY:

PROPERTY AREA: 7267.07 sq.m
LOT WIDTH: 120.93 m
LOT DEPTH: 59.94 m
PROPOSED BUILDING FOOT PRINT:
BLOCK A 1348.28 sq.m
BLOCK B 1348.28 sq.m
TOTAL 2696.56 sq.m

SITE BOUNDARY INFORMATION DERIVED FROM SURVEY OF PROPERTY, LOT 27 AND PART OF LOTS 28, 29 AND 30, REGISTRAR'S COMPILES PLAN 905, CITY OF OTTAWA, PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

ZONING: ZONE R4Z

MINIMUM LOT WIDTH: 18 m
MINIMUM LOT AREA: 1,400 sq.m
MINIMUM FRONT YARD SETBACK: 3 m
MINIMUM REAR YARD SETBACK: 6 m
MINIMUM INTERIOR SIDE YARD SETBACK: Up to 18m from front lot line; 3 m
More than 18 m: 7.5 m

PROVIDED FRONT YARD SETBACK: 6.066 m
PROVIDED REAR YARD SETBACK: 7.959 m
PROVIDED INTERIOR SIDE YARD SETBACK: WEST: Up to 18m from the front lot line; 11.453m
More than 18m: 7m
EAST: Up to 18m from the front lot line: 4m
More than 18m: 5.528m

MINIMUM CORNER YARD SETBACK: Not Applicable
MAXIMUM BUILDING HEIGHT: 15 m
MAXIMUM LOT COVERAGE: NOT SPECIFIED

PROVIDED BUILDING HEIGHT: 14.67 m
PROPOSED LOT COVERAGE: BLOCK A 18.55%
BLOCK B 18.55%
TOTAL 37.1%

MINIMUM LANDSCAPING AREA: 30%

PROVIDED LANDSCAPING AREA: BLOCK A 18.55%
BLOCK B 18.55%
TOTAL 4598.35 sq.m
62.0%

PARKING REQUIREMENTS:

BLOCK A
REQUIRED: 1.2 PER UNIT + 0.2 VISITOR PER UNIT
58 UNITS X 1.2 = 70 PARKING SPACES
58 UNITS X 0.2 = 12 PARKING SPACES

PROVIDED:
SURFACE 22 SPACES
UNDERGROUND 42 SPACES
TOTAL 64 SPACES

BLOCK B
REQUIRED: 1.2 PER UNIT + 0.2 VISITOR PER UNIT
58 UNITS X 1.2 = 70 PARKING SPACES
58 UNITS X 0.2 = 12 PARKING SPACES

PROVIDED:
SURFACE 22 SPACES
UNDERGROUND 42 SPACES
TOTAL 64 SPACES

TOTAL
REQUIRED: 116 UNITS = 164 PARKING SPACES

PROVIDED:
RESIDENT 104 SPACES (0.9 PER UNIT)
VISITOR 24 SPACES (0.2 PER UNIT)
TOTAL 128 SPACES

BARRIER FREE PARKING

BLOCK A
BARRIER-FREE SPACES REQUIRED: 1
BARRIER-FREE SPACES PROVIDED: 1

BLOCK B
BARRIER-FREE SPACES REQUIRED: 1
BARRIER-FREE SPACES PROVIDED: 1
TOTAL SPACES PROVIDED: 2

BICYCLE PARKING

BLOCK A
BICYCLE SPACES REQUIRED: 29
BICYCLE SPACES PROVIDED: 31

BLOCK B
BICYCLE SPACES REQUIRED: 29
BICYCLE SPACES PROVIDED: 31

TOTAL SPACES PROVIDED: 62

AMENITY REQUIREMENTS:

BLOCK A
REQUIRED: 6 sq.m PER UNIT
58 UNITS X 6 sq.m = 348 sq.m
TOTAL 348 sq.m
MINIMUM 50%, 174 sq.m, COMMUNAL

AMENITY AREA
PROVIDED: BALCONIES 135.7 sq.m
TERRACES 31.3 sq.m
COMMUNAL AREA INTERIOR 188.7 sq.m
TOTAL 355.7 sq.m

BLOCK B
REQUIRED: 6 sq.m PER UNIT
58 UNITS X 6 sq.m = 348 sq.m
TOTAL 348 sq.m
MINIMUM 50%, 174 sq.m, COMMUNAL

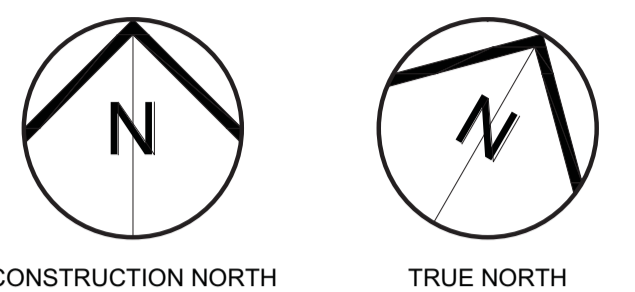
AMENITY AREA
PROVIDED: BALCONIES 135.7 sq.m
TERRACES 31.3 sq.m
COMMUNAL AREA INTERIOR 188.7 sq.m
TOTAL 355.7 sq.m

NOTES FOR DRAWING A1.1:

- DEPRESSED CURB.
- EXISTING CONCRETE MEDIAN TO REMAIN.
- NEW MEDIAN, SUBJECT TO RMA.
- NEW PAD-MOUNTED TRANSFORMER.
- RAMP TO UNDERGROUND PARKING.
- GRADE LEVEL TERRACE.
- OUTLINE OF ROOF ABOVE.
- LINE OF BALCONY ABOVE.
- CONCRETE WALK.
- METAL GUARDRAIL.
- DRAIN SPOUT.
- RESERVED.
- CITY RIGHT-OF-WAY, ROAD WIDENING.
- HYDRO NO BUILD ZONE.
- TACTILE WALKING SURFACE INDICATOR.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- REINSTATE CONCRETE SIDEWALK CONTINUOUS ACROSS ACCESS.
- EXISTING ASPHALT ACCESS TO BE REMOVED, INFILL ASPHALT REMOVAL WITH SOD, REINSTATE FULL HEIGHT CURB AND CONCRETE SIDEWALK.
- TWO POST MOUNTED ELECTRIC VEHICLE CHARGING STATIONS.
- EXISTING FULL HEIGHT CURB TO BE REMOVED AT NEW ACCESS.
- ACCESS CURBS SHALL TIE INTO EXISTING CURB ALONG INNES RD.
- RETAINING WALL, REFER TO CIVIL DRAWINGS.

LEGENDED:

- ENTRANCE
- PROPERTY
- SETBACK
- CONCRETE
- ASPHALT
- SOD
- RIVER STONE
- AREA SUBJECT TO MINOR VARIANCE



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4	Issued for Site Plan Control	28.11.24
3	Issued for Site Plan Control	07.10.24
2	Issued for Site Plan Control	19.09.24
1	Issued for Site Plan Control	20.08.24
No N°	ISSUE/REVISION ÉMISSION/RÉVISION	DATE DD/MM/YY



PROJECT NAME / NOM DU PROJET
3817-3843 Innes Road Apartments
Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN
Site Plan

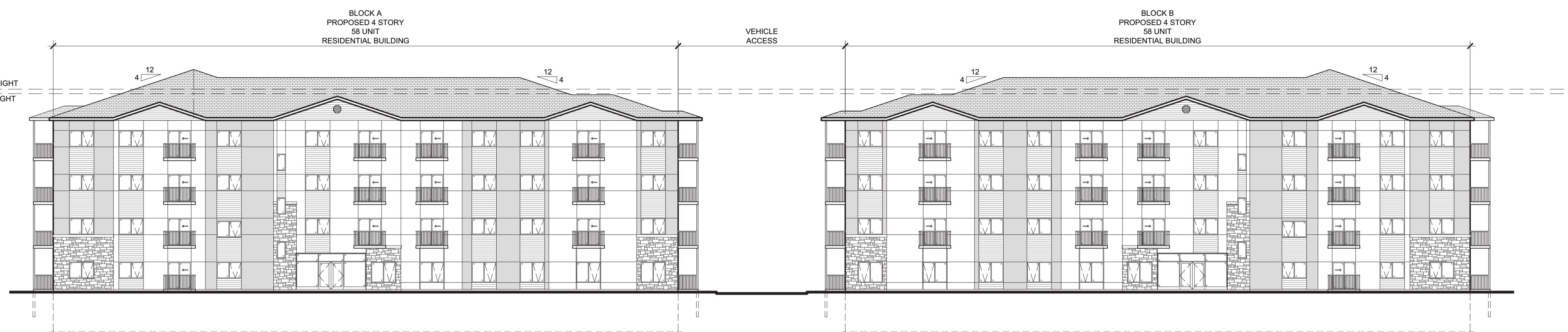
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CHECKED BY SG	VÉRIFIÉ PAR		



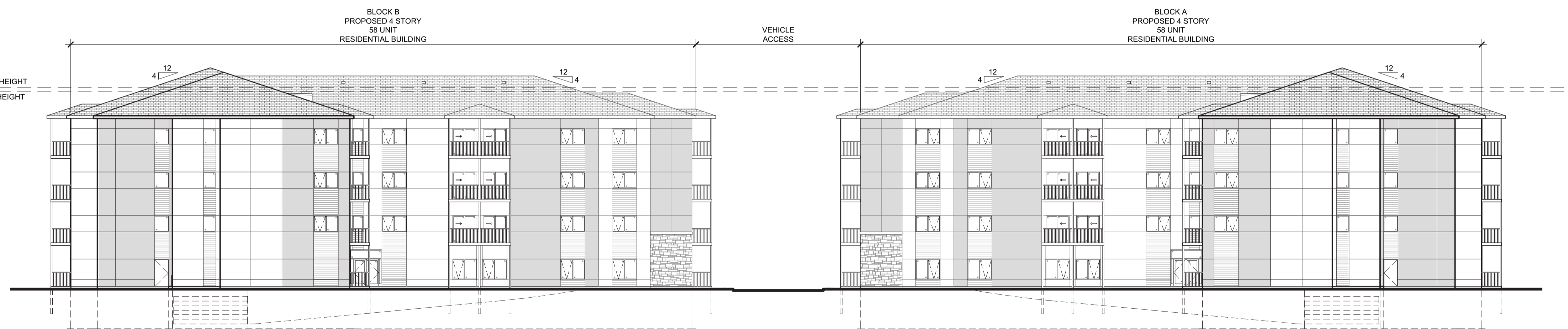
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A1.1

SCEAU D'ARCHITECTE / REVISION No / RÉVISION N° 4

D07-12-20-0104



1 South Elevation - From Innes Road
Scale = 1:100



2 North Elevation
Scale = 1:100

NOTES FOR DRAWING SERIES A3:

1. RESERVED.
2. OVERHEAD DOOR TO UNDERGROUND PARKING.
3. LINE OF RAMP TO UNDERGROUND PARKING.
4. METAL GUARD.
5. ROOF VENT.

LEGEND FOR DRAWING SERIES A3:

- STONE VENEER
- PREFINISHED FIBRE CEMENT BOARD COLOUR 1
- PREFINISHED FIBRE CEMENT BOARD COLOUR 2
- PREFINISHED FIBRE CEMENT PLANKS
- ASPHALT SHINGLES

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1	Issued for Site Plan Control	06.08.24



1066 Somerset Street West, Suite 200, Ottawa Ontario, K1Y 4T3
Telephone: 613.724.9914 E-mail: architecture@brydengibson.ca

PROJECT NAME / NOM DU PROJET
**3817-3843 Innes Road
Apartments**

Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN

**Building Elevations
Block A & B**

JOB No	N° DE PROJET	DATE	DATE
814-24		May 2024	
SCALE	ECHELLE	PRINTING SCALE/ ÉCHELLE D'IMPRESSION	
As Noted			
CONCEPTION BY	CONÇUS PAR	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PRINTING SCALE.	
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KS			
CHECKED BY	VÉRIFIÉ PAR		
SG			

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DRAWING No / DESSIN N°

A5.0

REVISION No / RÉVISION N°

4

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PROJECT NAME / NOM DU PROJET
**3817-3843 Innes Road
Apartments**

Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN
**Building Elevations
Block A**

JOB No	N° DE PROJET	DATE	DATE
814-24		May 2024	
SCALE	ECHELLE	PRINTING SCALE/ ÉCHELLE D'IMPRESSION	
As Noted			
CONCEPTION BY	CONÇUS PAR	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PRINTING SCALE.	
SG			
DRAWN BY	DESSINÉ PAR	SI CETTE LIGNE NE MESURE PAS 25mm, AJUSTER VOTRE ÉCHELLE D'IMPRESSION.	
KS			
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SG			

ARCHITECT'S STAMP / SCAU D'ARCHITECTE

DRAWING No / DESSIN N°
A5.1

REVISION No / RÉVISION N°
4



1 North Elevation
A5.1
Scale = 1:100



2 South Elevation
A5.1
Scale = 1:100

NOTES FOR DRAWING A5.1:
REFER TO DRAWING A5.0 FOR NOTES.

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2	Issued for Site Plan Control	19.09.24
1	Issued for Site Plan Control	06.08.24

PROJECT NAME / NOM DU PROJET
3817-3843 Innes Road Apartments
Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN
Building Elevations Block A

JOB No 814-24	N° DE PROJET	DATE May 2024	DATE
SCALE As Noted	ECHELLE	PRINTING SCALE/ ÉCHELLE D'IMPRESSION	
CONCEPTION BY SG	CONÇUS PAR	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PRINTING SCALE.	
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CHECKED BY SG	VÉRIFIÉ PAR		

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DRAWING No / DESSIN N°
A5.2

REVISION No / RÉVISION N°
4



1 East Elevation
A5.2
Scale = 1:100



2 West Elevation
A5.2
Scale = 1:100

NOTES FOR DRAWING A5.2:
REFER TO DRAWING A5.0 FOR NOTES.

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**3817-3843 Innes Road
Apartments**

Ottawa, ON K1C 1T1

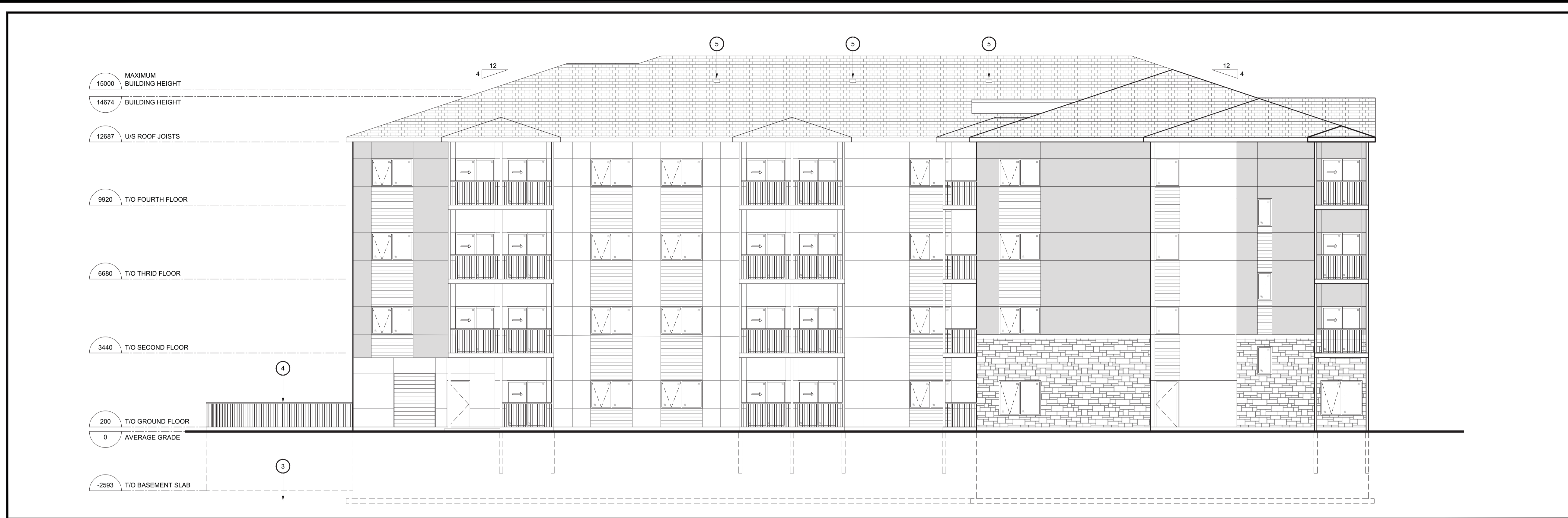
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**Building Elevations
Block B**

JOB No	N° DE PROJET	DATE	DATE
814-24		May 2024	
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CHECKED BY SG	VÉRIFIÉ PAR		

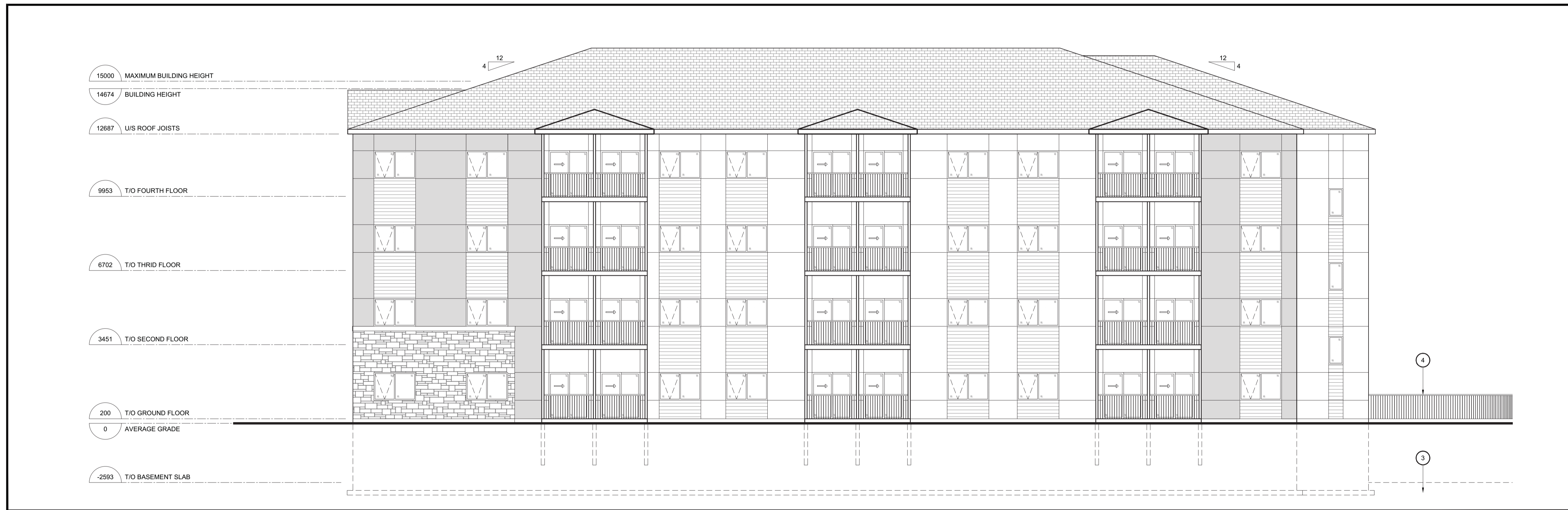
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OF ARCHITECTS
Suzanne Gibson
SUZANNE GIBSON
LICENCE
8808
SCEAU D'ARCHITECTE

DRAWING No / DESSIN N°
A5.4

REVISION No / RÉVISION N°
4

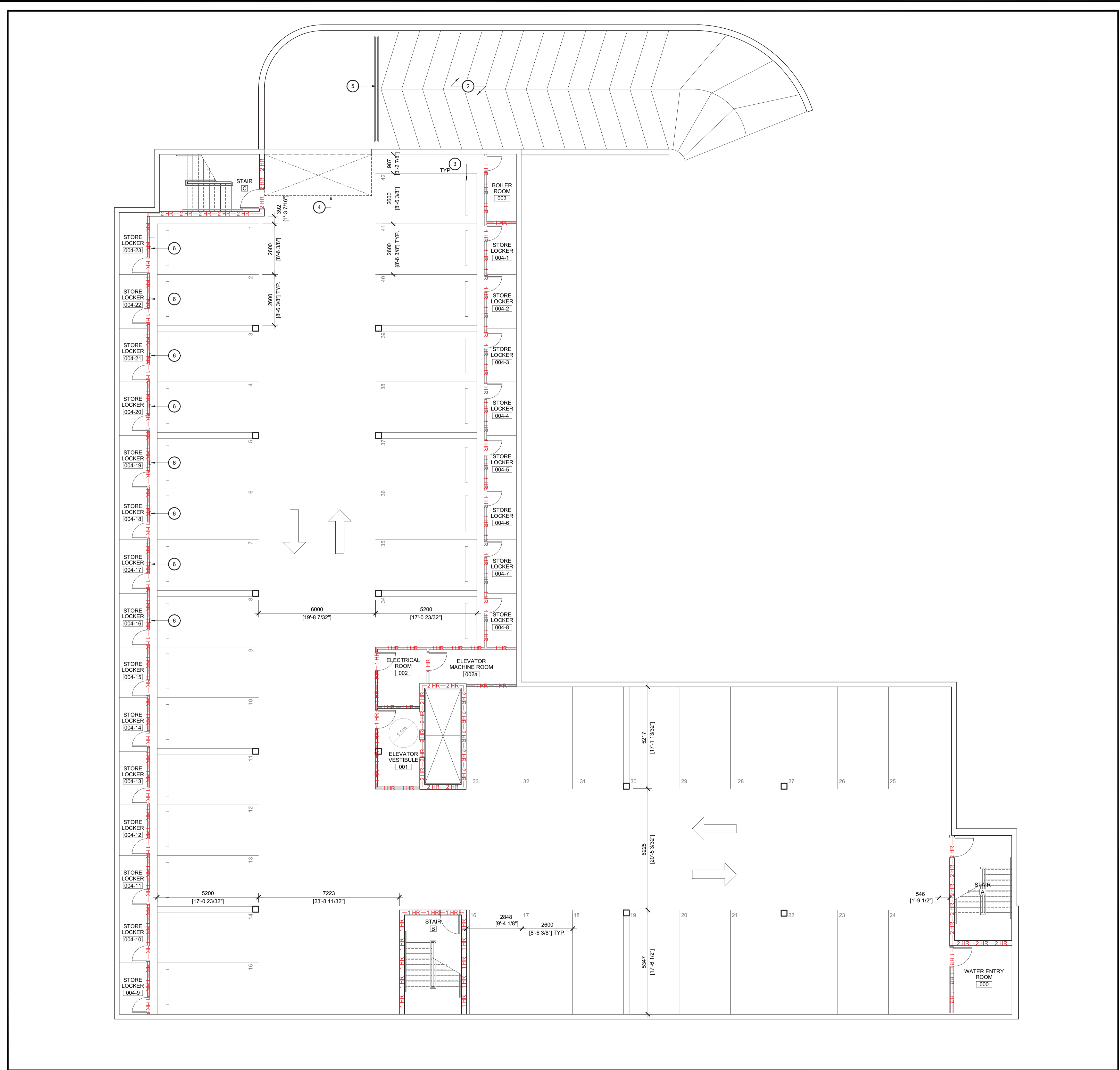


1
A5.4
East Elevation
Scale = 1:100

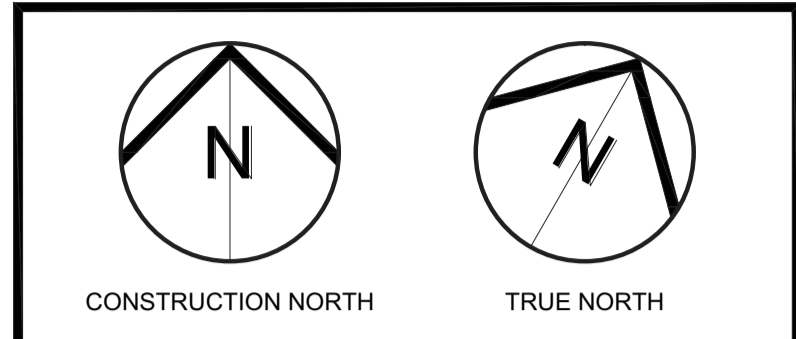


2
A5.4
West Elevation
Scale = 1:100

NOTES FOR DRAWING A5.4:
REFER TO DRAWING A5.0 FOR NOTES.



- NOTES FOR DRAWING A2.0:**
1. RESERVED.
 2. RAMP TO UNDERGROUND PARKING.
 3. RUBBER CURB.
 4. OVERHEAD DOOR.
 5. TRENCH DRAIN.
 6. WALL MOUNTED ELECTRIC VEHICLE CHARGING STATION.



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5	Issued for Site Plan Control	06.11.24
4	Issued for Coordination	15.10.24
3	Issued for Site Plan Control	07.10.24
2	Issued for Site Plan Control	19.08.24
1	Issued for Coordination	08.07.24



PROJECT NAME / NOM DU PROJET
3817-3843 Innes Road Apartments
 Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN
Floor Plan Basement Block A

JOB No	N° DE PROJET	DATE	DATE
814-24		May 2024	
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KS			
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SG			

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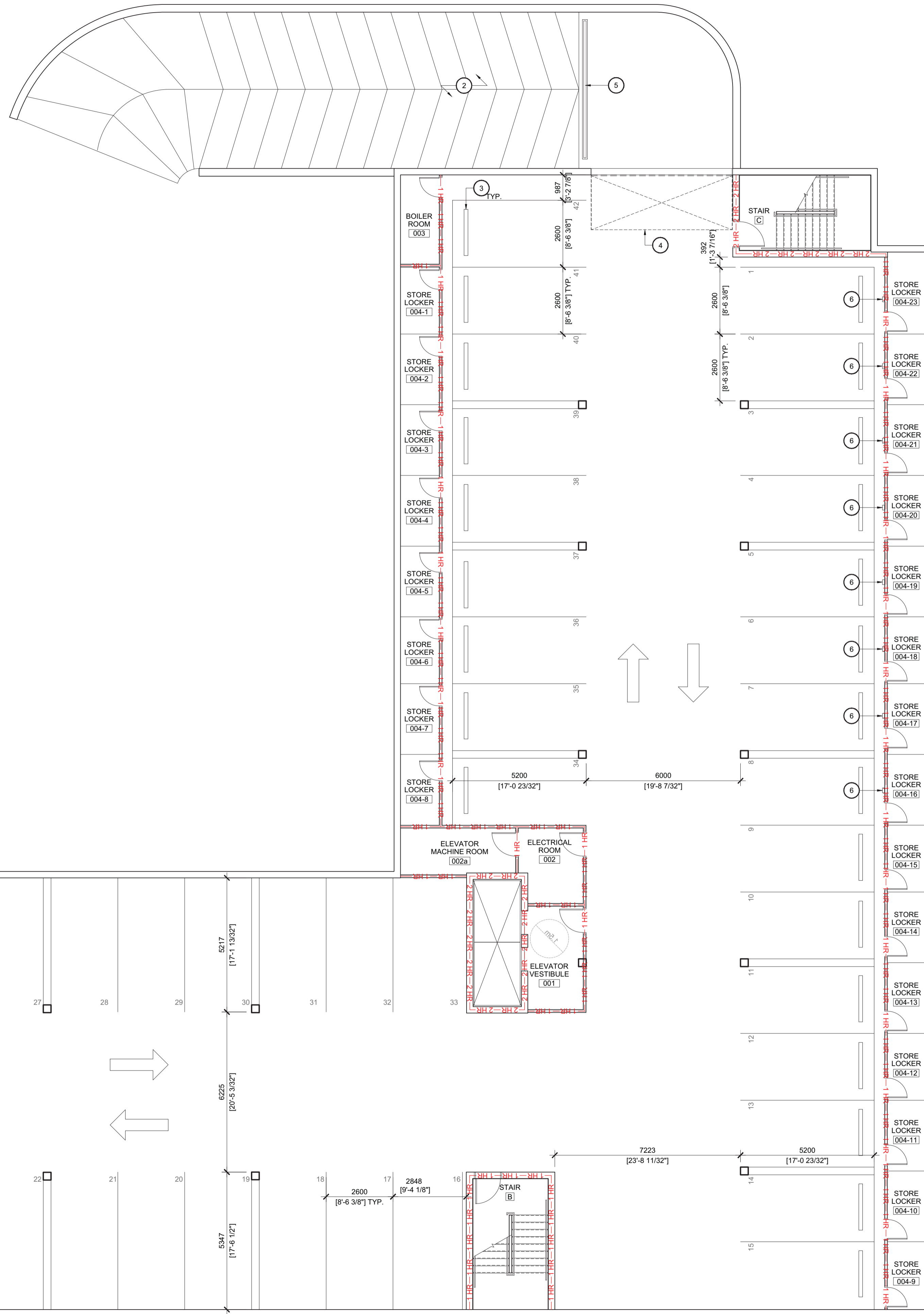
ARCHITECTS / ARCHITECTES
 Suzanne Gibson
 LICENCE / LICENCE 8808

DRAWING No / DESSIN N°
A2.0

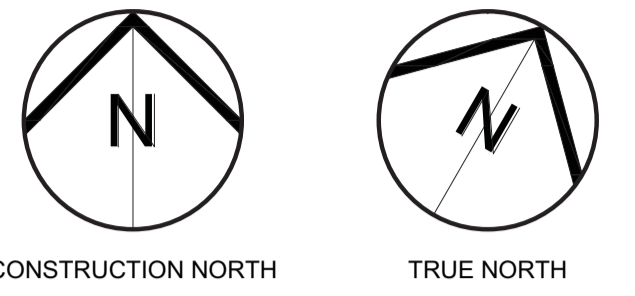
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 5

1 Basement Floor Plan
 A2.0 Scale = 1:100

D07-12-20-0164



NOTES FOR DRAWING A2.1:
REFER TO DRAWING A2.0 FOR NOTES.



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Apartments**
Ottawa, ON K1C 1T1

DRAWING TITLE / TITRE DU DESSIN
**Floor Plan
Basement
Block B**

JOB No	N° DE PROJET	DATE	DATE
814-24		May 2024	
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 DRAWING No / DESSIN N°
A2.1
 REVISION No / RÉVISION N°
 4

1
A2.1
Basement Floor Plan
Scale = 1:100

LOT 27 AND PART OF LOTS 28, 29 AND 30 REGISTRAR'S COMPILED PLAN 905 CITY OF OTTAWA

Prepared by ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

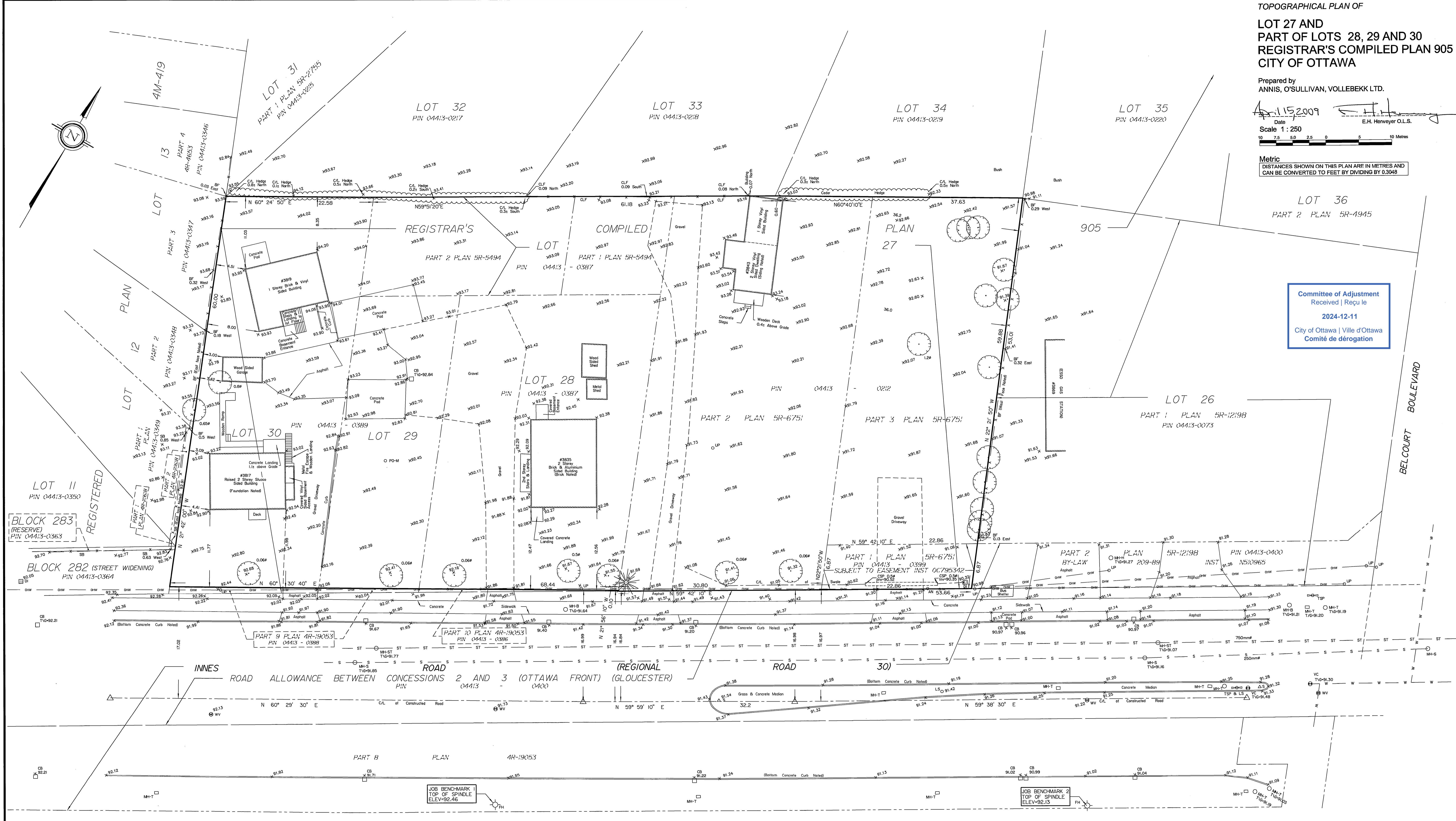
Date 11/5/2009 E.H. Harvey O.L.S.

Scale 1 : 250

Metric DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LOT 36 PART 2 PLAN 5R-4945

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- Notes & Legend Denotes Deciduous Tree (0.10 to 0.20 unless otherwise noted.) Coniferous Tree Fire Hydrant Water Valve Maintenance Hole (Storm Sewer) Maintenance Hole (Sanitary) Maintenance Hole (Bell Telephone) Maintenance Hole (Traffic) Maintenance Hole (Hydro) Valve Chamber (Watermain) Catch Basin Ditch Inlet Traffic Signal Post Sign Chain Link Fence Board Fence Sound Barrier (Wooden Panel & Metal Post) Metal Pole Utility Pole Anchor

- Denotes Light Standard Diameter Location of Elevations Top of Grate Centreline Property Line Overhead Wires Underground Storm Sewer Underground Sanitary Sewer Underground Water

- ELEVATION NOTES 1. Elevations shown are referred to geoid datum. 2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

- UTILITY NOTES 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation. 2. Only visible surface utilities were located. 3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

SITE AREA = 7267 m² BOUNDARY INFORMATION COMPILED FROM SURVEY RECORDS.

ANNIS, O'SULLIVAN, VOLLEBEKK LTD. 14 Concourse Gate, Suite 500 Nepean, Ont. K2E 7S6 Phone: (613) 727-0850 / Fax: (613) 727-1079 Email: Home@annis.com

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DRAWING TITLE / TITRE DU DESSIN
**Building Elevations
Block B**

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KS			
CHECKED BY	VÉRIFIÉ PAR		
SG			

ARCHITECT'S STAMP
ONTARIO ASSOCIATION
OF ARCHITECTS
Suzanne Gibson
SUZANNE GIBSON
LICENCE
8808
SCAUC D'ARCHITECTE

DRAWING No / DESSIN N°
A5.3

REVISION No / RÉVISION N°
4



1 North Elevation
A5.3
Scale = 1:100



2 South Elevation
A5.3
Scale = 1:100

NOTES FOR DRAWING A5.3:
REFER TO DRAWING A5.0 FOR NOTES.