



URBAN FORESTRY & FOREST MANAGEMENT CONSULTING

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Committee of Adjustment
Received | Reçu le

Revised | Modifié le : 2025-01-30

City of Ottawa | Ville d'Ottawa
Comité de dérogation

November 25, 2024

Van Sheppard, P. Eng.
3440 Woodroffe Avenue
Ottawa, ON K2J 3Z8

RE: REVISED TREE INFORMATION REPORT (FULL) FOR 3440 WOODROFFE AVENUE

This report details tree information for the above noted property in Ottawa. The need for this report is related to trees protected under the City of Ottawa's Tree Protection By-law (By-law No. 2020-340). The By-law reflects Section 4.8.2. of the City of Ottawa's Official Plan which calls for the retention of the City's urban forestry canopy and, in particular, the protection of large, healthy trees.

Tree information reports are to include assessments of all impacted distinctive trees on the subject and adjacent private properties. Within the suburban area of Ottawa distinctive trees are identified as having diameters of 50cm and greater at 1.3m from grade. Eight such trees were present on the subject property and adjacent private properties. Trees of any diameter on adjacent City of Ottawa property are also to be included in tree information reports. Three such trees were found. Table 1 on pages 2, 3 and 4 of this report details the trees found on the subject and adjacent properties.

The proposed work for this large residential property consists of severing it into four separate lots and construction of three new single-detached dwellings. This report was prepared as a partial requirement for the severance application. Field work for this report was completed in July 2022 and October 2024.

The approval of this report by the City of Ottawa and the issuing of a permit by them authorize the removal of approved trees. **Importantly, although this report may be used to support the application for a city tree removal permit, it does not by itself constitute permission to remove trees or begin site clearing activities. No such work should occur before a tree removal permit is issued by the City's General Manager authorizing the injury or destruction of a tree in accordance with the by-law. Further, the removal of shared or neighbouring trees will require written permission of the neighbouring property owner.**

PROVINCIAL REGULATIONS

Certain provincial regulations are applicable to trees on private property. In particular, the Endangered Species Act (2007) mandates that tree species on the Species at Risk in Ontario (SARO) list be identified. Butternut (*Juglans cinerea*) and black ash (*Fraxinus nigra*) are present in Eastern Ontario and are listed as threatened on the SARO. Because of this they are protected from harm. No trees of these two species were identified on the subject or nearby adjacent properties.



TREE SPECIES, OWNERSHIP, SIZE, CONDITION AND REMOVAL STATUS

Table 1 below details the species, ownership, size (diameter), condition and removal status of the trees on the subject property. The tree information plan included on page 5 of this report shows the trees in relation to proposed construction.

Table 1. Tree information for 3440 Woodroffe Avenue

Tree No.	Tree species /Tolerance to Construction ¹	Owner -ship ²	DBH ³ (cm)	CRZ ⁴ (m)	Distance to excavation (m) ⁵	Tree Condition, Age Class, Condition Notes, and Species Origin	Reason for removal ⁶	Forester's Opinion re. Removal
1	Sugar maple (<i>Acer saccharum</i>) / Poor - Moderate	Neighbour	+/-70	+/-7	>10	Fair; very mature; clear bole to 12m with central leader and competing lateral towards northwest; native species	Not applicable – to be preserved	NA
2	Sugar maple (<i>Acer saccharum</i>) / Poor - Moderate	Neighbour	+/-75	+/-7.5	>10	Fair; very mature; central stem to 10m; cavity at point of lost leader and heavily divergent lateral towards southwest; native species	Not applicable – to be preserved	NA
3	White elm (<i>Ulmus americana</i>) / Moderate - Good	Shared	64	6.4	+/-5	Good; co-dominant stems at 5m; mildly divergent and moderately asymmetric towards north due to influence of previous elm to south; no outward signs of Dutch elm disease (<i>Ophiostoma novo-ulmi</i>); native species	Not applicable – to be preserved	NA
4	White cedar (<i>Thuja occidentalis</i>) / Good	City	23 & 38	6.1	>6	Good; double stemmed from grade; mildly divergent; good crown density, annual increment (vigour) and needle colour; native species	Not applicable – to be preserved	NA

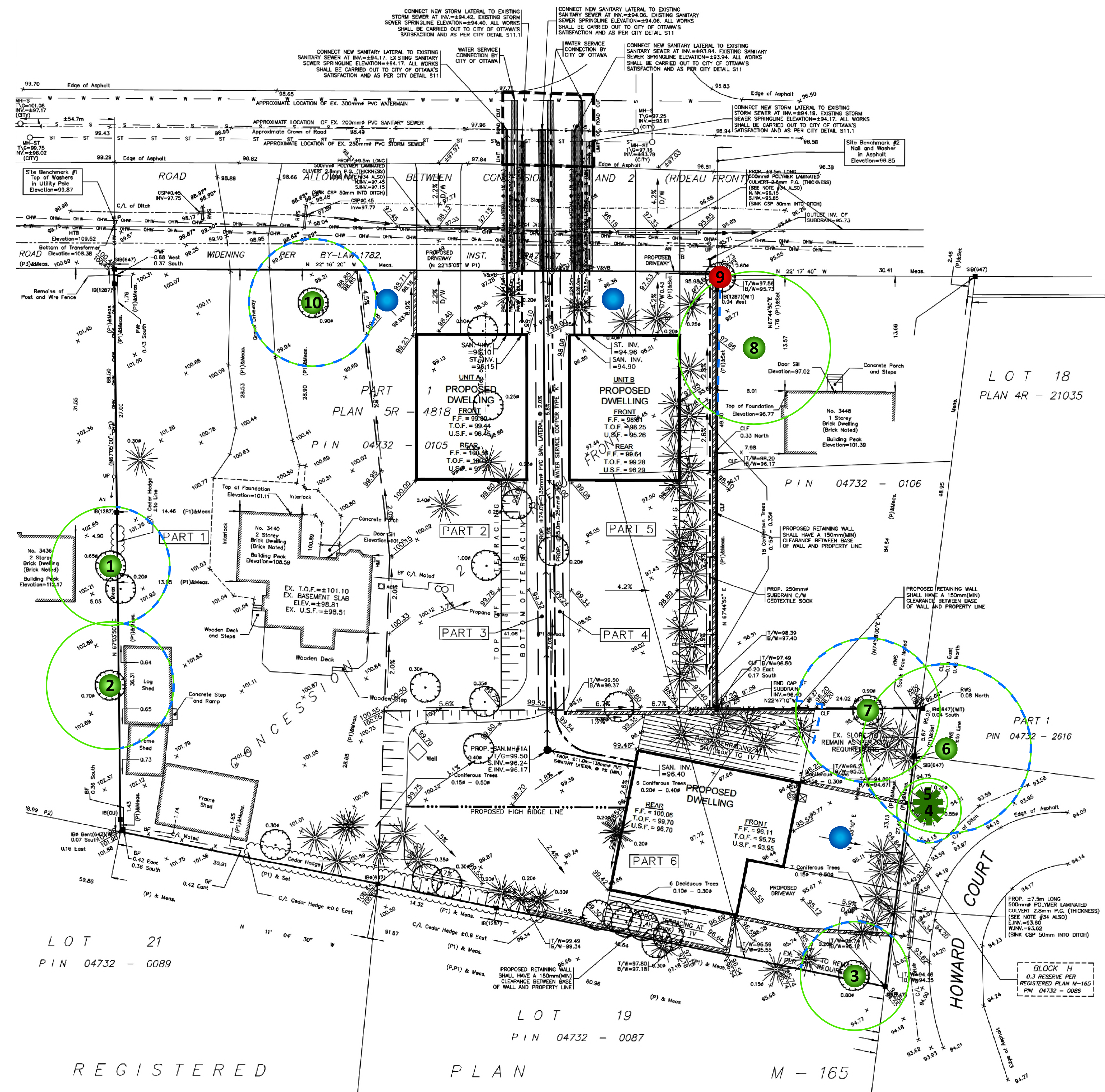
Table 1. Cont.

Tree No.	Tree species /Tolerance to Construction ¹	Owner -ship ²	DBH ³ (cm)	CRZ ⁴ (m)	Distance to excavation (m) ⁵	Tree Condition, Age Class, Condition Notes, and Species Origin	Reason for removal ⁶	Forester's Opinion re. Removal
5	White cedar (<i>Thuja occidentalis</i>) / Good	City	21 & 23	4.4	>7	Good; double stemmed from grade; both stems bisect between grade and 0.5m; mildly divergent and very asymmetric towards southeast; good crown density, annual increment (vigour) and needle colour; native species	Not applicable – to be preserved	NA
6	Manitoba maple (<i>Acer negundo</i>) / Good	City	+/- 100 (at 0.5m)	+/-10	>12	Fair; very mature; co-dominant stems at 1.2m with inclusion ridge at union; competing lateral at grade towards north; very broad crown; naturalized species	Not applicable – to be preserved	NA
7	Sugar maple (<i>Acer saccharum</i>) / Poor - Moderate	Shared	85 (at 0.6m)	8.5	>10	Fair; tri-dominant stems at 1.2-1.5m; crown asymmetric towards north and west due to influence of tree #6 and nearby spruce; native species	Not applicable – to be preserved	NA
8	Golden weeping willow (<i>Salix alba</i> var. <i>vitellina</i>) / Moderate-Good	Neighbour	+/-90	+/-9	+/-7	Fair; tri-dominant stems at 6m with suppressed lateral at 3.5m on north; all stems previously topped – upper crown dense with epicormic growth; cultivar	Not applicable – to be preserved	NA

Table 1. Cont.

Tree No.	Tree species /Tolerance to Construction ¹	Owner -ship ²	DBH ³ (cm)	CRZ ⁴ (m)	Distance to excavation (m) ⁵	Tree Condition, Age Class, Condition Notes, and Species Origin	Reason for removal ⁶	Forester's Opinion re. Removal
9	Sugar maple (<i>Acer saccharum</i>) / Poor - Moderate	Neighbour	54	5.4	+/-6	Very poor; leader missing at 2.5m – laterals on north, east and west now comprise living crown; major wound with cavities and decay 0.25-2.5m on northwest; living branches attached to deteriorating stem; native species	Very poor condition and conflicts with proposed retaining wall	Tree and stump be removed. See attached signed boundary tree declaration on page 9.
10	Sugar maple (<i>Acer saccharum</i>) / Poor - Moderate	Private	75	7.5	>8	Fair; nature; upright pedestal with co-dominant stems at 4.5m; central leader removed/dead; heavy basal damage from mowers; native species	Not applicable – to be preserved	NA

¹ As taken from Managing Trees during Construction; 2nd Ed., Fite and Smiley; ² Tree ownership determined from servicing plan prepared by T.L. Mak Engineering Consultants Ltd.; ³ Diameter at breast height, or 1.3m from grade (unless otherwise indicated); ⁴ Critical root zone (CRZ) is considered as being 10 centimetres from the trunk of a tree for every centimetre of DBH. The CRZ is calculated as DBH x 10 cm. For multi-stemmed trees the CRZ is calculated from the sum total diameter; ⁵ Approximate distances only.



GENERAL NOTES

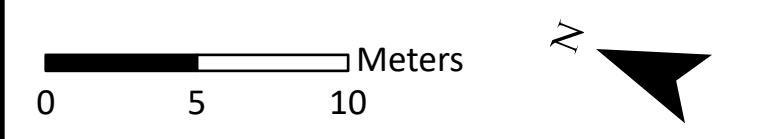
PLANS COMPLETED BY T.L. MAK ENGINEERING CONSULTANTS LTD.(03/22)

LEGEND

- DECIDUOUS TREE TO REMAIN
- ✱ CONIFEROUS TREE TO REMAIN
- CRITICAL ROOT ZONE
- PROTECTIVE FENCING
- DECIDUOUS TREE TO BE REMOVED
- PROPOSED NEW MEDIUM-SIZED DECIDUOUS TREE

REPLACEMENT TREE OPTIONS

Medium-sized Deciduous Trees	
●	Kentucky coffee tree (<i>Gymnocladus dioica</i>)
●	Hackberry (<i>Celtis occidentalis</i>)
●	Red mulberry (<i>Morus rubra</i>)
●	Honey-locust (<i>Gleditsia triacanthos</i>)
●	Ginkgo (<i>Ginkgo biloba</i>)
●	Ohio buckeye (<i>Aesculus glabra</i>)
●	Pin cherry (<i>Prunus pensylvanica</i>)



DRAWING: Tree Information Plan

PROJECT: 3440 WOODROFFE AVENUE CITY OF OTTAWA



Andrew K. Boyd, R.P.F.

SCALE: 1:250	3 4 4 0
DATE: 2024-11-24	
DRAWN BY: SS	
SHEET NO: 1	

LOT 21
PIN 04732 - 0089

LOT 19
PIN 04732 - 0087

REGISTERED

PLAN M - 165

Pictures 1 to 5 on pages 10 through 13 of this report show selected distinctive trees on and adjacent to the subject property.

TREE PROTECTION MEASURES

Protection measures intended to mitigate damage during construction will be applied to the trees to be retained. The following measures are the minimum required by the City of Ottawa to ensure tree survival during and following construction:

1. As per the City of Ottawa's tree protection barrier specification, erect a fence as close as possible to the CRZ of the trees (tree protection barrier detail included on page 7).
2. Do not place any material or equipment within the CRZ of the tree(s);
3. Do not attach any signs, notices or posters to any tree;
4. Do not raise or lower the existing grade within the CRZ without approval;
5. Tunnel or bore instead of trenching within the CRZ of any tree;
6. Do not damage the root system, trunk or branches of any tree;
7. Ensure that exhaust fumes from all equipment are NOT directed towards any tree's canopy.

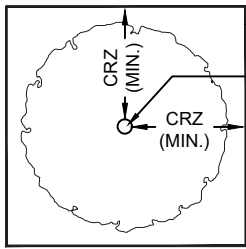
TREE PRESERVATION MEASURES

As foundation excavation is projected to occur within the CRZ of tree #8, the following measures will be taken:

1. Hydro excavation along the edge of excavation in proximity to the tree to carefully expose roots. Exposed roots will then be cleanly cut and sealed before being reburied. Excavation can then resume using traditional mechanical means. Sealing the cleanly cut root ends with a beeswax product will help prevent the loss of moisture and facilitate healing.
2. If the excavation is to be left open for any time a covering of at least three layers of moistened burlap is to be draped over the exposed face of excavation closet to the tree. This will help reduce the loss of soil moisture (as soil dries the roots contained within die).

REPLACEMENT TREE PLANTING OR COMPENSATION

The following ratios are used in terms of replacement tree planting: 2:1 for each removed distinctive tree measuring 30-49 cm in diameter and 3:1 for each distinctive tree measuring 50 cm or greater in diameter. Replacement trees must be at least 50mm in caliper if deciduous and 2m in height if coniferous. As noted on the plan on page 5, suggested locations of three medium-sized deciduous trees are proposed in compensation for the loss of tree #9.



PLAN VIEW

TREE PROTECTION FENCING

TREE TRUNK

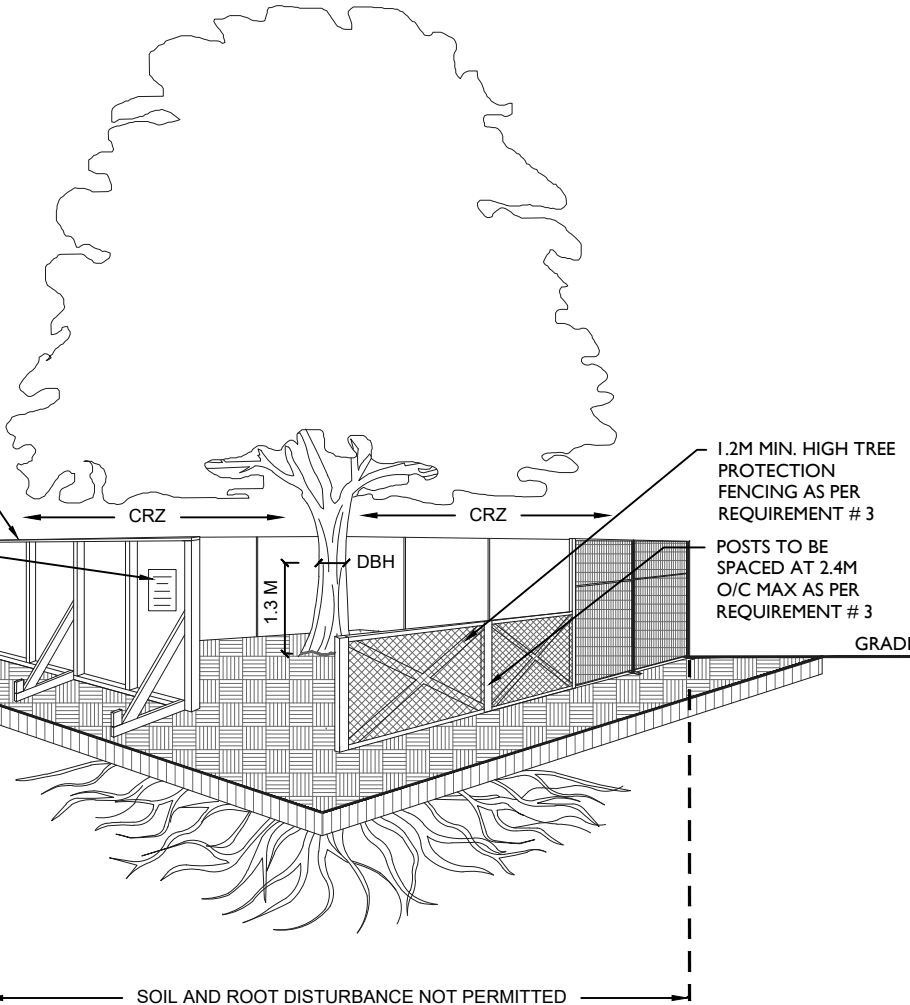
CRZ (MIN.)

CRZ (MIN.)

CRZ = DBH X 10CM.
CRZ IS TO BE MEASURED FROM THE OUTSIDE EDGE OF THE TREE BASE

TREE PROTECTION SIGNAGE AS PER CITY STANDARD

GRADE



1.2M MIN. HIGH TREE PROTECTION FENCING AS PER REQUIREMENT # 3

POSTS TO BE SPACED AT 2.4M O/C MAX AS PER REQUIREMENT # 3

SOIL AND ROOT DISTURBANCE NOT PERMITTED

TREE PROTECTION REQUIREMENTS:

1. PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10 X DIAMETER) OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
2. UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES;
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE;
 - DO NOT RAISE OR LOWER THE EXISTING GRADE;
 - TUNNEL OR BORE WHEN DIGGING;
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE;
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY.
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING
3. TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MODULOC - STEEL, PLYWOOD HOARDING, OR SNOW FENCE ON A 2"X4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ, AND INSTALLATION MUST MINIMISE DAMAGE TO EXISTING ROOTS. (SEE DETAIL)
4. THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE INFORMATION REPORT, ETC). THE PLAN AND CONSTRUCTED FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
5. IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.

THE CITY'S TREE PROTECTION BY-LAW, 2020-340 PROTECTS BOTH CITY-OWNED TREES, CITY-WIDE, AND PRIVATELY-OWNED TREES WITHIN THE URBAN AREA. PLEASE REFER TO WWW.OTTAWA.CA/TREEBYLAW FOR MORE INFORMATION ON HOW THE TREE BY-LAW APPLIES.

ACCESSIBLE FORMATS AND COMMUNICATION SUPPORTS ARE AVAILABLE, UPON REQUEST



TREE PROTECTION SPECIFICATION

TO BE IMPLEMENTED FOR RETAINED TREES, BOTH ON SITE AND ON ADJACENT SITES, PRIOR TO ANY TREE REMOVAL OR SITE WORKS AND MAINTAINED FOR THE DURATION OF WORK ACTIVITIES ON SITE.

SCALE: NTS

DATE: MARCH 2021

DRAWING NO.: 1 of 1

I trust this report satisfies your requirements. Please do not hesitate to contact the undersigned with any questions or comments you may have.

This report is subject to the attached Limitations of Tree Assessments and Liability to which the reader's attention is directed.

Yours,



Andrew K. Boyd, B.Sc.F, R.P.F. (#1828)
Certified Arborist #ON-0496A
Consulting Urban Forester



Declaration of Boundary Tree Co-owner

Declaration

I, Susanne Campbell, the property owner (s) / authorized representative(s) of the property owner(s) at 3448 Woodroffe Ave, hereby acknowledge that an Application for Tree Permit is being submitted to the City of Ottawa pursuant to the Tree Protection By-law No. 2020-340 by the owner(s) of 3440 Woodroffe Ave (the "Applicant").

I declare that I am the co-owner of the #10 Sugar Maple tree of size 54 cm DBH (the "Boundary Tree"). I have read and understand the required procedures and provisions under the City of Ottawa's Tree Protection By-law and I consent to the intentions respecting the proposed work for which this Application for Tree Removal Permit is being made and that the statements made in this application are, to the best of my knowledge, true and complete.

- I certify that I am the legal owner(s) / authorized representative(s) of the legal owner(s) of the property where the Boundary Tree listed above is located.
- I am the co-owner of the Boundary Tree that is the subject of the application. I am aware of the content of this application and I have read and agreed to the terms of this application.
- Personal information on this form is collected under the authority of section 135 of the Municipal Act, 2001, S.O. 2001, c25 and will be used for the administration and enforcement of Tree Protection By-law 2020-340, as amended. Questions about this collection should be directed to 311.
- The City is subject to the Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M.56, as amended ("MFIPPA") with respect to, and protection of, information under its custody and control. Accordingly, all documents provided to the City by the Applicant pursuant to this application, including this Declaration, may be available to the public unless the Party submitting the information requests that it be treated as confidential. All information is subject to MFIPPA and may be subject to release under MFIPPA, notwithstanding the applicant's request to keep the information confidential.
- I understand and acknowledge that a permit may be issued in accordance with City of Ottawa Tree Protection By-law No. 2020-340, as amended, to allow for the removal of the Boundary Tree listed above. I further understand and agree that the removal of a tree under any permit issued pursuant to this application is done at the owner's risk, and that the City of Ottawa assumes no responsibility for the removal and/or any residual effects of the removal.

Signed on October 23, 2024
 Signature of Boundary Tree Co-owner S Campbell
 Address: 3448 Woodroffe Ave Nepean, ON. K2T 6E3 328.

SELF-DECLARATION STATEMENT (TO BE SIGNED BY PROPERTY OWNER):

Van Sheppard: 613-796-8939

By signing the application, you are acknowledging and understanding that a city forestry inspector or municipal law enforcement officer may enter the property at a reasonable time for the purpose of carrying out an inspection. You also acknowledge and understand that through failure to abide by the recommendations of the approved Tree Information Report, damaging or destructing trees identified for protection, you alone will be responsible to bear fully the cost of compensation, removal, and replacement. Further, you are acknowledging having read and agreed to the Limitations of Tree Assessments and Liability included at the end of this report.



Picture 1. Trees #1 and 2 (right to left), neighbouring sugar maple trees at 3440 Woodroffe Avenue



Picture 2. Trees #9 and 10, neighbouring willow and sugar maple trees at 3440 Woodroffe Avenue



Picture 3. Tree #10, private sugar maple at 3440 Woodroffe Avenue



Picture 4. Tree #3, shared white elm at 3440 Woodroffe Avenue



Picture 5. Trees #6 and 7 (right to left), city owned Manitoba maple and shared sugar maple at 3440 Woodroffe Avenue

LIMITATIONS OF TREE ASSESSMENTS & LIABILITY

GENERAL

It is the policy of *IFS Associates Inc.* to attach the following clause regarding limitations. We do this to ensure that our clients are clearly aware of what is technically and professionally realistic in assessing trees for retention.

This report was prepared by *IFS Associates Inc.* at the request of the client. The information, interpretation and analysis expressed in this report are for the sole benefit and exclusive use of the client. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the client to whom it is addressed. Unless otherwise required by law, neither all or any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through public relations, news or other media, without the prior expressly written consent of the author, and especially as to value conclusions, identity of the author, or any reference to any professional society or institute or to any initialed designation conferred upon the author as stated in his qualifications.

This report and any values expressed herein represent the opinion of the author; his fee is in no way contingent upon the reporting of a specified value, a stipulated result, nor upon any finding to be reported. Details obtained from photographs, sketches, *etc.*, are intended as visual aids and are not to scale. They should not be construed as engineering reports or surveys. Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be reassessed at least annually. The assessment presented in this report is valid at the time of the inspection only. The loss or alteration of any part of this report invalidates the entire report.

LIMITATIONS

The information contained in this report covers only the tree(s) in question and no others. It reflects the condition of the assessed tree(s) at the time of inspection and was limited to a visual examination of the accessible portions only. *IFS Associates Inc.* has prepared this report in a manner consistent with that level of care and skill ordinarily exercised by members of the forestry and arboricultural professions, subject to the time limits and physical constraints applicable to this report. The assessment of the tree(s) presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above-ground portions of each tree for structural defects, scars, cracks, cavities, external indications of decay such as fungal fruiting bodies, evidence of insect infestations, discoloured foliage, the condition of any visible root structures, the degree and direction of lean (if any), the general condition of the tree(s) and the surrounding site, and the proximity of people and property. Except where specifically noted in the report, the tree(s) examined were not dissected, cored, probed or climbed to gain further evidence of their structural condition. Also, unless otherwise noted, no detailed root collar examinations involving excavation were undertaken.

While reasonable efforts have been made to ensure that the tree(s) proposed for retention are healthy, no warranty or guarantee, expressed or implied, are offered that these trees, or any parts of them, will remain standing. This includes other trees on or off the property not examined as part of this assignment. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree or groups of trees or their component parts in all circumstances, especially when within construction zones. Inevitably, a standing tree will always pose some risk. Most trees have the potential for failure in the event of root loss due to excavation and other construction-related impacts. This risk can only be eliminated through full tree removal.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site conditions, or seasonal variations in the weather. It is a condition of this report that *IFS Associates Inc.* be notified of any changes in tree condition and be provided an opportunity to review or revise the recommendations within this report. Recognition of changes to a tree's condition requires expertise and extensive experience. It is recommended that *IFS Associates Inc.* be employed to re-inspect the tree(s) with sufficient frequency to detect if conditions have changed significantly.

ASSUMPTIONS

Statements made to *IFS Associates Inc.* in regard to the condition, history and location of the tree(s) are assumed to be correct. Unless indicated otherwise, all trees under investigation in this report are assumed to be on the client's property. A recent survey prepared by a Licensed Ontario Land Surveyor showing all relevant trees, both on and adjacent to the subject property, will be provided prior to the start of field work. The final version of the grading plan for the project will be provided prior to completion of the report. Any further changes to this plan invalidate the report on which it is based. *IFS Associates Inc.* must be provided with the opportunity to revise the report in relation to any significant changes to the grading plan. The procurement of said survey and grading plan, and the costs associated with them both, are the responsibility of the client, not *IFS Associates Inc.*

LIABILITY

Without limiting the foregoing, no liability is assumed by *IFS Associates Inc.* for: 1) any legal description provided with respect to the property; 2) issues of title and/or ownership with respect to the property; 3) the accuracy of the property line locations or boundaries with respect to the property; 4) the accuracy of any other information provided by the client or third parties; 5) any consequential loss, injury or damages suffered by the client or any third parties, including but not limited to replacement costs, loss of use, earnings and business interruption; and, 6) the unauthorized distribution of the report.

INDEMNIFICATION

An applicant for a permit or other approval based on this report shall agree to indemnify and save harmless *IFS Associates Inc.* from any and all claims, demands, causes of action, losses, costs or damages that affected private landowners and/or the City of Ottawa may suffer, incur or be liable for resulting from the issuance of a permit or approval based on this report or from the performance or non-performance of the applicant, whether with or without negligence on the part of the applicant, or the applicant's employees, directors, contractors and agents.

Further, under no circumstances may any claims be initiated or commenced by the applicant against *IFS Associates Inc.* or any of its directors, officers, employees, contractors, agents or assessors, in contract or in tort, more than 12 months after the date of this report.

ONGOING SERVICES

IFS Associates Inc. accepts no responsibility for the implementation of any or all parts of the report, unless specifically requested to supervise the implementation or examine the results of activities recommended herein. If examination or supervision is requested, that request shall be made in writing and the details, including fees, agreed to in advance.