

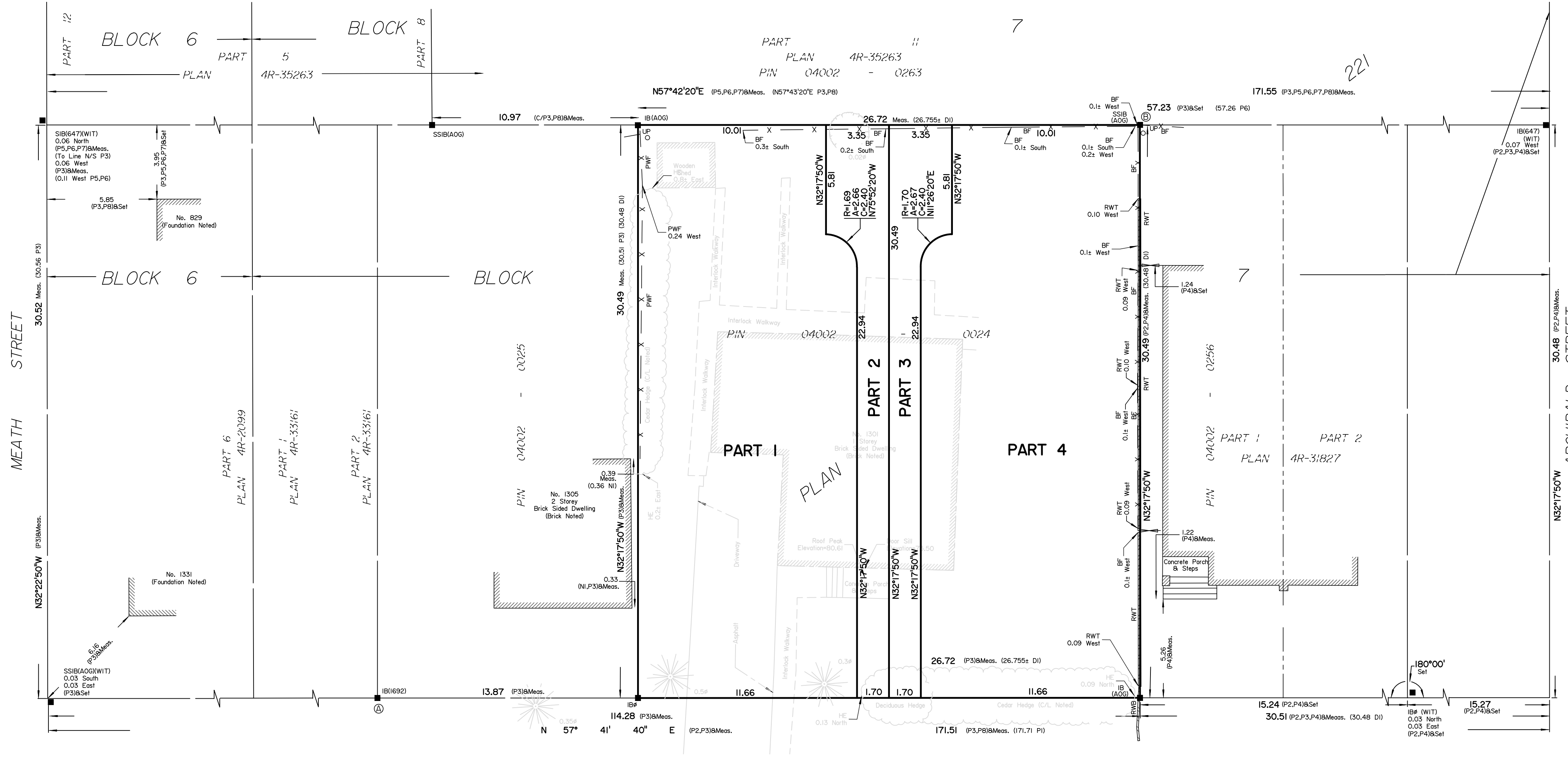
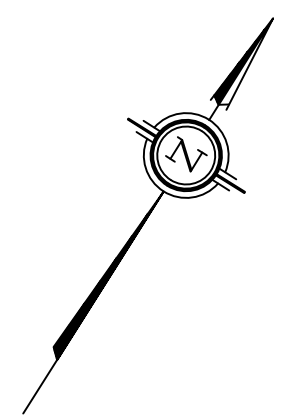
Notes & Legend

- | | | | |
|-------|-----------------------------------|------|------------------------------------|
| —□— | Denotes | (P1) | Registered Plan 221 |
| —■— | Survey Monument Planted | (P2) | Plan 4R-31827 |
| —■— | Survey Monument Found | (P3) | Plan 4R-33161 |
| SIB | Standard Iron Bar | (P4) | (AOG) Plan Dated March 20, 2019 |
| SSIB | Short Standard Iron Bar | (P5) | Plan 4R-35263 |
| IB | Iron Bar | (P6) | Plan 4R-35076 |
| IBØ | Round Iron Bar | (P7) | (AOG) Plan Dated August 21, 2023 |
| N/S | North-South | (P8) | (1692) Plan Dated January 13, 2021 |
| C/ | Calculated Per | (NI) | (647) Field Notes Reference 10-221 |
| (WIT) | Witness | (DI) | Inst. CR475554 |
| Meas. | Measured | BF | Board Fence |
| (AOG) | Annis, O'Sullivan, Vollebakk Ltd. | PWF | Post and Wire Fence |
| RWT | Wood Retaining Wall | ⊘ | Gate |
| RWB | Brick Retaining Wall | | |

Committee of Adjustment
 Received | Reçu le
 2025-01-22
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

| SCHEDULE | | | | | |
|-------------------------|--------------|------|-------|------|----------------------|
| PURPOSE | AREA (Sq.m.) | PART | BLOCK | PLAN | PIN |
| 1303 Thames Ave | 345.4 | 1 | 7 | 221 | ALL OF 04002-0024 |
| 1303 Thames Ave & R.O.W | 61.9 | 2 | | | |
| 1301 Thames Ave & R.O.W | 61.8 | 3 | | | |
| 1301 Thames Ave | 345.4 | 4 | | | |

PRELIMINARY



PLAN OF SURVEY OF PART OF BLOCK 7 REGISTERED PLAN 221 CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 150

 The intended plot size of the plan is 762 mm in width by 457 mm in height when plotted at a scale of 1:150

Metric
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
 I CERTIFY THAT:
 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
 2. The survey was completed on the ___ day of _____, 2025.

MMM DD YYYY Date T. Hartwick Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-97635

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999933.
 Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of Nxx°xx'xx"W and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

| | | | | |
|---------------|----------|------------|---------|-----------|
| . 01919680005 | Northing | 5027191.26 | Easting | 361496.76 |
| . 01919680105 | Northing | 5024915.16 | Easting | 373971.65 |
| . Point A | Northing | 5027373.81 | Easting | 364646.33 |
| . Point B | Northing | 5027421.27 | Easting | 364664.35 |

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

REGISTERED

THAMES STREET
 (Formerly Thomas Street)
 P/N 04002 - 0164

ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
 14 Concourse Gate, Suite 500
 Nepean, Ont. K2E 7S6
 Phone: (613) 727-0850 / Fax: (613) 727-1079
 Email: Nepean@aosvlltd.com
 Ontario Land Surveyors Job No. 25616-25 RickWilson P1Bk7 P121 R D2

SITE PLAN OF TOPO. PLAN SURVEY OF PART OF BLOCK 7, REGISTERED PLAN 221, CITY OF OTTAWA

ZONING: R2G
RESIDENTIAL SECOND DENSITY (SEC. 157-158) CITY OF OTTAWA

PROPOSED BUILDING TYPE: 3 STOREY LONG SEMI-DETACHED c/w 2 ADUs EACH SIDE 6 x 2 ADUs

LOT DEPTH: 30.49m (100.0')

ADJACENT ZONING:
NORTH: AM10(2518) S389
SOUTH: RUC
WEST SIDE: R2G
EAST SIDE: R2G

SCHEDULE 1 AREA: AREA 'B'
SCHEDULE 1A AREA: AREA 'X'

LOT INFO

| STANDARD | THAMES REQUIRED | 1303 THAMES PROPOSED | 1301 THAMES PROPOSED | NOTES |
|-----------------|-------------------|----------------------|----------------------|--------|
| LOT WIDTH: | 13m | 13.80m | 13.80m | |
| LOT AREA: | 225m ² | 408.3m ² | 408.3m ² | M.V.R. |
| HEIGHT: | 8m | 10.90m | 10.90m | |
| FRONT YARD: | 4.5m | 4.55m | 4.55m | |
| CORNER YARD: | n/a | n/a | n/a | |
| REAR YARD: | 7.5m | 7.56m | 7.56m | |
| INTERIOR YARD: | 1.2m | 1.52m | 1.52m | |
| AMENITY AREA: | n/a | 3.95m T. | 3.07m T. | |
| PARKING SPACES: | 0 | 2 | 2 | |
| BIKE SPACES: | 0 | 2 | 2 | |
| M.L.C.: | NO MAX. | | | |

BUILDING AREAS

| | | |
|---------------------|---------------------|---------------------|
| BASEMENT FL. GFA: | 165.3m ² | 165.3m ² |
| FIRST FL. GFA: | 165.3m ² | 165.3m ² |
| SECOND FL. GFA: | 165.3m ² | 165.3m ² |
| THIRD FL. GFA: | 0.0m ² | 0.0m ² |
| STORAGE: | 0.0m ² | 0.0m ² |
| GARAGE: | 0.0m ² | 0.0m ² |
| EXITS (ALL FLOORS): | 77.6m ² | 77.6m ² |
| TOTAL LIVING: | 661.2m ² | 661.2m ² |
| TOTAL ALL AREAS: | 738.8m ² | 738.8m ² |

PROPOSED SITE DEVELOPMENT INFO.

| | | |
|-----------------------|---------------------|---------------------|
| NEW GROSS FLOOR AREA: | 661.2m ² | 661.2m ² |
| EX. GROSS FLOOR AREA: | 0.0m ² | 0.0m ² |
| NUMBER OF UNITS: | 1 PDU + 2 ADUs | 1 PDU + 2 ADUs |
| PROPOSED STOREYS: | 3 | 3 |

BUILDING COVERAGE: 45.3%
SOFT LANDSCAPING CVG.: 19.6%
HARD LANDSCAPING CVG.: 10.1%
DECKSPORCHSTEPS: 3.2%
ASPHALT CVG.: 21.1%
OTHER: 0.0%

WASTE COLLECTION LEGEND

| | |
|----|--|
| GB | |
| BB | |
| B | |
| G | |

SITE NOTES

- NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES
- EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY
- ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL
- ALL MEASUREMENTS ARE IMPERIAL AND (METRIC)
- EXISTING GRADINGS AND DRAINAGE PATTERNS NOT TO BE ALTERED

EXISTING PLANTING MATERIAL

| CODE | COMMON NAME | QTY. | SIZE (DIA.) | CONDITION/NOTES |
|-------------------------|-------------|------|-------------|-----------------|
| DECIDUOUS TREES | | | | |
| CONIFEROUS TREES | | | | |
| SHRUBS | | | | |

NEW PLANTING MATERIAL

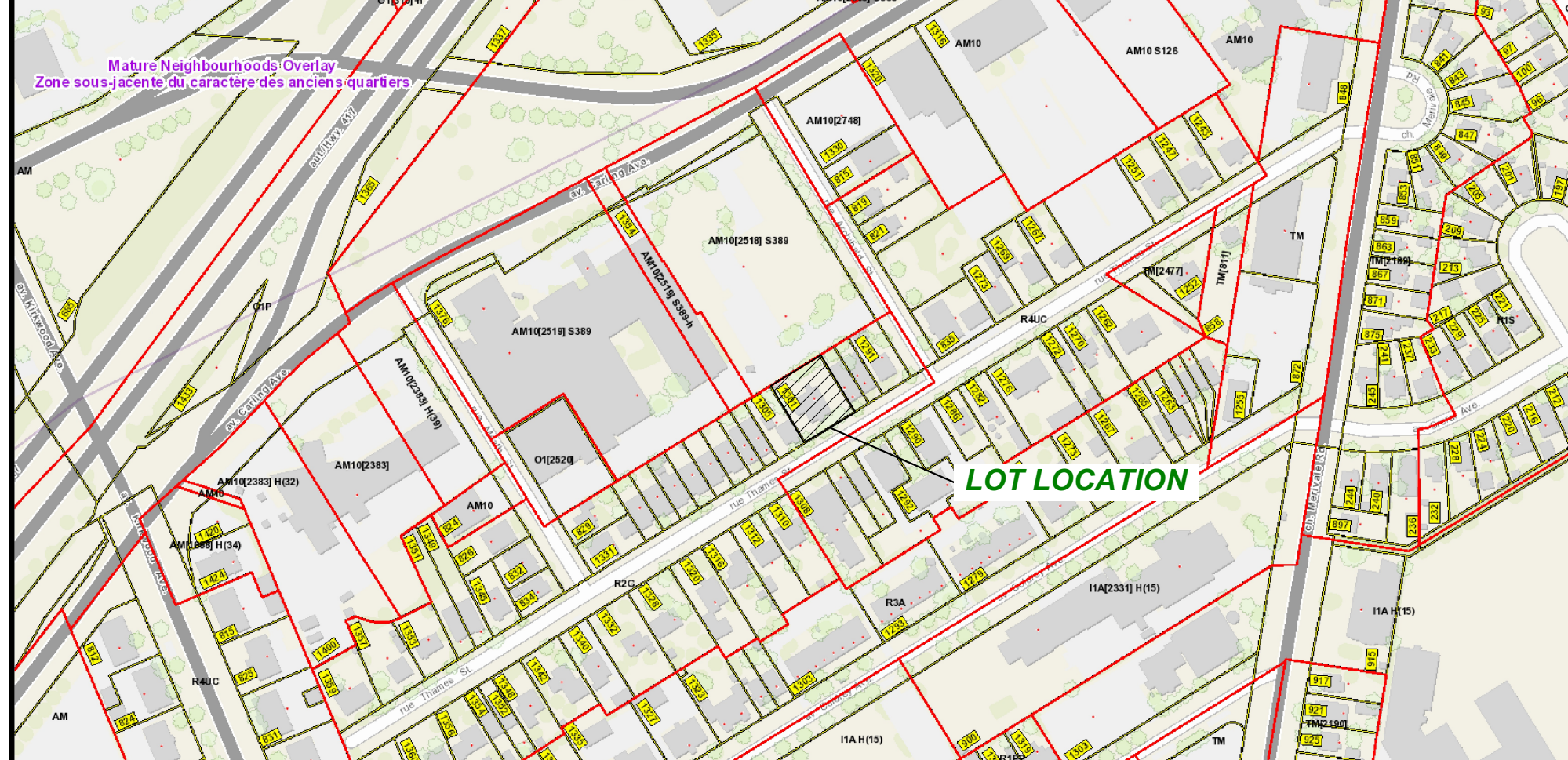
| CODE | COMMON NAME | QTY. | SIZE (DIA.) | CONDITION/NOTES |
|-------------------------|-------------|------|-------------|-----------------|
| DECIDUOUS TREES | | | | |
| CONIFEROUS TREES | | | | |
| SHRUBS | | | | |

TREE CONSERVATION NOTES

- ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES.
- DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE.
- DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.
- DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL.
- TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.
- DO NOT DAMAGE THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE.
- ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.

* THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAST HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH X 10 CM.
* TREE PROTECTION FENCE (PF) TO BE ERECTED BEFORE AND REMAIN UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.8m HIGH PLYWOOD HOARDING (SEE DIAGRAM BELOW).

3 KEY PLAN & CONTEXT
A1 SCALE NO SCALE



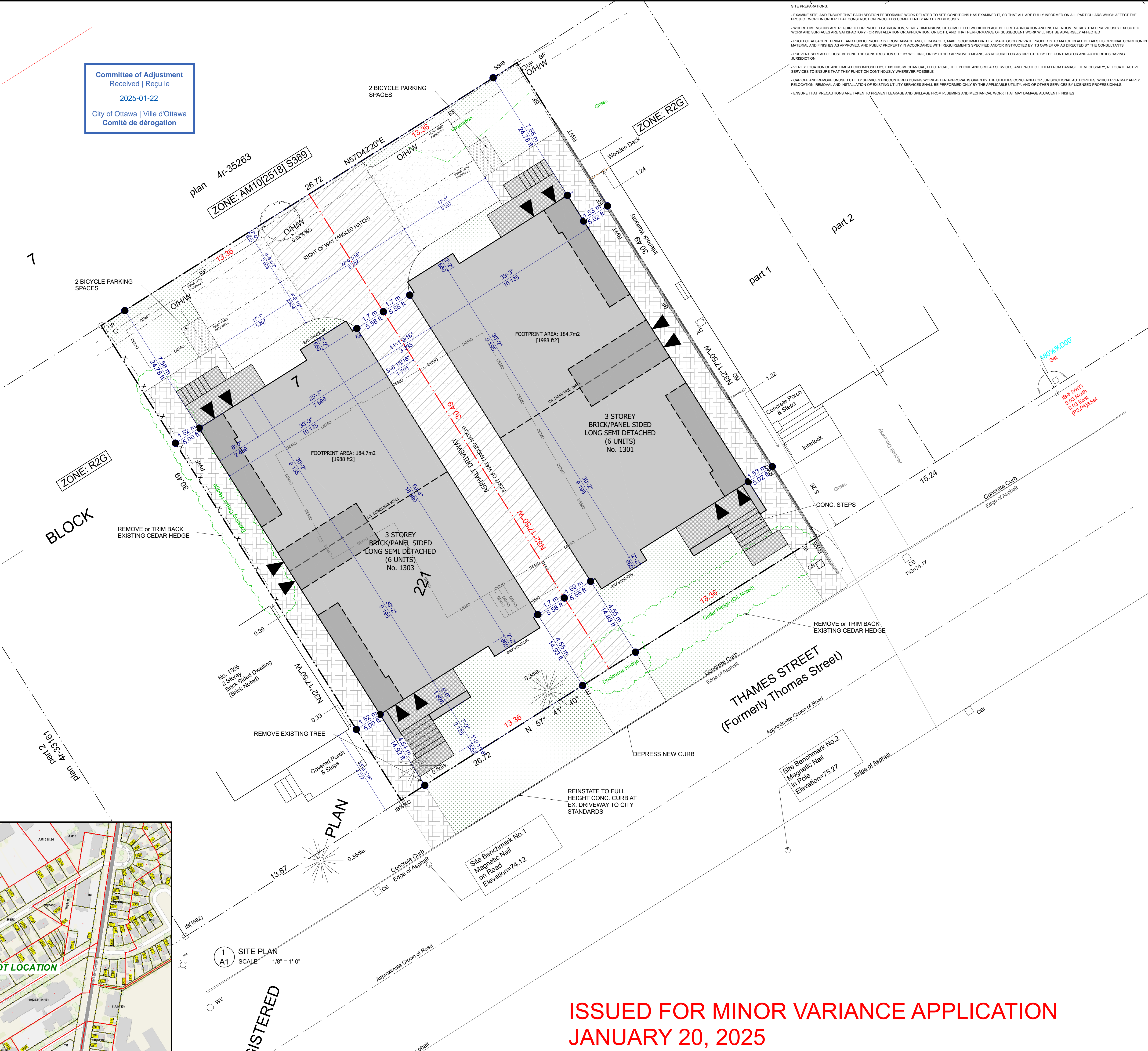
SITE LEGEND

- EX. TREE TO BE REMOVED
- NEW CONIFEROUS TREE
- DENOTES SOFT LANDSCAPING
- DENOTES HARD LANDSCAPING
- EXISTING BUILDING FOOTPRINT
- PROPOSED HONEYCOMB HARD LANDSCAPING
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED WOOD DECKS/BALCONIES
- CAR PARKING SPACE (ASPHALT)
- BYCICLE PARKING (ASPHALT)
- WASTE COLLECTION AREA
- SNOW STORAGE AREA
- PROPOSED/EXISTING ENTRY/EXIT
- PF - TEMPORARY PROTECTION FENCE
- EX. UTILITY POLE
- EX. CHAINED LINK/BOARD FENCE
- PROPERTY LINE

WASTE COLLECTION LEGEND

| | |
|----|--|
| GB | |
| BB | |
| B | |
| G | |

Committee of Adjustment
Received | Reçu le
2025-01-22
City of Ottawa | Ville d'Ottawa
Comité de dérogation



SITE PREPARATIONS

- EXAMINE SITE, AND ENSURE THAT EACH SECTION PERFORMING WORK RELATED TO SITE CONDITIONS HAS EXAMINED IT, SO THAT ALL ARE FULLY INFORMED ON ALL PARTICULARS WHICH AFFECT THE PROJECT WORK IN ORDER THAT CONSTRUCTION PROCEEDS COMPETENTLY AND EXPEDITIOUSLY
- WHERE DIMENSIONS ARE REQUIRED FOR PROPER FABRICATION, VERIFY DIMENSIONS OF COMPLETED WORK IN PLACE BEFORE FABRICATION AND INSTALLATION. VERIFY THAT PREVIOUSLY EXECUTED WORK AND SURFACES ARE SATISFACTORY FOR INSTALLATION OR APPLICATION, OR BOTH, AND THAT PERFORMANCE OF SUBSEQUENT WORK WILL NOT BE ADVERSELY AFFECTED
- PROTECT ADJACENT PRIVATE AND PUBLIC PROPERTY FROM DAMAGE AND, IF DAMAGED, MAKE GOOD IMMEDIATELY. MAKE GOOD PRIVATE PROPERTY TO MATCH IN ALL DETAILS ITS ORIGINAL CONDITION MATERIAL AND FINISHES AS APPROVED, AND PUBLIC PROPERTY IN ACCORDANCE WITH REQUIREMENTS SPECIFIED AND/OR INSTRUCTED BY ITS OWNER OR AS DIRECTED BY THE CONSULTANTS
- PREVENT SPREAD OF DUST BEYOND THE CONSTRUCTION SITE BY WETTING, OR BY OTHER APPROVED MEANS, AS REQUIRED OR AS DIRECTED BY THE CONTRACTOR AND AUTHORITIES HAVING JURISDICTION
- VERIFY LOCATION OF AND LIMITATIONS IMPOSED BY, EXISTING MECHANICAL, ELECTRICAL, TELEPHONE AND SIMILAR SERVICES, AND PROTECT THEM FROM DAMAGE. IF NECESSARY, RELOCATE ACTIVE SERVICES TO ENSURE THAT THEY FUNCTION CONTINUOUSLY WHEREVER POSSIBLE
- CAP OFF AND REMOVE UNUSED UTILITY SERVICES ENCOUNTERED DURING WORK AFTER APPROVAL, IS GIVEN BY THE UTILITIES CONCERNED OR JURISDICTIONAL AUTHORITIES, WHOSE EVER MAY APPLY. RELOCATION, REMOVAL AND INSTALLATION OF EXISTING UTILITY SERVICES SHALL BE PERFORMED ONLY BY THE APPLICABLE UTILITY, AND OF OTHER SERVICES BY LICENSED PROFESSIONALS.
- ENSURE THAT PRECAUTIONS ARE TAKEN TO PREVENT LEAKAGE AND SPILLAGE FROM PLUMBING AND MECHANICAL WORK THAT MAY DAMAGE ADJACENT FINISHES

AZUL DESIGNS - BCIN: 15400
2277 PROSPECT AVE.
OTTAWA, ON K1H 7G2
FERNANDO MATOS - BCIN: 22431
613-884-4425

QUALIFICATION INFO
SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DRAWER
COPYRIGHT RESERVED
GENERAL NOTES:

1301 THAMES STREET
SCOPE OF WORK: NEW 3-STOREY LONG-SEMI DETACHED DWELLINGS c/w 4 ADUs

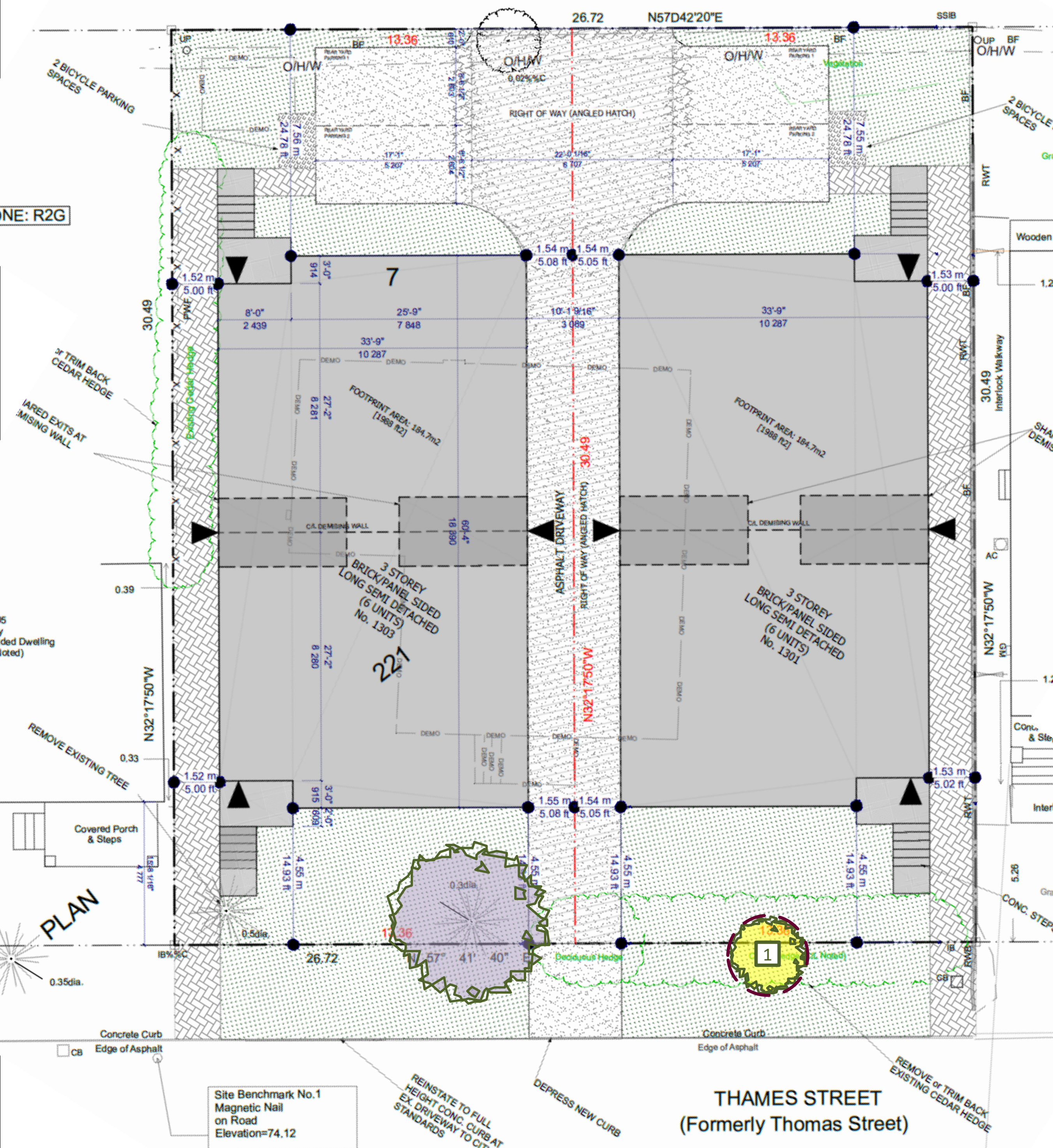
CONSULTANTS:
STRUCTURAL: MOY
MECHANICAL: MOY
ELECTRICAL: MOY

5 ISSUED FOR CONSTRUCTION #1 0000000
4 REVISION #11 0000000
3 PERMIT SUBMISSION 0000000
2 REV. SUBMISSION 0110000
1 PRELIMINARIES 1200000

NO. REVISION/DATE DATE
PROJECT: **1301 THAMES ST.**
1301 THAMES ST.
OTTAWA, ON K1H 7N2 613-000-0000
DRAWING NAME: **SITE & LANDSCAPE PLAN**
DRAWN BY: F.M. SHEET: **A1**
DATE: DEC. 4, 2024
SCALE: AS NOTED

FILE NUMBER: 000-00-0000

ISSUED FOR MINOR VARIANCE APPLICATION
JANUARY 20, 2025



Replacement Tree Specifications

Note: Proposed tree locations are suggestions only and should be finalized only once construction is complete and should adhere to City of Ottawa Tree Planting Guidelines

Tree 1 should be a large growing tree at maturity. Site conditions are expected to be full light exposure and moderate moisture availability. Species suggestions include:

- White oak - *Quercus alba**
 - Freeman maple - *Acer x freemanii*
 - Tulip tree - *Liriodendron tulipifera*
 - Red oak - *Quercus rubra**
 - Northern catalpa - *Catalpa speciosa*
 - Kentucky coffee tree - *Gymnocladus dioicus*
 - Basswood - *Tilia americana**
 - Hackberry - *Celtis occidentalis**
 - Horsechestnut - *Aesculus hippocastanum*
 - Katsura - *Cercidiphyllum japonicum*
 - Sugar maple - *Acer saccharum**
- *Native to Ottawa region: Planting species native to a region can help maintain and enhance biodiversity.

Note: Norway maple (*Acer platanoides*) is not recommended as it is highly invasive and not a suitable tree for urban planting.

The species recommended herein are the most suitable species based on the existing plans. For best success, tree species should be matched to site conditions.

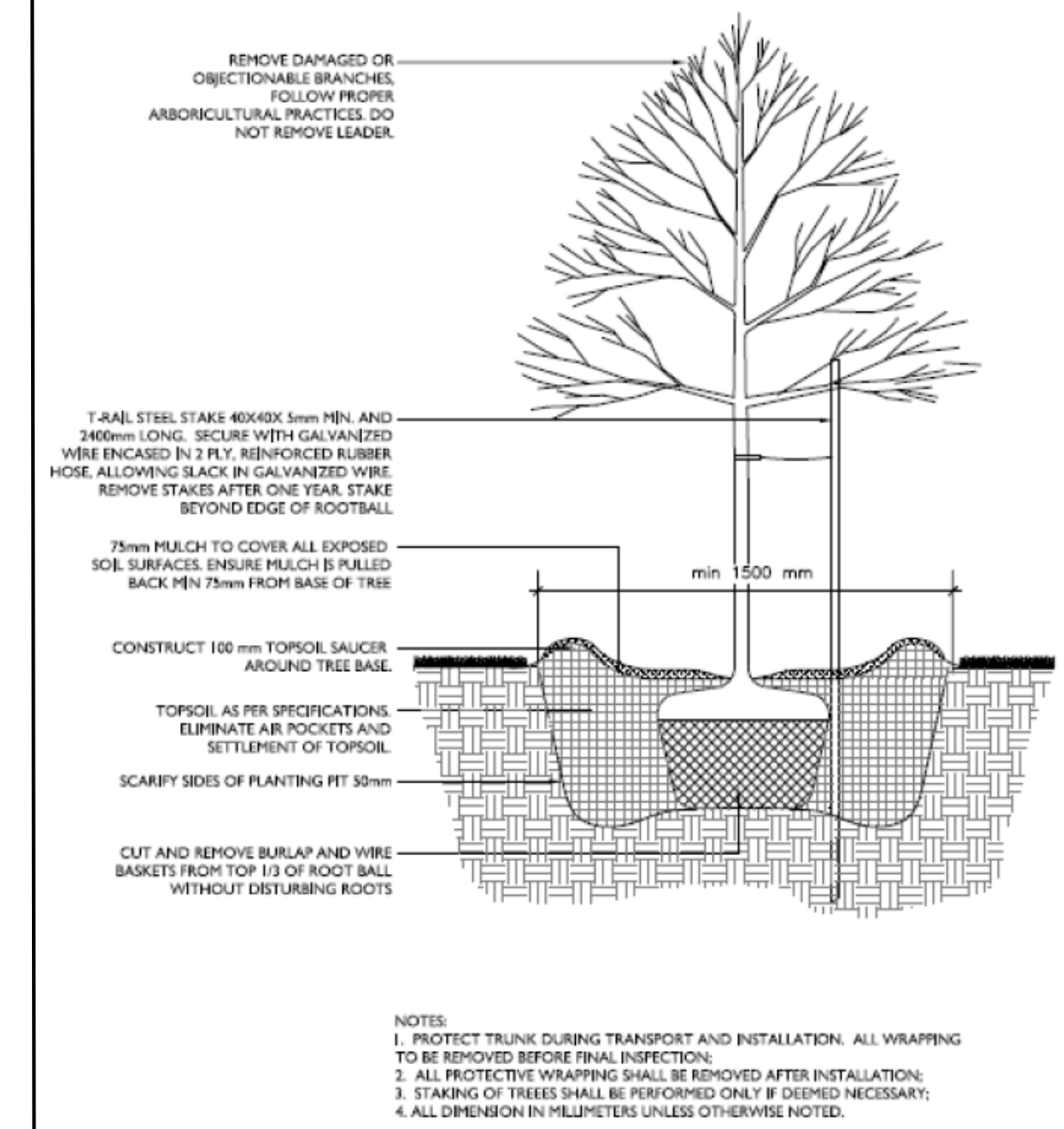
All deciduous trees must be a minimum of 50 mm in diameter measured no less than 15 cm above ground level. Coniferous trees must be no less than 200 cm in height.

Committee of Adjustment
Received | Reçu le
2025-01-22
City of Ottawa | Ville d'Ottawa
Comité de dérogation



Tree Planting Plan – 1301 Thames Street
Prepared by Dendron Forestry Services
Version 1.0, January 8, 2025
For more information, please contact:
info@dendronforestry.ca

Note: the tree layer has been added to the original grading plan supplied by the client in pdf format. This layer refers to the trees only, and the original grading plan has not been altered in the process. Refer to the original plan for details as quality is lost when importing the plan into the mapping software used to create the tree layer.



KEY SPACING GUIDELINES

For Deciduous Trees:

- Minimum 50mm caliper stock
- 1.5m from sidewalks, driveways, walkways, fences, sound walls, and old stumps.
- 2.5m from curbs, hydro transformers, or behind fire hydrants
- 4-7m from any part of an existing tree, depending on canopy width
- 10m from bus shelters and community mailboxes

For Coniferous Trees:

- Follow same setbacks as deciduous, but due to the widest branching being at the base of the tree, conifers need greater setbacks for ground-level obstacles.
- Minimum 200cm height stock
- 4.5m setbacks from sidewalks, walkways, driveways, and curbs.
- Do not plant on corners where sight lines will be compromised.

TREES MUST BE WATERED REGULARLY FOLLOWING PLANTING TO ENSURE PROPER ESTABLISHMENT.

On average, a young tree needs 6 gallons (24 liters) of water twice per week. (Do not water using a sprinkler as water on the foliage can lead to fungal infection)
Placing a ring of mulch around the planting hole will help reduce water loss.
Ensure no mulch is touching the base of the tree.

Legend

- Existing Tree to be retained
- New Tree either fully or partly on city property

GENERAL PLUMBING & ELECTRICAL NOTES:
 ALL ELECTRICAL WORK TO CONFORM TO OHIO ELECTRICAL SAFETY CODE 2020 EDITION
 ALL PLUMBING WORK TO CONFORM TO OHIO PLUMBING CODE 2020 EDITION
 ALL ELECTRICAL AND PLUMBING WORK TO BE PERFORMED BY A LICENSED ELECTRICIAN
 ALL PLUMBING WORK TO BE PERFORMED BY A LICENSED PLUMBER
 ALL WORK TO BE CARRIED OUT BY AN APPROVED LICENSED TRADESMAN, PLUMBER OR ELECTRICIAN
 FOR APPROVED ANY PERMITS

| SYMBOL | DESCRIPTION |
|--------|--|
| | METER SOCKET |
| | SUB-PANEL ELECTRICAL BOX, 12 C/CTS |
| | CEILING FAN W/ LIGHT |
| | FLUORESCENT LIGHT FIXTURE |
| | 110V CEILING LIGHT FIXTURE |
| | 110V RECESSED LIGHT FIXTURE |
| | 110V EXT. WALL MOUNTED LIGHT FIXTURE |
| | PENDANT LIGHT FIXTURE |
| | PENDANT LIGHT FIXTURE (LARGE) |
| | 110V WALL LIGHT FIXTURE |
| | SINGLE POLE SWITCH |
| | THREE WAY SWITCH |
| | FOUR WAY SWITCH |
| | DIMMER SWITCH |
| | OUTDOOR SWITCH |
| | 110V DUPLEX RECEPTACLE |
| | 110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED |
| | 110V DUPLEX RECEPTACLE W/ WEATHERPROOF COVER |
| | 110V FLOOR MOUNTED DUPLEX RECEPTACLE |
| | 240V RECEPTACLE |
| | TELEPHONE JACKS |
| | CABLE JACKS |
| | DOOR BELL PUSH BUTTON |
| | THERMOSTAT TO CONTROL ALL RADIATORS WITHIN EACH OF THE UNITS |
| | SMOKE/CO DETECTOR |
| | EXHAUST FAN |
| | DOOR CHIME |
| | FIRE ALARM PANEL |
| | COMPUTER/TELEPHONE POINT |
| | 110V CENTRAL VAC OUTLET |

NOTE: ALL ITEMS ON THIS LEGEND ARE NOT NECESSARILY USED ON THE DRAWINGS

PLUMBING FIXTURE SYMBOLS AND PIPING SCHEDULE

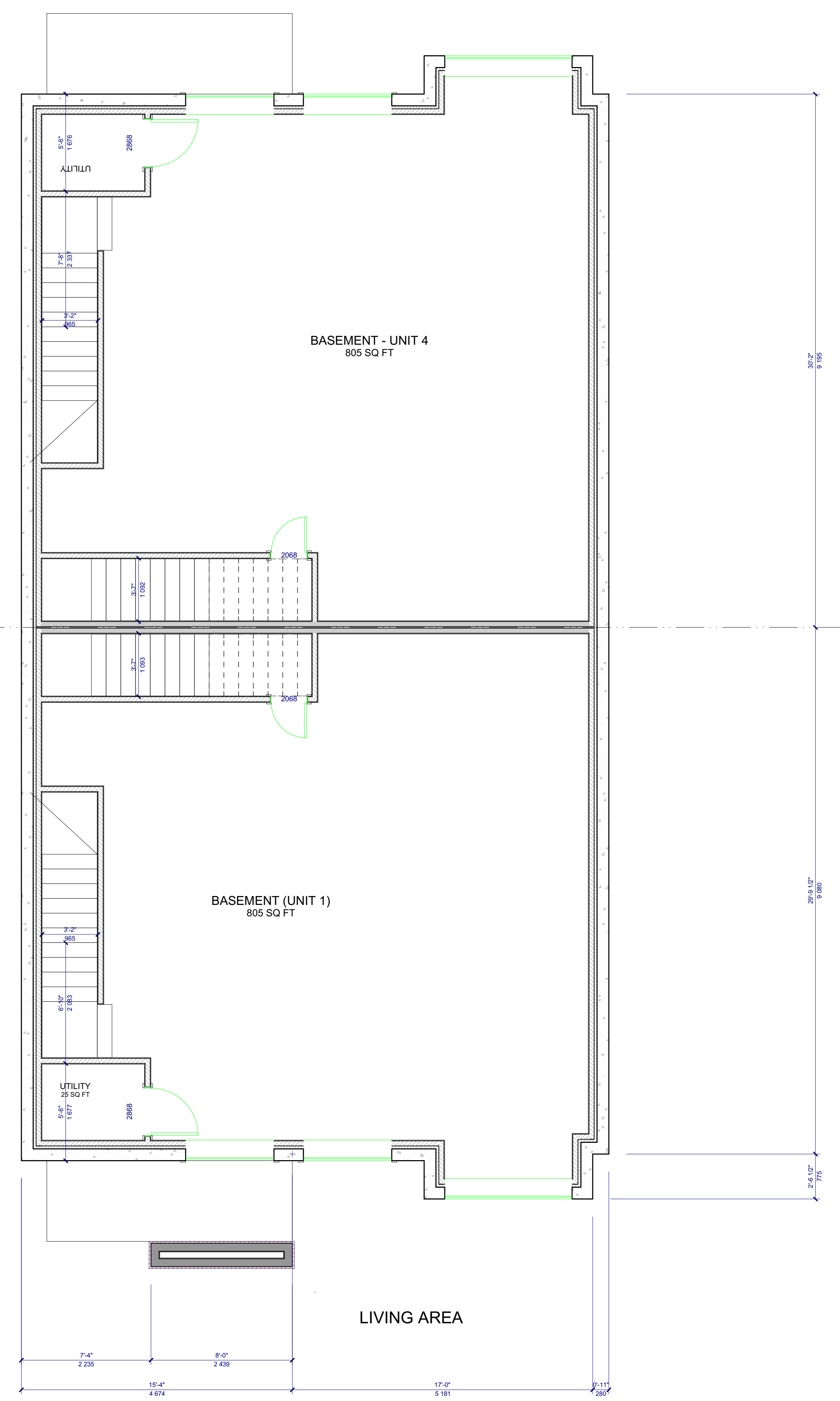
| SYMBOL | FIXTURE TYPE | DCW | DRW | SAN | VENT | COMMENTS |
|--------|------------------------------|---------|---------|-----------|-----------|--------------------------|
| | LAUNDRY TUB | 1/2" DA | 1/2" DA | 1 1/2" DA | 1 1/2" DA | |
| | HOT WATER TANK | 3/4" DA | 3/4" DA | --- | --- | |
| | FLOOR DRAIN | --- | --- | 2" DA | 1 1/2" DA | PROVIDE TRAP SEAL PRIMER |
| | WATER CLOSET | 1/2" DA | --- | 2" DA | 1 1/2" DA | |
| | SEWERAGE | --- | --- | 1 1/2" DA | 1 1/2" DA | |
| | SHOWER or TUB | 1/2" DA | 1/2" DA | 1 1/2" DA | 1 1/2" DA | |
| | RINSE, COLD WATER CONNECTION | 1/2" DA | 1/2" DA | 1 1/2" DA | 1 1/2" DA | |

- PROVIDE LABOUR, EQUIPMENT AND MATERIALS TO INSTALL A COMPLETE AND OPERABLE PLUMBING SYSTEM IN ACCORDANCE WITH THE PLUMBING CODE AND INSTALLATION TO CONFORM TO THE MOST RECENT APPLICABLE EDITIONS OF THE OBC.
- PROVIDE TRAP SEAL PRIMERS AND VENTING FOR ALL FLOOR DRAINS.
- VENTING FOR ALL FIXTURES IS TO CONFORM TO THE REQUIREMENTS OF PART 1 OF THE OBC.
- NO NEW PLUMBING IS TO BE LOCATED IN EXTERIOR WALLS.
- ALL WATER AND WASTE PIPING NOT LOCATED WITHIN WALLS OR WITHIN THE CEILING SPACE IS TO BE INSTALLED IN WALLS TO BALCONIES.
- ALL HOLES PENETRATING FIRE SEPARATIONS AS SHOWN ON THE DESIGNER'S DRAWINGS OR FLOORS MUST BE FIRE STOPPED WITH AN APPROPRIATE PRODUCT THAT IS RATED TO MATCH THE FIRE RATING OF THE FIRE SEPARATION.
- PROVIDE WARM, HOT AND COLD WATER LINES AND VENTING AS OUTLINED IN THE PLUMBING FIXTURE SCHEDULE. ALL HOT WATER PIPING IS TO BE INSULATED TO PREVENT CONDENSATION FROM THE WATER SUPPLY WITHOUT AFFECTING ANY OTHER FIXTURE.
- ANY PLASTIC PIPING PENETRATING THE FLOOR FIRE SEPARATION MUST BE INSTALLED COMPLETE WITH AN APPROVED GASKET IN ACCORDANCE TO THE FIRE STOPPING OUTLINE NOTE ABOVE.

- NATURAL GAS INSTALLATION**
- ALL NATURAL GAS APPLIANCES, PIPING AND VENTING IS TO BE INSTALLED TO MEET THE REQUIREMENTS OF THE LATEST APPROVED EDITION OF THE OBC AND THE LOCAL EDITION OF CANADA B94.1-14 "NATURAL GAS INSTALLATION CODE".
 - ALL GAS APPLIANCES SHALL BE CONNECTED TO THE GAS SUPPLY PIPING BY A CERTIFIED CONTRACTOR CAPABLE TO EXAMINE GASOLINE IS CONNECTED FOR MOVING GAS APPLIANCES.
 - ALL GAS PIPING THAT IS NOT CONSIDERED EXISTING THE APPLIANCE CONNECTORS SHALL BE PAINTED YELLOW AND SHALL BE BELIEVED.
 - THE CONTRACTOR THAT IS INSTALLING OR MODIFYING THE GAS PIPING IS RESPONSIBLE FOR THE CO-ORDINATION AND APPLICATION FOR THE INSTALLATION OF GAS SERVICES OR THE MODIFICATION TO THE GAS SERVICES THROUGH THE LOCAL GAS COMPANY, SO AS TO MEET THE REQUIREMENTS OF THE INSTALLATION PERMITS ON THE DRAWINGS.

- INTERVENTIONS**
- LIST OF INTERVENTIONS NOT SHOWN ON PLANS (CONSTRUCTION AND FACELIFT)
- GENERAL (ALL ROOMS): PROVIDE AND INSTALL NEW KITCHEN CABINETS c/w PROVISIONS FOR INSTALLATION OF KITCHEN SINK, MICROWAVE, ELECTRICAL OVEN, REFRIGERATOR AND DISHWASHER
 - GENERAL (ALL ROOMS): UNLESS NOTED OTHERWISE, CONTRACTOR TO SUPPLY AND INSTALL REQUIRED HEATING, LIGHTING, WALL PLUGS AS REQUIRED BY CLIENT AND THE MINIMUM BY CODE
 - GENERAL (SMOKE AND CARBON MONOXIDE DETECTORS): ALL UNITS SMOKE/CO DETECTORS TO BE INTERCONNECTED TO ALL OTHER SMOKE/CO DETECTORS
 - GENERAL (ALL ROOMS): PAINT ON GYPSUM BOARD TO INCLUDE:
 - 1 LAYER OF LATEX BASE COAT PRIMER NEW GYPSUM BOARD ONLY
 - 2 LAYERS OF LATEX FINISH COATS
 - GENERAL (ALL ROOMS): PAINT ON DOORS, FRAMES, AND EXISTING WOODWORK
 - PREPARE SURFACES BEFORE APPLICATION OF PAINT
 - APPLY ONE LAYER OF BASE COAT
 - APPLY TWO LAYERS OF FINISH COATS
 - GENERAL (ALL ROOMS): BEFORE START OF WORK CONTRACTOR TO SUBMIT FOR OWNER'S APPROVAL SAMPLES OF CARPET, HARDWOOD FLOOR, COLOR OF PAINT AND MILLWORK

PROVIDE ADDITIONAL 4" TO ROUGH OPENING HEIGHT TO ALL BASEMENT WINDOWS TO ALLOW FOR INTERIOR CEILING CLEARANCE



ALL STEEL STUD CONSTRUCTION TO BE AS PER 'THE LIGHTWEIGHT STEEL FRAME HOUSE CONSTRUCTION HANDBOOK'

STRUCTURAL NOTES

- STRUCTURAL NOTES**
 FOOTING DESIGNED FOR 80 PSF ALLOWABLE BEARING PRESSURE TO BE CONFIRMED BY SOILS CONSULTANT
- CONCRETE STRENGTHS**
 FOOTINGS & FND. WALLS 30 MPa
 BASEMENT FLOOR SLAB 25 MPa
 GARAGE FLOOR EXT. SLABS 32 MPa w/ 6% AIR ENTRAINMENT
- COLUMN & PADS**
 C1 47x47x10" THICK CONCRETE FOOTING w/ 2-15M REBAR BOTH WAYS ON UNDISTURBED SOIL SUPPORTING POST
 C2 3 1/2" x 3 1/2" x 3/16" HSS STEEL COLUMN c/w 4x4x3/16" STEEL PLATE AT TOP AND BOTTOM OF POST - BEARING ON FOOTING AND POST HEAD & FND. WALL
 C3 24x24x10" THICK CONCRETE FOOTING ON UNDISTURBED SOIL SUPPORTING DECK & BUILDING - 6" BELOW GRADE (TYPICAL)
 C4 12" DIA. POURED CONCRETE PIER @ 8000 PSI MIN. STRENGTH AFTER 28 DAYS, 6" MIN. ABOVE GRADE (TYPICAL)
 C5 24x24x10" THICK CONCRETE FOOTING ON UNDISTURBED SOIL SUPPORTING DECK & BUILDING - 6" BELOW GRADE (TYPICAL)
- WALL FOOTINGS**
 F1 30"x4" CONC. STRIP FOOTING 15MB @ 3" LG @ 20" ON 3-15M (8) LONG (TYP.)
 F2 30"x4" CONC. STRIP FOOTING 2-15M (8) LONG
 F3 24"x4" CONC. FOOTING TYP.
- LINTELS**
 L1 2-2x10
 L2 3-2x10
 L3 2-1 3/4"x9 1/2" 1.5E LVL
 L4 3-1 3/4"x9 1/2" 1.5E LVL
 L5 2-1 3/4"x11 7/8" 1.5E LVL
 L6 3-1 3/4"x11 7/8" 1.5E LVL
 L7 1-1 3/4" x 11 7/8" 1.5E LVL
 L8 2 - 4mm x 20mm X 1.148mm PERFORATED STEEL STUDS (BACK TO BACK), SUPPORTED BY 150mm x 4mm x 1.3mm STEEL JACKSTUD AND KINGPOST
- PEL PRE-ENGINEERED LINTEL**
 LB1 2x8 LEDGER BOARD c/w 2 - 1/2" DIA. NAILS @ 24" ON MAX. STAGGERED
 (F) or (D) FLUSH or DROP
 KJ1 ONE JACK & KING POST FOR LINTELS SPANNING LESS THAN 8'8" AND TWO JACK POSTS AND ONE KING POST FOR LINTELS SPANNING MORE THAN 8'8".
 KJ2 THREE JACK & KING POST AT BOTH ENDS OF LINTEL
 KJ3 TWO JACK & TWO KING POST AT BOTH ENDS OF LINTEL
 KJ4 STEEL JACK POST AS PER ENGINEER'S SPEC.
- POSTS**
 P1 ADJUSTABLE TELEPOST c/w 4"x4" TOP & BOTTOM STEEL PLATE
 P2 3-2x4 COLUMN
 P3 4-2x4 COLUMN
 P4 3-2x6 COLUMN
 P5 4-2x6 COLUMN
 P6 5-2x6 COLUMN
 P7 4x4 P.T. POST
 P8 6x6 P.T. POST
 P9 3-1 5/8"x 1/2" STEEL STUD POST
 P10 HSS 3 1/2" x 3 1/2" x 3/16" c/w 9" x 5" x 3/8" TOP & BOTTOM PLATE
 DS DOUBLE STEEL STUD
 PL POINT LOAD ABOVE
 PROVIDE SOIL BLOCKING UNDER POSTS ABOVE TO TRANSFER POINT LOADS DOWN TO PROPER FOUNDATION
- BEAMS**
 B1 1 - 1 3/4" x 11 7/8" 1.5E LVL (P.E.)
 B2 2 - 1 3/4" x 11 7/8" 1.5E LVL (P.E.)
 B3 3 - 1 3/4" x 11 7/8" 1.5E LVL (P.E.)
 B4 3-2x8 BUILT WOOD BEAM No. 1 or 2
 B5 W10x24 STEEL BEAM - SHOP PRIMED
 B6 3 - 2x10 B.U. BEAM No. 1 or 2
 R1 2-2x8 ROOF BEAM
 GT PRE-ENGINEERED GIRDER TRUSS
 BP BEAM POCKET
 HG APPROVED HANGER
 (F) or (D) FLUSH or DROP
 BEAMS SHALL HAVE NOT LESS THAN 3 1/2" END BEARING
- FOUNDATION WALLS**
 ALL BASEMENT WALLS TO BE 8" CONCRETE WALLS UNLESS OTHERWISE NOTED
- FLOOR JOISTS**
 FLOOR JOISTS DESIGNED AND ENGINEERED AS PER SUPPLIER'S INSTALLATION PLANS & DETAILS
 NOTE: REINFORCEMENT REQUIRED UNDER CERAMIC TILE AS PER 9.30.6.3
 NOTE: STRENGTHEN RIM BOARD FOR ALL DECK ATTACHMENTS
- LSL MAXIMUM ALLOWABLE SPANS FOR STEEL LINTELS SUPPORTING 3 1/2" MASONRY VENEER**
 8'-0" x 1.3 1/2" x 3 1/2" x 1 1/4"
 8'-0" x 1.4" x 3 1/2" x 1 1/4"
 10'-0" x 1.4 7/8" x 3 1/2" x 1 1/4"
 11'-0" x 1.4 7/8" x 3 1/2" x 3/8"
- LSL1 W10x21 STEEL BEAM SUPPORTING BRICK**
 SSA SELF SUPPORTING BRICK or PRE-CAST ARCH
- DB DIAGONAL STEEL BRACING AS PER THE LIGHTWEIGHT STEEL FRAME HOUSE CONSTRUCTION HANDBOOK**
 SEE DETAILS ON PAGE A10

AZUL DESIGNS - BCIN# 115400
 2277 PROSPECT AVE.
 OTTAWA, ON K1H 7G2
 FERNANDO MATOS - BCIN# 22431
 613-884-4425

QUALIFICATION INFO
 SMALL BUILDINGS
 The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
 DO NOT SCALE DRAWINGS
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON-SITE AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER
 COPYRIGHT RESERVED
 GENERAL NOTES:

1301 THAMES STREET
 SCOPE OF WORK: NEW 3-STORY LONG-SEMI DETACHED DWELLINGS c/w 4 ADUS

CONSULTANTS:
 STRUCTURAL: MCY
 MECHANICAL: MCY
 ELECTRICAL: MCY

| NO. | REVISION/ISSUE | DATE |
|-----|----------------------------|------------|
| 5 | ISSUED FOR CONSTRUCTION #1 | 06/09/2024 |
| 4 | REVISION #11 | 06/09/2024 |
| 3 | PERMIT SUBMISSION | 06/09/2024 |
| 2 | REV. SUBMISSION | 01/16/2024 |
| 1 | PRELIMINARIES | 12/05/24 |

PROJECT: **1301 THAMES ST.**
 1301 THAMES ST.
 OTTAWA, ON K1K 2Y2
 613-000-0000

DRAWING NAME: **PROPOSED FLOOR PLANS**

BROWN BY: F.M. SHEET: **A2**
 DATE: DEC. 4, 2024
 SCALE: AS NOTED

FILE NUMBER: **000-00-0000**

GENERAL PLUMBING & ELECTRICAL NOTES:
 ALL ELECTRICAL WORK TO CONFORM TO OHIO ELECTRICAL SAFETY CODE 2020 EDITION.
 ALL ELECTRICAL WORK SHALL BE COVERED BY AN ELECTRICAL CONTRACTOR LICENSED IN OHIO.
 ALL PLUMBING WORK TO CONFORM WITH ALL PLUMBING CODES AND BYLAW AS APPLICABLE. ALL WORK TO BE COVERED BY AN APPROVED LICENSED PLUMBER. PLUMBER TO BE RESPONSIBLE FOR OBTAINING ANY PERMITS.

| SYMBOL | DESCRIPTION |
|--------|--|
| | METER SOCKET |
| | SUB-PANEL ELECTRICAL BOX, 12 CCTS |
| | CEILING FAN W/ LIGHT |
| | FLUORESCENT LIGHT FIXTURE |
| | 110V CEILING LIGHT FIXTURE |
| | 110V RECESSED LIGHT FIXTURE |
| | 110V EXT. WALL MOUNTED LIGHT FIXTURE |
| | PENDANT LIGHT FIXTURE |
| | PENDANT LIGHT FIXTURE (LARGE) |
| | 110V WALL LIGHT FIXTURE |
| | SINGLE POLE SWITCH |
| | THREE WAY SWITCH |
| | FOUR WAY SWITCH |
| | DIMMER SWITCH |
| | OUTDOOR SWITCH |
| | 110V DUPLEX RECEPTACLE |
| | 110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED |
| | 110V DUPLEX RECEPTACLE W/ WEATHERPROOF COVER |
| | 110V FLOOR MOUNTED DUPLEX RECEPTACLE |
| | 240V RECEPTACLE |
| | TELEPHONE JACKS |
| | CABLE JACKS |
| | DOOR BELL PUSH BUTTON |
| | THERMOSTAT TO CONTROL ALL RADIATORS WITHIN EACH OF THE UNITS |
| | SMOKE/CO DETECTOR |
| | EXHAUST FAN |
| | DOOR CHIME |
| | FIRE ALARM PANEL |
| | COMPUTER/TELEPHONE POINT |
| | 110V CENTRAL VAC OUTLET |

NOTE: ALL ITEMS ON THIS LEGEND ARE NOT NECESSARILY USED ON THE DRAWINGS

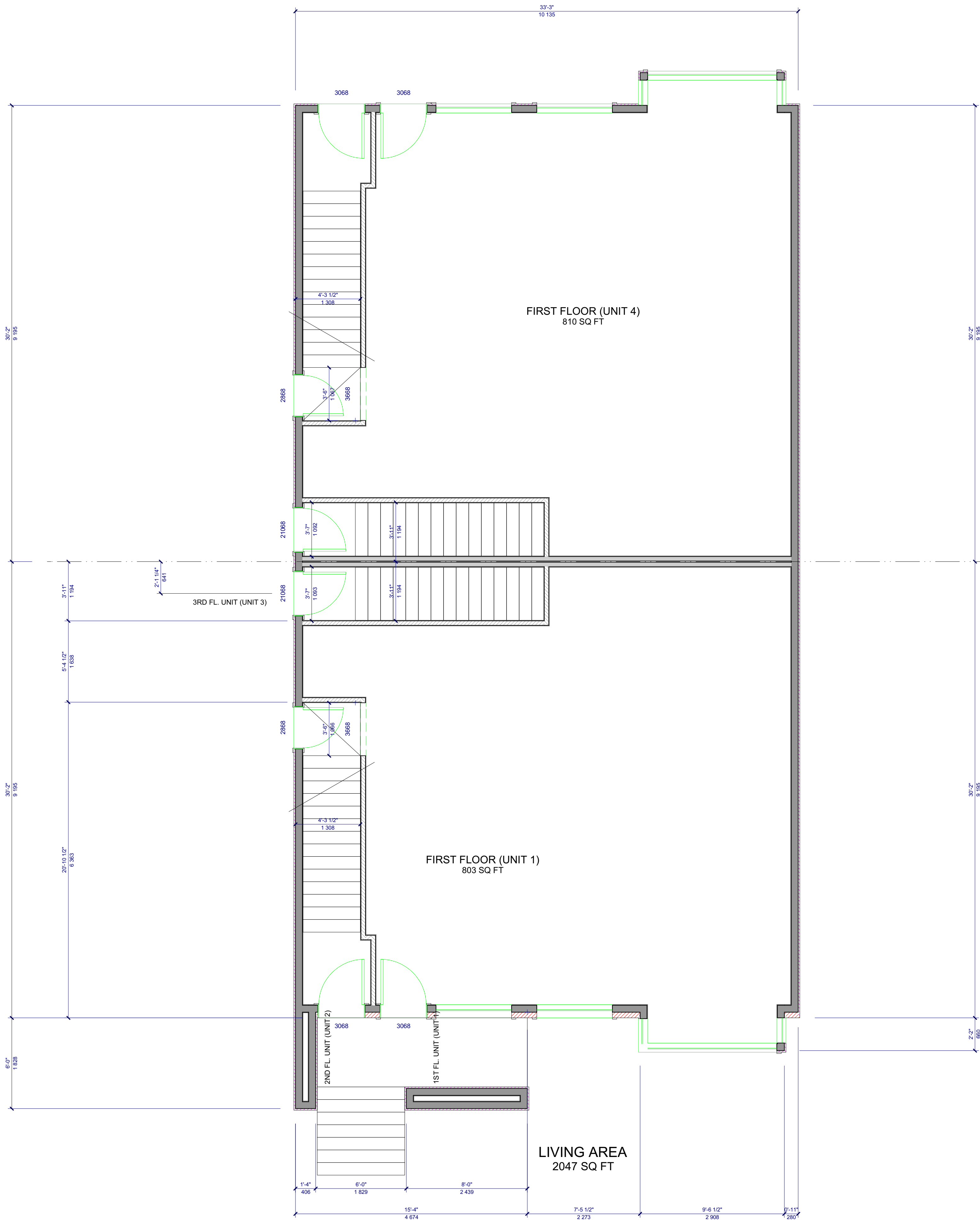
PLUMBING FIXTURE SYMBOLS AND PIPING SCHEDULE

| SYMBOL | FIXTURE TYPE | DCW | DWV | SAN | VENT | COMMENTS |
|--------|------------------------------|---------|---------|-----------|-----------|--------------------------|
| | LAUNDRY TUB | 1/2" DA | 1/2" DA | 1 1/2" DA | 1 1/2" DA | |
| | HOT WATER TANK | 3/4" DA | 3/4" DA | --- | --- | |
| | FLOOR DRAIN | --- | --- | 2" DA | 1 1/2" DA | PROVIDE TRAP SEAL PRIMER |
| | WATER CLOSET | 1/2" DA | 1/2" DA | 1 1/2" DA | 1 1/2" DA | |
| | SINKS | --- | 1/2" DA | 1 1/2" DA | 1 1/2" DA | |
| | SHOWER or TUB | 1/2" DA | 1/2" DA | 1 1/2" DA | 1 1/2" DA | |
| | RINSE, COLD WATER CONNECTION | 1/2" DA | 1/2" DA | 1 1/2" DA | 1 1/2" DA | |

- PROVIDE LABOUR, EQUIPMENT AND MATERIALS TO INSTALL A COMPLETE AND OPERABLE PLUMBING SYSTEM IN ACCORDANCE WITH THE APPLICABLE INSTALLATION CODES TO CONFORM TO THE MOST RECENT APPLICABLE EDITIONS OF THE OBC.
- PROVIDE TRAP SEAL PRIMERS AND VENTING FOR ALL FLOOR DRAINS.
- VENTING FOR ALL FIXTURES IS TO CONFORM TO THE REQUIREMENTS OF PART 1 OF THE OBC.
- NO NEW PLUMBING IS TO BE LOCATED IN EXTERIOR WALLS.
- ALL WATER AND WASTE PIPING NOT LOCATED WITHIN WALLS OR WITHIN THE CEILING SPACE IS TO BE INSTALLED IN WALLS TO BALCONIES.
- ALL HOLES PENETRATING FIRE SEPARATIONS AS SHOWN ON THE DESIGNER'S DRAWINGS OR FLOORS MUST BE FIRE STOPPED WITH AN APPROPRIATE PRODUCT THAT IS RATED TO MATCH THE FIRE RATING OF THE FIRE SEPARATION.
- PROVIDE HEATING, HOT AND COLD WATER LINES AND VENTING AS OUTLINED IN THE PLUMBING FIXTURE SCHEDULE. ALL HEATING PIPING IS TO BE INSTALLED IN EXTERIOR WALLS ON THE HOT AND COLD WATER SUPPLY WITHOUT AFFECTING ANY OTHER FIXTURE.
- ANY PLASTIC PIPING PENETRATING THE FLOOR FIRE SEPARATION MUST BE INSTALLED COMPLETE WITH AN APPROVED GASKET IN ACCORDANCE TO THE FIRE STOPPING OUTLINE NOTE ABOVE.

- NATURAL GAS INSTALLATION**
- ALL NATURAL GAS APPLIANCES, PIPING AND VENTING IS TO BE INSTALLED TO MEET THE REQUIREMENTS OF THE LATEST APPLICABLE EDITION OF CANOGAS 1.4 "NATURAL GAS INSTALLATION CODE".
 - ALL COOKING APPLIANCES SHALL BE CONNECTED TO THE GAS SUPPLY PIPING BY A CERTIFIED CONNECTOR CONFORMING TO CANOGAS 1.4 CONNECTIONS FOR MOVING GAS APPLIANCES.
 - ALL GAS PIPING THAT IS NOT COVERED EXCLUDING THE APPLIANCE CONNECTIONS SHALL BE PAINTED YELLOW AND SHALL BE LABELLED.
 - THE CONTRACTOR THAT IS INSTALLING OR MODIFYING THE GAS PIPING IS RESPONSIBLE FOR THE CO-OPERATION AND APPLICABLE CODES ON THE INSTALLATION OF GAS SERVICES OR THE MODIFICATION TO THE GAS SERVICES PROVIDED BY THE LOCAL GAS COMPANY, SO AS TO MEET THE REQUIREMENTS OF THE INSTALLATION PIPING ON THE DRAWINGS.

- INTERVENTIONS**
- LIST OF INTERVENTIONS NOT SHOWN ON PLANS (CONSTRUCTION AND FACILITY)
- GENERAL (ALL ROOMS): PROVIDE AND INSTALL NEW KITCHEN CABINETS c/w PROVISIONS FOR INSTALLATION OF KITCHEN SINK, MICROWAVE, ELECTRICAL OVEN, REFRIGERATOR AND DISHWASHER
 - GENERAL (ALL ROOMS): UNLESS NOTED OTHERWISE, CONTRACTOR TO SUPPLY AND INSTALL REQUIRED HEATING, LIGHTING, WALL PLUGS AS REQUIRED BY CLIENT AND THE MINIMUM BY CODE
 - GENERAL (SMOKE AND CARBON MONOXIDE DETECTORS): ALL UNITS SMOKE/CO DETECTORS TO BE INTERCONNECTED TO ALL OTHER SMOKE/CO DETECTORS
 - GENERAL (ALL ROOMS): PAINT ON GYPSUM BOARD TO INCLUDE:
 - 1 LAYER OF LATEX BASE COAT PRIMER NEW GYPSUM BOARD ONLY
 - 2 LAYERS OF LATEX FINISH COATS
 - GENERAL (ALL ROOMS): PAINT ON DOORS, FRAMES, AND EXISTING WOODWORK
 - PREPARE SURFACES BEFORE APPLICATION OF PAINT
 - APPLY ONE LAYER OF BASE COAT
 - APPLY TWO LAYERS OF LATEX FINISH COATS
 - GENERAL (ALL ROOMS): BEFORE START OF WORK CONTRACTOR TO SUBMIT FOR OWNER'S APPROVAL SAMPLES OF CARPET, HARDWOOD FLOOR, COLOR OF PAINT AND MILLWORK



ALL STEEL STUD CONSTRUCTION TO BE AS PER 'THE LIGHTWEIGHT STEEL FRAME CONSTRUCTION HANDBOOK'

STRUCTURAL NOTES

- STRUCTURAL NOTES**
 FOOTING DESIGNED FOR 80 KPA ALLOWABLE BEARING PRESSURE TO BE CONFIRMED BY SOILS CONSULTANT
- CONCRETE STRENGTHS**
 FOOTINGS & FIN. WALLS 20 MPa
 BASEMENT FLOOR SLAB 25 MPa
 GARAGE FLOOR EXT. SLABS 32 MPa w/ 6% AIR ENTRAINMENT
- COLUMN & PADS**
 C1 47x47x10" THICK CONCRETE FOOTING w/ 2-15M REBAR BOTH WAYS ON UNDISTURBED SOIL SUPPORTING POST
 C2 12" DIA. POURED CONCRETE PIER (20 MPa - 2800 PSI MIN. STRENGTH AFTER 28 DAYS), 6" MIN. ABOVE GRADE (TYPICAL)
 C3 24"x24"x10" THICK CONCRETE FOOTING ON UNDISTURBED SOIL SUPPORTING DECK & BUILDING - 6" BELOW GRADE (TYPICAL)
- WALL FOOTINGS**
 F1 30"x8" CONC. STRIP FOOTING 15MB @ 12" @ 20" ON 3-15M (8) Long (TYP)
 F2 30"x8" CONC. STRIP FOOTING 2-15M (8) Long
 F3 24"x8" CONC. FOOTING TYP.
- LINTELS**
 L1 2-2x10
 L2 3-2x10
 L3 2-1 3/4"x9 1/2" 1.5E LVL
 L4 3-1 3/4"x9 1/2" 1.5E LVL
 L5 2-1 3/4"x11 7/8" 1.5E LVL
 L6 3-1 3/4"x11 7/8" 1.5E LVL
 L7 1-1 3/4" x 11 7/8" 1.5E LVL
 L8 2 - 4mm x 203mm X 1.148mm PERFORATED STEEL STUDS (BACK TO BACK), SUPPORTED BY 150mm x 41mm x 1.3mm STEEL JACKSTUD AND HANGERS
- PEL PRE-ENGINEERED LINTEL**
 LB1 2x8 LEDGER BOARD c/w 2 - 1/2" DIA. NAILS @ 24" MAX. STAGGERED
 (F) or (D) FLUSH or DROP
- KJ ONE JACK & KING POST FOR LINTELS SPANNING LESS THAN 8'8" AND TWO JACK POSTS AND ONE KING POST FOR LINTELS SPANNING MORE THAN 8'8".**
 KJ2 THREE JACK & KING POST AT BOTH ENDS OF LINTEL
 KJ3 TWO JACK & TWO KING POST AT BOTH ENDS OF LINTEL
 KJ4 STEEL JACK POST AS PER ENGINEER'S SPEC.
- POSTS**
 P1 ADJUSTABLE TELEPOST c/w 4"x4" TOP & BOTTOM STEEL PLATE
 P2 3-2x4 COLUMN
 P3 4-2x4 COLUMN
 P4 3-2x6 COLUMN
 P5 4-2x6 COLUMN
 P6 5-2x6 COLUMN
 P7 4x4 P.T. POST
 P8 6x6 P.T. POST
 P9 3-1 5/8"x 1/2" STEEL STUD POST
 P10 HSS 1 1/2" x 3 1/2" x 3/16" c/w 6" x 5" 3"x3" TOP & BOTTOM PLATE
 DS DOUBLE STEEL STUD
 PL POINT LOAD ABOVE
 PROTECT SOIL IN BLOCKING UNDER POSTS ABOVE TO TRANSFER POINT LOADS DOWN TO PROPER FOUNDATION
- BEAMS**
 B1 1 - 1 3/4" x 11 7/8" 1.5E LVL (P.E.)
 B2 2 - 1 3/4" x 11 7/8" 1.5E LVL (P.E.)
 B3 3 - 1 3/4" x 11 7/8" 1.5E LVL (P.E.)
 B4 3-2x8 BUILT UP WOOD BEAM No. 1 or 2
 B5 W10x24 STEEL BEAM - SHOP PRIMED
 B6 3 - 2x10 B.U. BEAM No. 1 or 2
 B7 1-2x8 ROOF BEAM
 GT PRE-ENGINEERED GIRDER TRUSS
 BP BEAM POCKET
 HG APPROVED HANGER
 (F) or (D) FLUSH or DROP
 BEAMS SHALL HAVE NOT LESS THAN 3 1/2" END BEARING
- FOUNDATION WALLS**
 ALL BASEMENT WALLS TO BE 8" CONCRETE WALLS UNLESS OTHERWISE NOTED
- FLOOR JOISTS**
 FLOOR JOISTS DESIGNED AND ENGINEERED AS PER SUPPLIER'S INSTALLATION PLANS & DETAILS
 NOTE: REINFORCEMENT REQUIRED UNDER CERAMIC TILE AS PER 9.30.6.3
 NOTE: STRENGTHEN RIM BOARD FOR ALL DECK ATTACHMENTS
- LSL MAXIMUM ALLOWABLE SPANS FOR STEEL LINTELS SUPPORTING 3 1/2" MASONRY VENEER**
 8'-0" x 1.3 1/2" x 3 1/2" x 1 1/4"
 8'-0" x 1.4" x 3 1/2" x 1 1/4"
 10'-0" x 1.4 7/8" x 3 1/2" x 1 1/4"
 11'-0" x 1.4 7/8" x 3 1/2" x 3/8"
- LSL1 W20x61 STEEL BEAM SUPPORTING BRICK**
 SSA SELF SUPPORTING BRICK or PRE-CAST ARCH
- STEEL STUD BRACING**
 DS DIAGONAL STEEL BRACING AS PER THE LIGHTWEIGHT STEEL FRAME CONSTRUCTION HANDBOOK
 SEE DETAILS ON PAGE A10

AZUL DESIGNS - BCIN# 115400
 2277 PROSPECT AVE.
 OTTAWA, ON K1H 7G2
 FERNANDO MATOS - BCIN# 22431
 613-884-4425

QUALIFICATION INFO
 SMALL BUILDINGS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
 DO NOT SCALE DRAWINGS
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND BYLAWS HAVING JURISDICTION
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER
 COPYRIGHT RESERVED
 GENERAL NOTES:

1301 THAMES STREET
 SCOPE OF WORK: NEW 3-STOREY LONG-SEMI DETACHED DWELLINGS c/w 4 ADUS

| NO. | REVISION/ISSUE | DATE |
|-----|----------------------------|------------|
| 5 | ISSUED FOR CONSTRUCTION #1 | 09/09/2024 |
| 4 | REVISION #11 | 09/09/2024 |
| 3 | PERMIT SUBMISSION | 09/09/2024 |
| 2 | S.V. SUBMISSION | 01/10/2024 |
| 1 | PRELIMINARIES | 12/05/24 |

PROJECT: **1301 THAMES ST.**
 1301 THAMES ST.
 OTTAWA, ON K1H 7H2
 613-000-0000

DRAWING NAME: **PROPOSED FLOOR PLANS**

BROWN BY: F.M. SHEET: **A3**
 DATE: DEC. 4, 2024
 SCALE: AS NOTED

FILE NUMBER: **000-00-0000**

GENERAL PLUMBING & ELECTRICAL NOTES:
 ALL ELECTRICAL WORK TO CONFORM TO ONTARIO ELECTRICAL SAFETY CODE (2021 EDITION)
 ALL PLUMBING WORK TO CONFORM TO ONTARIO PLUMBING CODE (2021 EDITION)
 ALL ELECTRICAL AND PLUMBING WORK TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS
 ALL DIMENSIONS TO CORNER UNLESS OTHERWISE SPECIFIED
 ALL WORK TO BE CARRIED OUT BY AN APPROVED LICENSED PLUMBER, ELECTRICIAN OR CONTRACTOR AS APPLICABLE

ELECTRICAL LEGEND

| SYMBOL | DESCRIPTION |
|--------|--|
| | METER SOCKET |
| | SUB-PANEL ELECTRICAL BOX, 12 C/CTS |
| | CEILING FAN W/ LIGHT |
| | FLUORESCENT LIGHT FIXTURE |
| | 110V CEILING LIGHT FIXTURE |
| | 110V RECESSED LIGHT FIXTURE |
| | 110V EXT. WALL MOUNTED LIGHT FIXTURE |
| | PENDANT LIGHT FIXTURE |
| | PENDANT LIGHT FIXTURE (LARGE) |
| | 110V WALL LIGHT FIXTURE |
| | SINGLE POLE SWITCH |
| | THREE WAY SWITCH |
| | FOUR WAY SWITCH |
| | DIMMER SWITCH |
| | OUTDOOR SWITCH |
| | 110V DUPLEX RECEPTACLE |
| | 110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED |
| | 110V DUPLEX RECEPTACLE W/ WEATHERPROOF COVER |
| | 110V FLOOR MOUNTED DUPLEX RECEPTACLE |
| | 240V RECEPTACLE |
| | TELEPHONE JACKS |
| | CABLE JACKS |
| | DOOR BELL PUSH BUTTON |
| | THERMOSTAT TO CONTROL ALL RADIATORS WITHIN EACH OF THE UNITS |
| | SMOKE/CO DETECTOR |
| | EXHAUST FAN |
| | DOOR CHIME |
| | FIRE ALARM PANEL |
| | COMPUTER/TELEPHONE POINT |
| | 110V CENTRAL VAC OUTLET |

NOTE: ALL ITEMS ON THIS LEGEND ARE NOT NECESSARILY USED ON THE DRAWINGS

PLUMBING FIXTURE SYMBOLS AND PIPING SCHEDULE

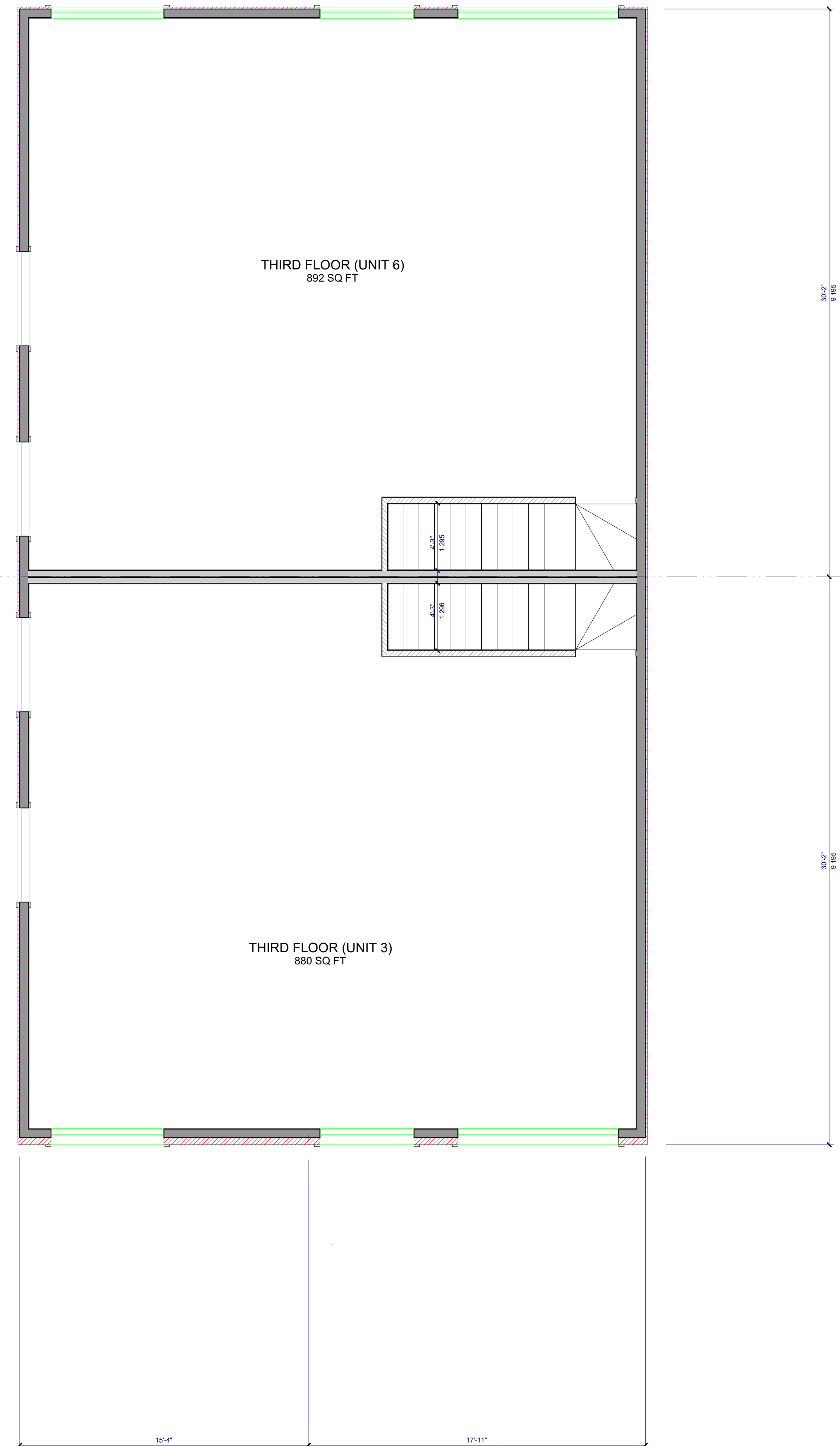
| SYMBOL | FIXTURE TYPE | DCW | DRW | SAN | VENT | COMMENTS |
|--------|----------------------------------|---------|---------|-----------|-----------|--------------------------|
| | LAUNDRY TUB | 1/2" DA | 1/2" DA | 1 1/2" DA | 1 1/2" DA | |
| | HOT WATER TANK | 3/4" DA | 3/4" DA | --- | --- | |
| | FLOOR DRAIN | --- | --- | 2" DA | 1 1/2" DA | PROVIDE TRAP SEAL PRIMER |
| | WATER CLOSET | 1/2" DA | --- | 2" DA | 1 1/2" DA | |
| | SINKS | --- | --- | 1 1/2" DA | 1 1/2" DA | |
| | SHOWER or TUB | 1/2" DA | --- | 1 1/2" DA | 1 1/2" DA | |
| | RINSE, COLD/HOT WATER CONNECTION | 1/2" DA | --- | 1 1/2" DA | 1 1/2" DA | |

- PROVIDE LABOUR, EQUIPMENT AND MATERIALS TO INSTALL A COMPLETE AND OPERABLE PLUMBING SYSTEM IN ACCORDANCE WITH THE PLUMBING CODE AND ALL APPLICABLE REGULATIONS TO THE MOST RECENT APPLICABLE EDITIONS OF THE OBC.
- PROVIDE TRAP SEAL PRIMERS AND VENTING FOR ALL FLOOR DRAINS.
- VENTING FOR ALL FIXTURES IS TO CONFORM TO THE REQUIREMENTS OF PART 1 OF THE OBC.
- NO NEW PLUMBING IS TO BE LOCATED IN EXTERIOR WALLS.
- ALL WATER AND WASTE PIPING NOT LOCATED WITHIN WALLS OR WITHIN THE CEILING SPACE IS TO BE INSTALLED IN WALLS TO BALCONIES.
- ALL HOLES PENETRATING FIRE SEPARATIONS AS SHOWN ON THE DESIGNER'S DRAWINGS OR FLOORS MUST BE FIRE STOPPED WITH AN APPROPRIATE PRODUCT THAT MATCHES THE FIRE RATING OF THE FIRE SEPARATION.
- PROVIDE SANITARY, HOT AND COLD WATER LINES AND VENTING AS OUTLINED IN THE PLUMBING CODE. PROVIDE ALL HOT WATER PIPING TO BE INSTALLED WITH INSULATION TO PREVENT CONDENSATION AND WATER SUPPLY WITHOUT AFFECTING ANY OTHER FIXTURE.
- ANY PLASTIC PIPING PENETRATING THE FLOOR FIRE SEPARATION MUST BE INSTALLED COMPLETE WITH AN APPROVED GASKET IN ACCORDANCE TO THE FIRE STOPPING OUTLINE NOTE ABOVE.

- NATURAL GAS INSTALLATION**
- ALL NATURAL GAS APPLIANCES, PIPING AND VENTING IS TO BE INSTALLED TO MEET THE REQUIREMENTS OF THE LATEST APPLICABLE EDITION OF CANADA'S 2015 "NATURAL GAS INSTALLATION CODE".
 - ALL COOKING APPLIANCES SHALL BE CONNECTED TO THE GAS SUPPLY PIPING BY A CERTIFIED CONTRACTOR CAPABLE TO PERFORM GASWORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE "NATURAL GAS INSTALLATION CODE".
 - ALL GAS PIPING THAT IS NOT COVERED EXCLUDING THE APPLIANCE CONNECTORS SHALL BE PAINTED YELLOW AND SHALL BE LABELLED.
 - THE CONTRACTOR THAT IS INSTALLING OR MODIFYING THE GAS PIPING IS RESPONSIBLE FOR THE CO-ORDINATION AND APPLICATION FOR THE INSTALLATION OF GAS SERVICES OR THE MODIFICATION TO THE GAS SERVICES THROUGH THE LOCAL GAS COMPANY, SO AS TO MEET THE REQUIREMENTS OF THE INSTALLATION WORK ON THE DRAWINGS.

INTERVENTIONS

- LIST OF INTERVENTIONS NOT SHOWN ON PLANS (CONSTRUCTION AND FACILITY)
- GENERAL (ALL ROOMS): PROVIDE AND INSTALL NEW KITCHEN CABINETS c/w PROVISIONS FOR INSTALLATION OF KITCHEN SINK, MICROWAVE, ELECTRICAL OVEN, REFRIGERATOR AND DISHWASHER
 - GENERAL (ALL ROOMS): UNLESS NOTED OTHERWISE, CONTRACTOR TO SUPPLY AND INSTALL REQUIRED HEATING, LIGHTING, WALL PLUGS AS REQUIRED BY CLIENT AND THE MINIMUM BY CODE
 - GENERAL (SMOKE AND CARBON MONOXIDE DETECTORS): ALL UNITS SMOKE/CO DETECTORS TO BE INTERCONNECTED TO ALL OTHER SMOKE/CO DETECTORS
 - GENERAL (ALL ROOMS): PAINT ON GYPSUM BOARD TO INCLUDE:
 - 1 LAYER OF LATEX BASE COAT PRIMER NEW GYPSUM BOARD ONLY
 - 2 LAYERS OF LATEX FINISH COATS
 - GENERAL (ALL ROOMS): PAINT ON DOORS, FRAMES, AND EXISTING WOODWORK
 - PREPARE SURFACES BEFORE APPLICATION OF PAINT
 - APPLY ONE LAYER OF BASE COAT
 - APPLY TWO LAYERS OF FINISH COATS
 - GENERAL (ALL ROOMS): BEFORE START OF WORK CONTRACTOR TO SUBMIT FOR OWNER'S APPROVAL SAMPLES OF CARPET, HARDWOOD FLOOR, COLOR OF PAINT AND MILLWORK



ALL STEEL STUD CONSTRUCTION TO BE AS PER 'THE LIGHTWEIGHT STEEL FRAME CONSTRUCTION HANDBOOK'

STRUCTURAL NOTES

- STRUCTURAL NOTES**
 FOOTING DESIGNED FOR 80 kN/m² ALLOWABLE BEARING PRESSURE TO BE CONFIRMED BY SOILS CONSULTANT
- CONCRETE STRENGTHS**
 FOOTINGS & FND. WALLS: 20 MPa
 BASEMENT FLOOR SLAB: 25 MPa
 GARAGE FLOOR: EXT. SLABS: 32 MPa w/ 6% AIR ENTRAINMENT
- COLUMN & PADS**
 C1 47x47x10" THICK CONCRETE FOOTING w/ 2-15M REBAR BOTH WAYS ON UNDISTURBED SOIL SUPPORTING POST
 C2 12" DIA. POURED CONCRETE PIER (20 MPa - 2000 PSI MIN. STRENGTH AFTER 28 DAYS), 6" MIN. ABOVE GRADE (TYPICAL)
 C3 24"x24"x10" THICK CONCRETE FOOTING ON UNDISTURBED SOIL SUPPORTING DECK & BUILDING - 6" BELOW GRADE (TYPICAL)
 F1 30"x8" CONC. STRIP FOOTING (15MB) x 12" LG @ 20" ON 3-15M (8) LONG (TYP.)
 F2 30"x8" CONC. STRIP FOOTING 2-15M (8) LONG
 F3 24"x8" CONC. FOOTING TYP.
- WALL FOOTINGS**
 12" DIA. POURED CONCRETE PIER (20 MPa - 2000 PSI MIN. STRENGTH AFTER 28 DAYS), 6" MIN. ABOVE GRADE (TYPICAL)
 24"x24"x10" THICK CONCRETE FOOTING ON UNDISTURBED SOIL SUPPORTING DECK & BUILDING - 6" BELOW GRADE (TYPICAL)
- LINTELS**
 L1 2-2x10
 L2 3-2x10
 L3 2-1 3/4"x9 1/2" 1.5E LVL
 L4 3-1 3/4"x9 1/2" 1.5E LVL
 L5 2-1 3/4"x11 7/8" 1.5E LVL
 L6 3-1 3/4"x11 7/8" 1.5E LVL
 L7 1-1 3/4" x 11 7/8" 1.5E LVL
 L8 2 - 4mm x 203mm x 1.148mm PERFORATED STEEL STUDS (BACK TO BACK), SUPPORTED BY 150mm x 41mm x 1.33mm STEEL JACKSTUD AND PERFORATED
- PEL** PRE-ENGINEERED LINTEL
- LB1** 2x8 LEDGER BOARD w/ 2 - 1/2" DIA. NAILS @ 24" ON MAX. STAGGERED
- (F) or (D)** FLUSH or DROP
- KJ1** ONE JACK & KING POST FOR LINTELS SPANNING LESS THAN 8' & TWO JACK POSTS AND ONE KING POST FOR LINTELS SPANNING MORE THAN 8'.
- KJ2** THREE JACK & KING POST AT BOTH ENDS OF LINTEL
- KJ3** TWO JACK & TWO KING POST AT BOTH ENDS OF LINTEL
- KJ4** STEEL JACK POST AS PER ENGINEER'S SPEC.
- POSTS**
 P1 ADJUSTABLE TELEPOST c/w 4"x4" TOP & BOTTOM STEEL PLATE
 P2 3-2x4 COLUMN
 P3 4-2x4 COLUMN
 P4 3-2x6 COLUMN
 P5 4-2x6 COLUMN
 P6 5-2x6 COLUMN
 P7 4x4 P.T. POST
 P8 6x6 P.T. POST
 P9 3-1 5/8"x 1/2" STEEL STUD POST
 P10 HSS 3 1/2" x 3 1/2" x 3/16" c/w 6" x 5" x 3/8" TOP & BOTTOM PLATE
 DS DOUBLE STEEL STUD
 PL POINT LOAD ABOVE
 PROVIDE SOIL ON BLOCKING UNDER POSTS ABOVE TO TRANSFER POINT LOADS DOWN TO PROPER FOUNDATION
- BEAMS**
 B1 1 - 1 3/4" x 11 7/8" 1.5E LVL (P.E.)
 B2 2 - 1 3/4" x 11 7/8" 1.5E LVL (P.E.)
 B3 3 - 1 3/4" x 11 7/8" 1.5E LVL (P.E.)
 B4 3-2x8 BUILT WOOD BEAM No. 1 or 2
 B5 W10x24 STEEL BEAM - SHOP PRIMED
 B6 3 - 2x10 B.U. BEAM No. 1 or 2
 R1 3-2x8 ROOF BEAM
 GT PRE-ENGINEERED GIRDER TRUSS
 BP BEAM POCKET
 HG APPROVED HANGER
 (F) or (D) FLUSH or DROP
 BEAMS SHALL HAVE NOT LESS THAN 3 1/2" END BEARING
- FOUNDATION WALLS**
 ALL BASEMENT WALLS TO BE 8" CONCRETE WALLS UNLESS OTHERWISE NOTED
- FLOOR JOISTS**
 FLOOR JOISTS DESIGNED AND ENGINEERED AS PER SUPPLIER'S INSTALLATION PLANS & DETAILS
 NOTE: REINFORCEMENT REQUIRED UNDER CERAMIC TILE AS PER 9.30.6.3
 NOTE: STRENGTHEN RIM BOARD FOR ALL DECK ATTACHMENTS
- LSL** MAXIMUM ALLOWABLE SPANS FOR STEEL LINTELS SUPPORTING 3 1/2" MASONRY VENEER
 8'-0" = 1.3 1/2" x 3 1/2" x 1 1/4"
 8'-0" = 1.4" x 3 1/2" x 1 1/4"
 10'-0" = 1.4 7/8" x 3 1/2" x 5/16"
 11'-0" = 1.4 7/8" x 3 1/2" x 3/8"
- LSL1** W20x61 STEEL BEAM SUPPORTING BRICK
- SSA** SELF SUPPORTING BRICK or PRE-CAST ARCH
- STEEL STUD BRACING**
 DS DIAGONAL STEEL BRACING AS PER 'THE LIGHTWEIGHT STEEL FRAME CONSTRUCTION HANDBOOK'
 SEE DETAILS ON PAGE A10

AZUL DESIGNS - BCIN# 115400
 2277 PROSPECT AVE.
 OTTAWA, ON K1H 7G2
 FERNANDO MATOS - BCIN# 22431
 613-884-4425

QUALIFICATION INFO
 SMALL BUILDINGS
 The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

RESPONSIBILITIES:
 DO NOT SCALE DRAWINGS
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND BYLAWS HAVING JURISDICTION
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER
 COPYRIGHT RESERVED
 GENERAL NOTES:

1301 THAMES STREET
 SCOPE OF WORK: NEW 3-STORY LONG-SEMI DETACHED DWELLINGS c/w 4 ADUS

CONSULTANT:
 STRUCTURAL: MGJ
 MECHANICAL: MGJ
 ELECTRICAL: MGJ

| NO. | REVISION/ISSUE | DATE |
|-----|----------------------------|------------|
| 5 | ISSUED FOR CONSTRUCTION #1 | 09/09/2024 |
| 4 | REVISION #11 | 09/09/2024 |
| 3 | PERMIT SUBMISSION | 09/09/2024 |
| 2 | S.V. SUBMISSION | 01/10/2024 |
| 1 | PRELIMINARIES | 12/05/24 |

PROJECT: **1301 THAMES ST.**
 1301 THAMES ST.
 OTTAWA, ON K1H 7H2 613-000-0000

DRAWING NAME: **FLOOR PLANS**

DRAWN BY: F.M. SHEET: **A5**
 DATE: DEC. 4, 2024
 SCALE: AS NOTED

FILE NUMBER: 000-00-0000



1 SOUTH ELEVATION
A6 SCALE 3/16" = 1'-0"

AVERAGE GRADE CALCULATION
 77.05m (north-east)
 77.05m (north-west)
 78.25m (south-east)
 78.25m (south-west)
 77.65m AVG. GRADE

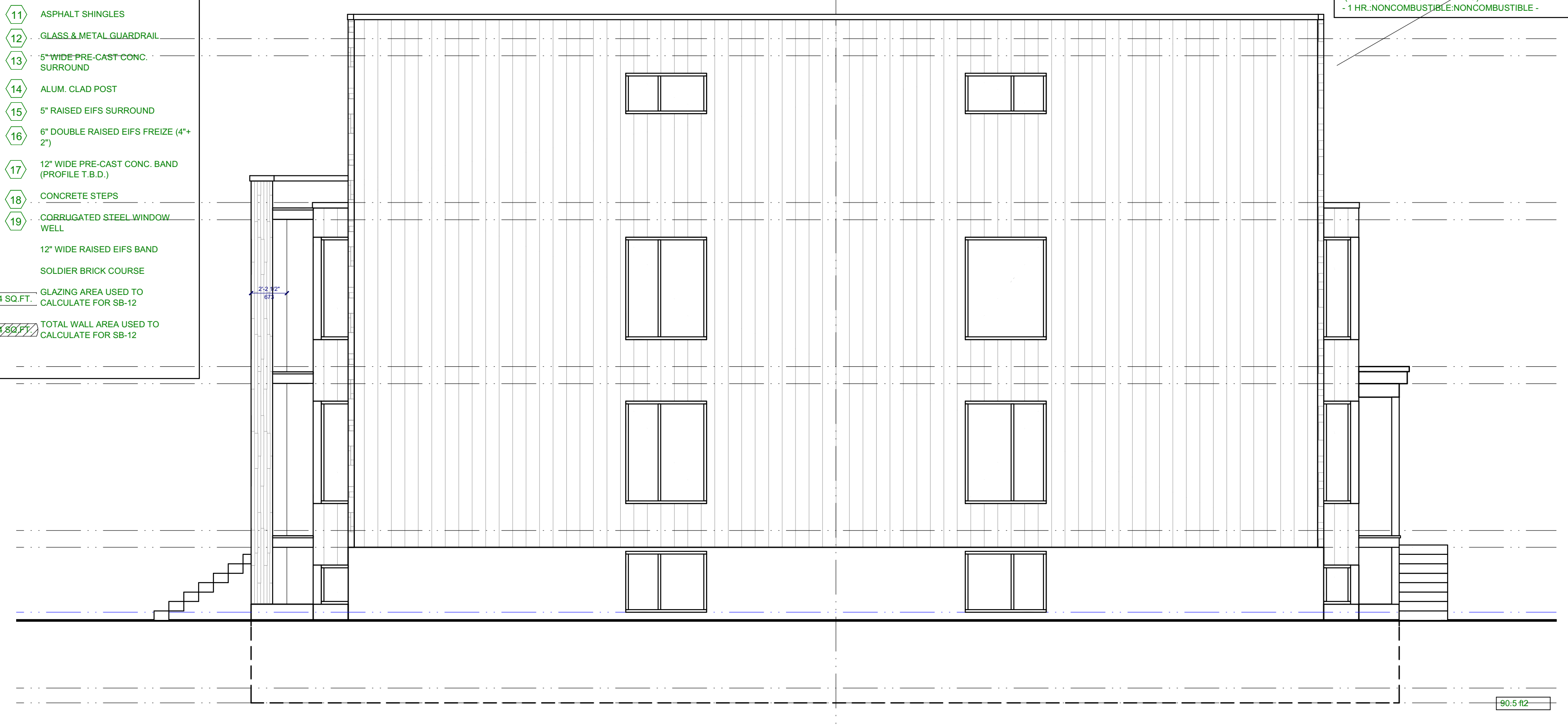


2 WEST ELEVATION
A6 SCALE 3/16" = 1'-0"

- MATERIAL LEGEND & NOTES**
- 1 FIBRE CEMENT PANELING FINISH (SPEC. B)
 - 2 STONE VENEER EXTERIOR FINISH (SPEC. C)
 - 3 VERT. CEMENT SIDING - PRE-FINISHED (SPEC. B)
 - 4 VERT. CORRUGATED STEEL SIDING (SPEC. B)
 - 5 FIBRE CEMENT PANELS SIDING (SPEC. B)
 - 6 ALUMINUM PANELS SIDING or ALUMINUM STOCK EXT.
 - 7 4" or 5" PRE-CAST CONC. SILL
 - 8 ALUMINUM STOCK CLAD FASCIA
 - 9 CEMENT PARING TO 4" BELOW GRADE
 - 10 DRAIN TO BE CONNECTED TO WEEPING TILE
 - 11 ASPHALT SHINGLES
 - 12 GLASS & METAL GUARDRAIL
 - 13 5" WIDE PRE-CAST CONC. SURROUND
 - 14 ALUM. CLAD POST
 - 15 5" RAISED EIFS SURROUND
 - 16 6" DOUBLE RAISED EIFS FREIZE (4" x 2")
 - 17 12" WIDE PRE-CAST CONC. BAND (PROFILE T.B.D.)
 - 18 CONCRETE STEPS
 - 19 CORRUGATED STEEL WINDOW WELL
 - 20 12" WIDE RAISED EIFS BAND
 - SOLDIER BRICK COURSE
- 10.4 SQ. FT. - GLAZING AREA USED TO CALCULATE FOR SB-12
- 144.80 SQ. FT. - TOTAL WALL AREA USED TO CALCULATE FOR SB-12



3 NORTH ELEVATION
A6 SCALE 3/16" = 1'-0"



4 EAST ELEVATION
A6 SCALE 3/16" = 1'-0"

SPATIAL SEPARATION CALCULATION
 MAX. AREA OF EXPOSING BLDG. FACE W: 1765.42 (164.0 m²)
 LIMITING DISTANCE: 4.0' (1.22m)
 % ALLOWABLE U.P.O.: 7%
 AREA OF COMPARTMENT W1: 1765.42 (164.0 m²)
 AREA OF ALLOWABLE U.P.O.: 123.6 (11.5 m²)
 AREA OF CURRENT U.P.O.: 106.0 (9.8 m²)
 REQUIRED CONSTRUCTION
 (FR-CONSTRUCTION CLADDING):
 - 1 HR. NONCOMBUSTIBLE-NONCOMBUSTIBLE -

SPATIAL SEPARATION CALCULATION
 MAX. AREA OF EXPOSING BLDG. FACE E: 1765.42 (164.0 m²)
 LIMITING DISTANCE: 4.0' (1.22m)
 % ALLOWABLE U.P.O.: 7%
 AREA OF COMPARTMENT E1: 1765.42 (164.0 m²)
 AREA OF ALLOWABLE U.P.O.: 123.6 (11.5 m²)
 AREA OF CURRENT U.P.O.: 106.0 (9.8 m²)
 REQUIRED CONSTRUCTION
 (FR-CONSTRUCTION CLADDING):
 - 1 HR. NONCOMBUSTIBLE-NONCOMBUSTIBLE -

RESPONSIBILITIES:
 DO NOT SCALE DRAWINGS
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER
 COPYRIGHT RESERVED
 GENERAL NOTES:

1301 THAMES STREET
 SCOPE OF WORK: NEW 3-STORY LONG-SEMI DETACHED DWELLINGS c/w 4 ADUS

| NO. | REVISION/ISSUE | DATE |
|-----|----------------------------|----------|
| 5 | ISSUED FOR CONSTRUCTION #1 | 06/05/20 |
| 4 | REVISION #11 | 06/05/20 |
| 3 | PERMIT SUBMISSION | 06/05/20 |
| 2 | SAY SUBMISSION | 01/16/20 |
| 1 | PRELIMINARIES | 12/05/19 |

PROJECT: **1301 THAMES ST.**
 1301 THAMES ST.
 OTTAWA, ON K1K 2Y2 613-000-0000

DRAWING NAME: **PROPOSED ELEVATIONS**

DRAWN BY: F.M. SHEET: **A6**
 DATE: DEC. 4, 2024
 SCALE: AS NOTED

FILE NUMBER: **D00-00-0000**