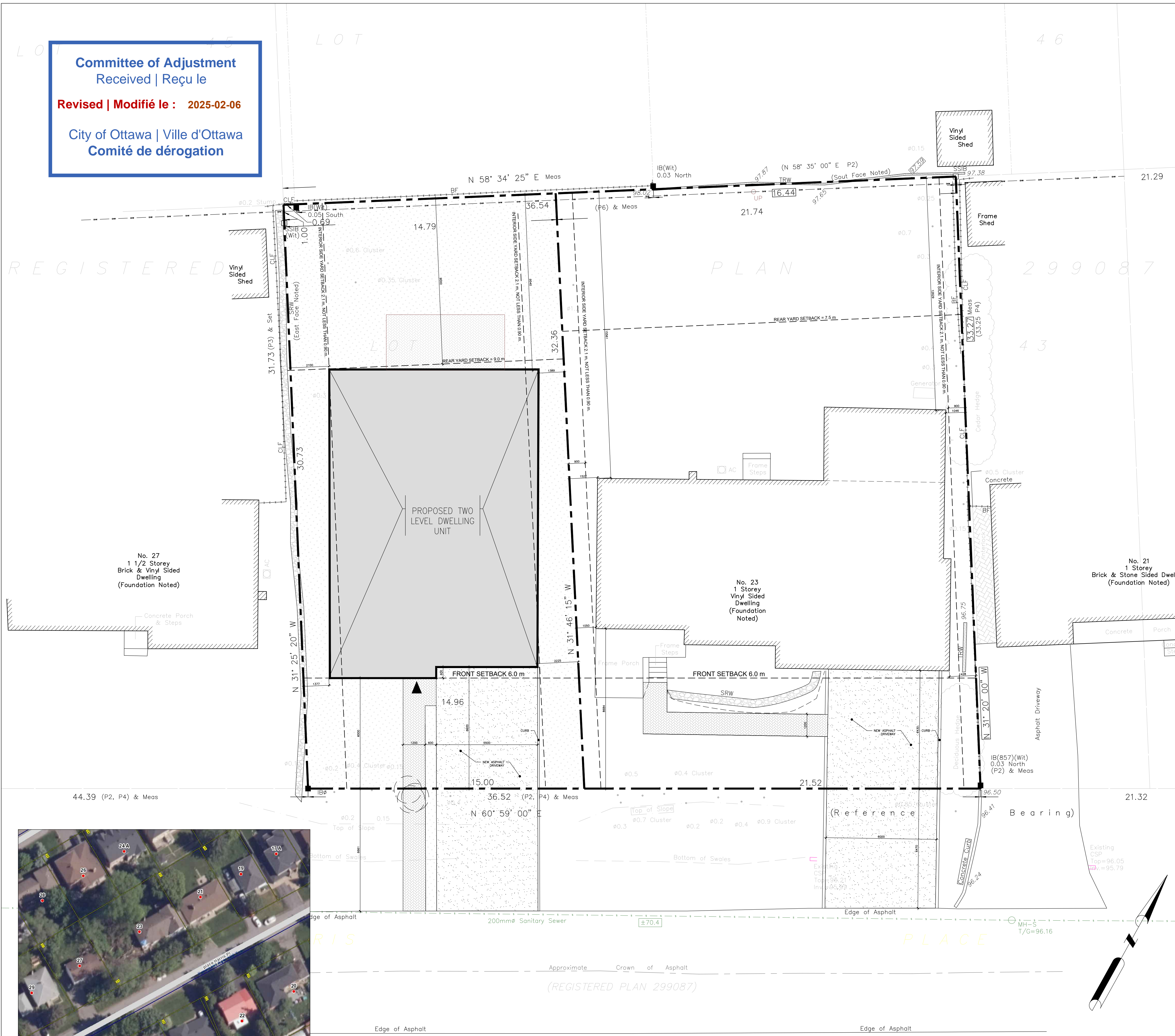


Committee of Adjustment
Received | Reçu le

Revised | Modifié le : 2025-02-06

City of Ottawa | Ville d'Ottawa
Comité de dérogation



SITE LEGEND

- DENOTES SOFT LANDSCAPING
- ▨ DENOTES HARD LANDSCAPING
- ▭ ASPHALT DRIVEWAY
- ▶ PROPOSED/EXISTING ENTRY/EXIT
- EX. UTILITY POLE
- PROPERTY LINE
- EXISTING TREE
- EXISTING TREE TO BE REMOVED

SITE PLAN

PART OF LOTS 43
REGISTERED PLAN 299087
CITY OF OTTAWA
Bearing Note
Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°14'00" clockwise was applied to bearings on P4.
For bearing comparisons, a rotation of 1°21'00" clockwise was applied to bearings on P5.

Elevation Notes

- Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 - 1978. (Monument No. 19680062)
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

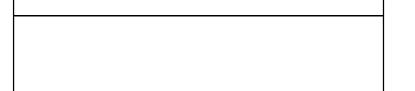
Surveyed by Farley, Smith & Denis Surveying Ltd. dated 28 th of November 2024

ZONE: R1FF

PROPOSED : 1 DWELLING UNITS

LOT INFO	REQUIRED	PROPOSED	APPROVED
LOT WIDTH:	19.5 m	14.96 m	NO
LOT AREA:	600 m ²	477.10 m ²	NO
HEIGHT:	8.5 m	8.0 m	YES
FRONT YARD:	Must be the average of the 2 adjacent buildings but may not exceed 6m as a maximum. Need not exceed the minimum required in the Residential subzone in which the lot is located, and in no case may be less than 1.5 m.	6.0 m	YES
REAR YARD:	At least 25% of the lot area (119.27m ²) and where the minimum front yard setback is more than 4.5m, the rear yard is determined by: the lot depth minus 23m. 32m - 23m = 9m	9.0 m	YES
INTERIOR YARD:	total is 2.1m with one yard, no less than 0.9	2.1 m	YES
MINIMUM FRONT YARD LANDSCAPING	40 %	40 %	YES
MAXIMUM LOT COVERAGE	45 %	40 %	YES
MAXIMUM DRIVEWAY WIDTH	5.5 metres for lots with 15 to 18m of frontage	5.5 m	YES
MINIMUM PARKING REQUIREMENT	1 per dwelling unit	1 unit	YES
MINIMUM DRIVEWAY WIDTH	3m to a parking lot or parking garage. 2.6m to parking spaces other than a parking garage or parking lot.	1 unit	YES
BASEMENT AREA:		154 m ²	
FIRST FLOOR AREA:		186 m ²	
SECOND FLOOR AREA:		160 m ²	
PROPOSED SITE DEVELOPMENT INFO.			
GROSS FLOOR AREA:		500 m ²	
NUMBER OF UNITS:		1	
PROPOSED STOREYS:		2	

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER
COPYRIGHT RESERVED
GENERAL NOTES:
KEY PLAN:



PROJECT

NO.	REVISION/ISSUE	DATE
3	ISSUED FOR APPROVAL	04/01/25
2	ISSUED FOR APPROVAL	13/01/25
1	ISSUED FOR REVIEW	02/01/25
NO.	REVISION/ISSUE	DATE

23 HARRIS PLACE

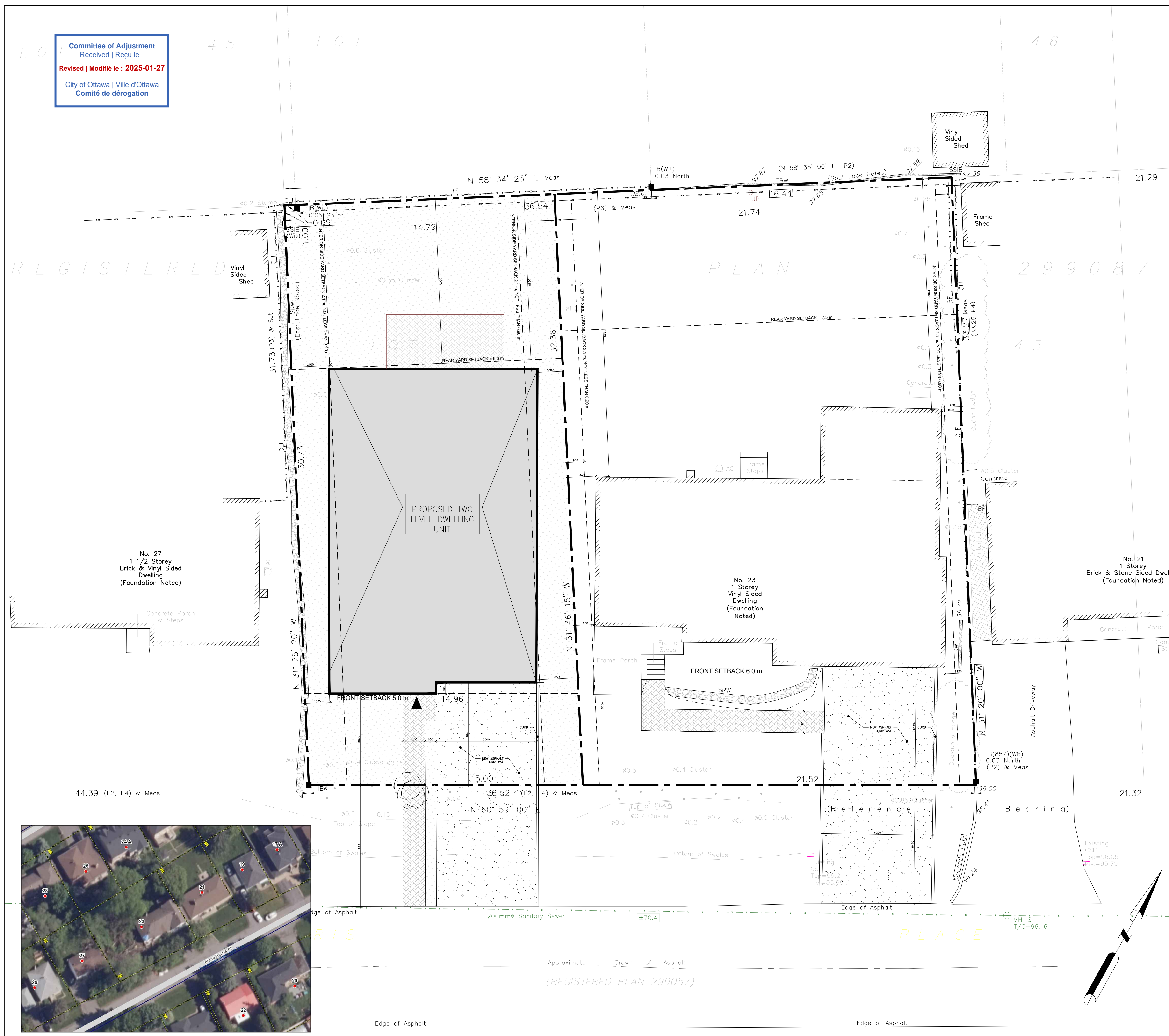
CONSULTANTS:
STRUCTURAL -
MECHANICAL -
ELECTRICAL -
GRADING -

NO.	DATE
8	
7	
6	
5	
4	
3	ISSUED FOR APPROVAL 04/01/25
2	ISSUED FOR APPROVAL 13/01/25
1	ISSUED FOR REVIEW 02/01/25
NO.	REVISION/ISSUE DATE

DRAWING NAME:
SITE PLAN

DRAWN BY: JUAN GOMEZ SHEET:
DATE: 30-12-2024
SCALE: 1:100 **SP01**

Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2025-01-27
City of Ottawa | Ville d'Ottawa
Comité de dérogation



SITE LEGEND
 DENOTES SOFT LANDSCAPING
 DENOTES HARD LANDSCAPING
 ASPHALT DRIVEWAY
 PROPOSED/EXISTING ENTRY/EXIT
 EX. UTILITY POLE
 PROPERTY LINE
 EXISTING TREE
 EXISTING TREE TO BE REMOVED

SITE PLAN
 PART OF LOTS 43
 REGISTERED PLAN 299087
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 Surveyed by Farley, Smith & Denis Surveying Ltd. dated 28 th of November 2024

ZONE: R1FF			
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LOT INFO			
TYPE	REQUIRED	PROPOSED	APPROVED
LOT WIDTH:	19.5 m	14.96 m	NO
LOT AREA:	600 m ²	477.10 m ²	NO
HEIGHT:	8.5 m	8.0 m	YES
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REAR YARD:	At least 25% of the lot area (119.27m ²) and where the minimum front yard setback is more than 4.5m, the rear yard is determined by: the lot depth minus 23m. 32m - 23m = 9m	9.0 m	YES
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MINIMUM FRONT YARD LANDSCAPING	40 %	40 %	YES
MAXIMUM LOT COVERAGE	45 %	40 %	YES
MAXIMUM DRIVEWAY WIDTH	3 m	5.5 m	NO
MINIMUM PARKING REQUIREMENT	1 per dwelling unit	1 unit	YES
MINIMUM DRIVEWAY WIDTH	3m to a parking lot or parking garage. 2.6m to parking spaces other than a parking garage or parking lot.	1 unit	YES
BASEMENT AREA:		160 m ²	
FIRST FLOOR AREA:		190 m ²	
SECOND FLOOR AREA:		150 m ²	
PROPOSED SITE DEVELOPMENT INFO.			
GROSS FLOOR AREA:		500 m ²	
NUMBER OF UNITS:		1	
PROPOSED STOREYS:		2	

RESPONSIBILITIES:
 DO NOT SCALE DRAWINGS
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012
 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
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 COPYRIGHT RESERVED
 GENERAL NOTES:
 KEY PLAN:

 PROJECT:

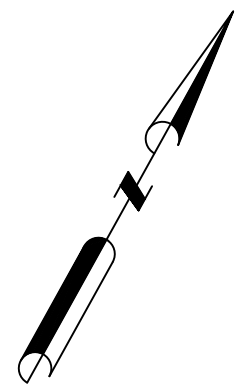
23 HARRIS PLACE

CONSULTANTS:
 STRUCTURAL -
 MECHANICAL -
 ELECTRICAL -
 GRADING -

8	
7	
6	
5	
4	
3	
2	ISSUED FOR APPROVAL 13/01/25
1	ISSUED FOR REVIEW 02/01/25
NO.	REVISION/ISSUE DATE

DRAWING NAME:
 SITE PLAN

DRAWN BY: JUAN GOMEZ SHEET:
 DATE: 30-12-2024 DATE: SP01
 SCALE: 1:100



Committee of Adjustment
Received | Reçu le
2025-01-16
City of Ottawa | Ville d'Ottawa
Comité de dérogation

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: _____
EMAD ALRFAAI
ONTARIO LAND SURVEYOR

PLAN 4R-
RECEIVED AND DEPOSITED
DATE: _____
REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1	PART OF 43	299087	ALL OF 04677-0165	709.3
2				477.1

PLAN OF SURVEY OF
PART OF LOT 43
REGISTERED PLAN 299087
CITY OF OTTAWA
FARLEY, SMITH & DENIS SURVEYING LTD. 2025
Scale 1: 150
0 1.5 3 6 9 12 15 metres

Metric Note
Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.9993.

Bearing Note
Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°14'00" clockwise was applied to bearings on P4.
For bearing comparisons, a rotation of 1°21'00" clockwise was applied to bearings on P5.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5023588.00	364412.40
(B)	5023645.78	364516.57
01919680005	5027191.26	361496.76
01919750705	5016816.93	360806.84

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

- Notes & Legend**
- Denotes Survey Monument Planted
 - Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - IBØ Round Iron Bar
 - (Wit) Witness
 - Meas Measured
 - (P1) Registered Plan 299087
 - (P2) Plan 4R-25405
 - (P3) Plan by (AOG) dated March 7, 2012 (Job No. 12593-12)
 - (P4) Plan by (857) dated July 28, 1989 (Ref. No. 6-299087)
 - (P5) Plan by (857) dated August 9, 1985 (Ref. No. 5-299087)
 - (P6) Plan by (725) dated June 17, 1976 (Ref. No. 171-76)
 - (P7) Plan by (1632) dated December 3, 2024 (Ref. No. 426-24)
 - OW— Overhead Wires
 - UP— Utility Pole
 - CLF Chain Link Fence
 - BF Board Fence
 - SRW Stone Retaining Wall
 - TRW Timber Retaining Wall
 - CRW Concrete Retaining Wall
 - C/L Centreline
 - Property Line
 - Ø Diameter
 - Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

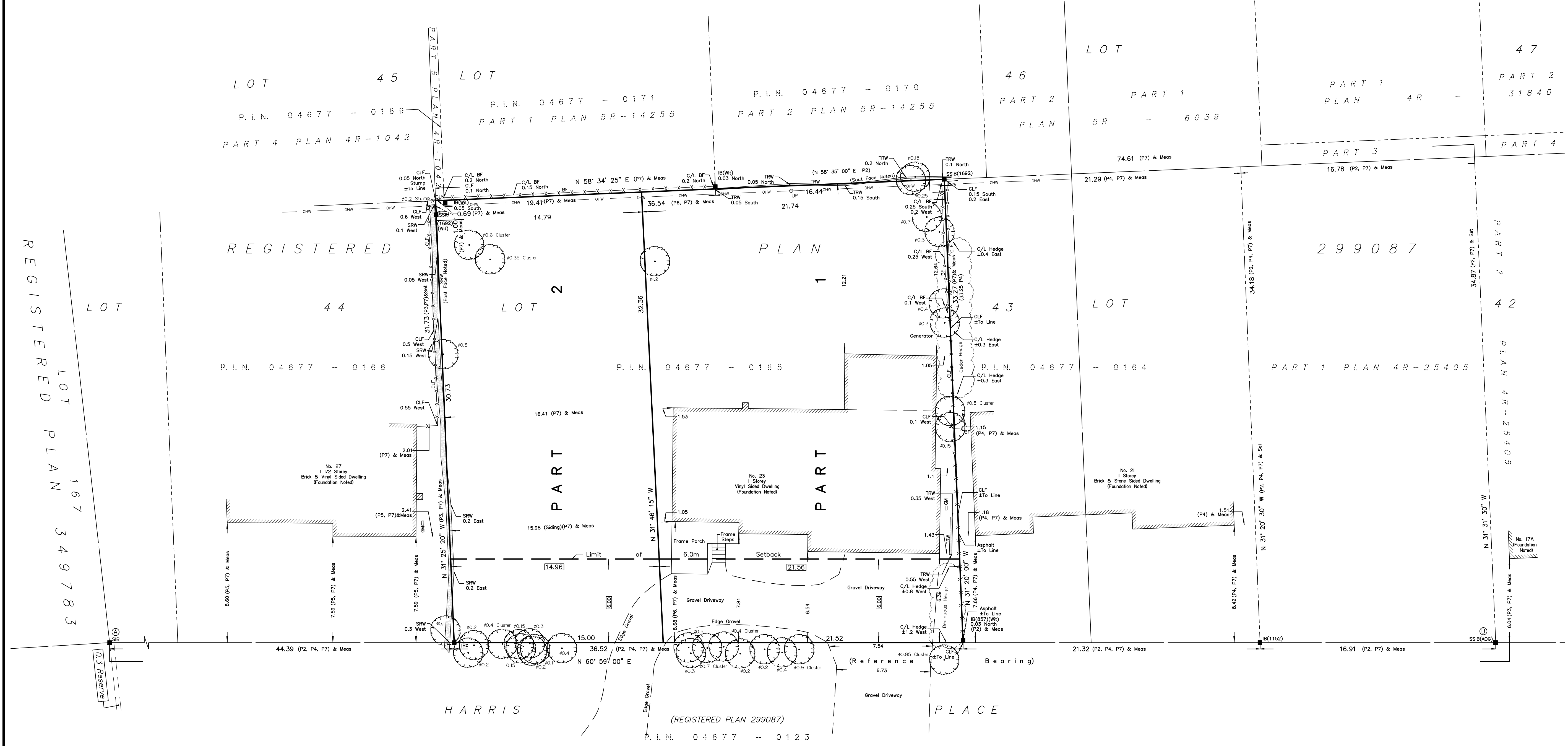
Surveyor's Certificate

I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
2. The survey was completed on the ___ day of _____, 2025.

Date: _____
Emad Alrfaai
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-XXXXX
FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: info@fsdsurveys.ca



REGISTERED LOT PLAN 167 349783