

Committee of Adjustment
Received | Reçu le
2025-02-06
City of Ottawa | Ville d'Ottawa
Comité de dérogation

TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOTS 10 AND 11
REGISTERED PLAN 146
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 150
6 4.5 3.0 1.5 0 3 6 Metres

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys
Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 27th day of May, 2021.

June 15/21
Date
T. Hartwick
Ontario Land Surveyor

Notes & Legend

Denotes	
	Survey Monument Planted
	Survey Monument Found
SIB	Standard Iron Bar
Meas.	Measured
(AOG)	Annis, O'Sullivan, Vollebek Ltd.
(P1)	Registered Plan 146
(P2)	(1442) Plan dated August 14, 1991
(P3)	(AOG) Plan dated September 10, 1985
(P4)	(990) Plan dated September 3, 1992
(P5)	(JDB) Plan dated March 5, 1974
(DI)	Inst. N654688
	Deciduous Tree
	Coniferous Tree
	Maintenance Hole (Storm Sewer)
	Maintenance Hole (Sanitary)
	Overhead Wires
	Catch Basin
	Top of Grate
	Chain Link Fence
	Board Fence
	Interlock Retaining Wall
	Concrete Sidewalk
	Gate
	Utility Pole
	Diameter
	Location of Elevations
	Top of Retaining Wall Elevation
	Centreline
	Property Line

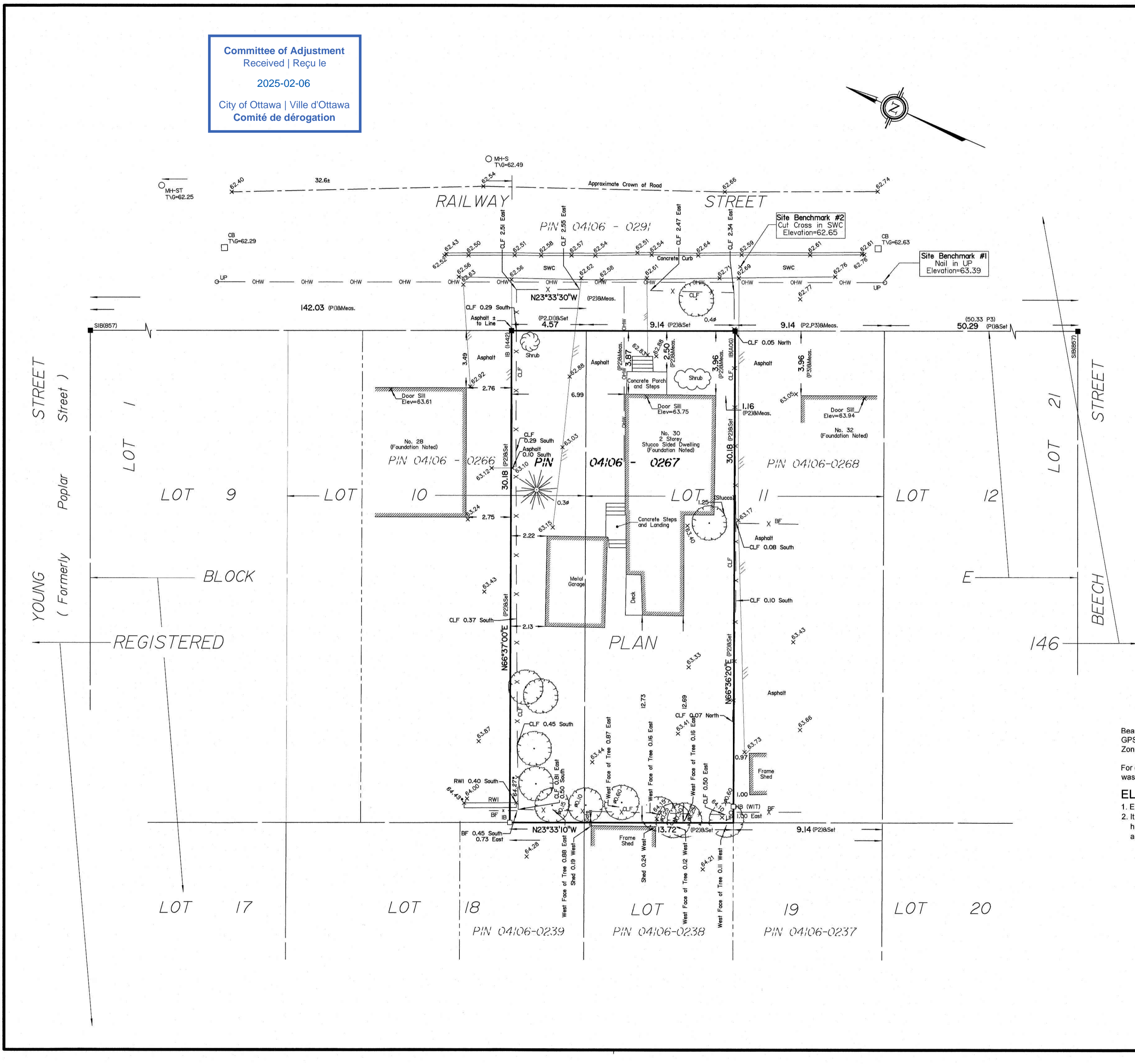
Bearings are grid, derived from Can-Net 2016 Real Time Network
GPS observations, and are referred to the Central Meridian of MTM
Zone 9 (76°30' West Longitude) NAD-83 (original).

For comparison purposes, a rotation of 0°33'50" counter clockwise
was applied to bearings on P2.

ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark
has not been altered or disturbed and that its relative elevation and description
agrees with the information shown on this drawing.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2150238

THIS PLAN IS NOT VALID UNLESS
IT IS AN EMBOSSED ORIGINAL
COPY ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 29 (3).



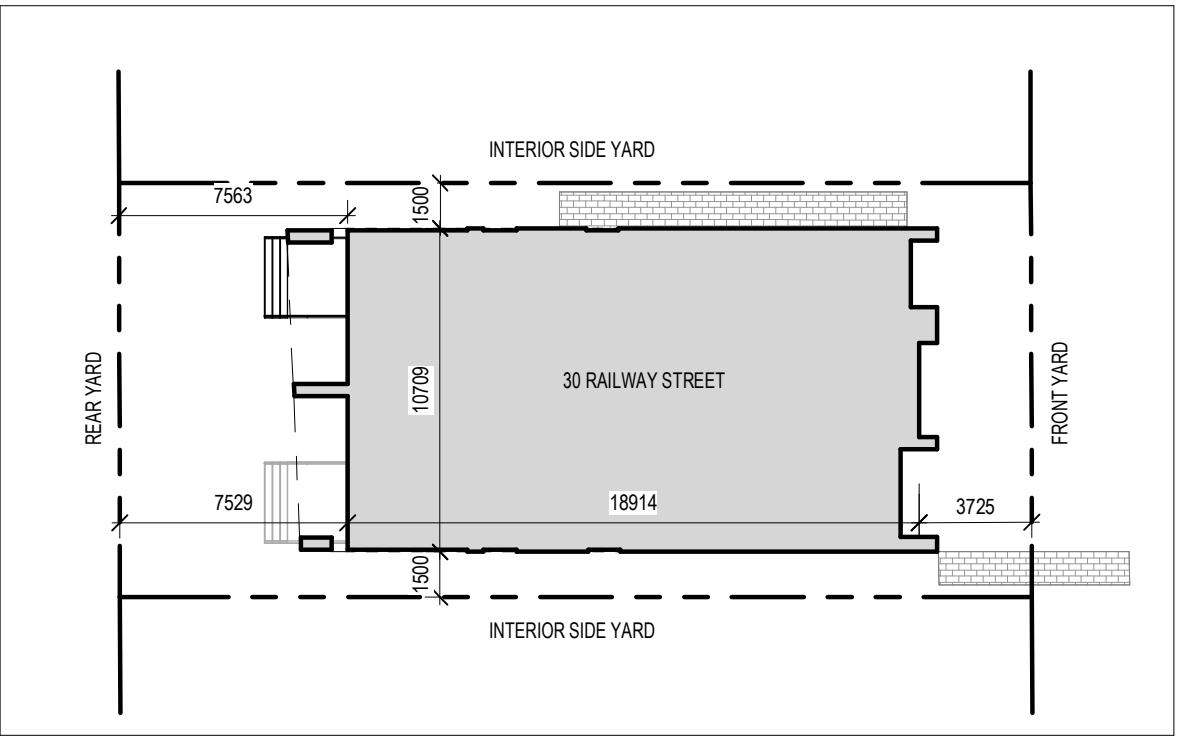
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ADO	AUTOMATIC DOOR OPERATOR
AL	ALUMINUM
ALI	ALUMINUM INSULATED
CR	CARD READER
DB	DEADBOLT
DC	DOOR CLOSER
DV	DOOR VIEWER
ES	ELECTRIC STRIKE
FR	FROSTED
GL	GLASS
GT	TEMPERED GLASS
HCW	HOLLOW CORE WOOD
HM	HOLLOW METAL
HMI	HOLLOW METAL INSULATED
HO	HOLD OPEN DEVICE
LS	LOCKSET
PC	POWDER COAT
PH	PANIC HARDWARE
PS	PASSAGE SET
PSF	PRESSED STEEL FRAME
PT	PAINT
SC	SELF CLOSING
SOW	SOLID CORE WOOD
ST	STAIN
WD	WOOD
WS	WEATHER STRIPPING
WV	WOOD VENEER

SITE PLAN NOTES

S1 SOFT LANDSCAPING
S2 INTERLOCKING STONE PAVERS
S3 CONCRETE SIDEWALK
S4 CONCRETE CURB
S5 EXISTING STRUCTURE TO BE DEMOLISHED
S6 EXISTING CHAINLINK FENCE
S8 PRIVATE DECK
S9 GARDEN WALL
S10 PERMISSIBLE PAVERS; REFER TO LANDSCAPE FOR EXCAVATION DETAILS

TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOTS 10 & 11 REGISTERED PLAN 146 CITY OF OTTAWA
ANNIS, O'SULLIVAN, VOLLEBECK LTD.



5 SITE SETBACK PLAN
SP-01 SCALE: 1:250



1 LOCATION PLAN
SP-01 SCALE: NTS

	DETAIL REFERENCE		ELEVATION REFERENCE		BUILDING SECTION REFERENCE
	DETAIL SECTION REFERENCE		INTERIOR ELEVATION REFERENCE		HEIGHT ELEVATION REFERENCE
	GRID LINE & REFERENCE		ROOM NAME & NUMBER		SPOT ELEVATION
	CONSTRUCTION ASSEMBLY REFERENCE		WINDOW REFERENCE		CEILING MATERIAL & HEIGHT
	DOOR REFERENCE		REVISION REFERENCE		EXTERIOR FINISH REFERENCE
			INTERIOR FINISH REFERENCE		

2 NOTATION LEGEND
SP-01 SCALE: NTS

	BUILDING ENTRANCE		FIRE DEPARTMENT CONNECTION
	BUILDING EXIT		FIRE HYDRANT
	BICYCLE PARKING		NEW STREET LIGHT
	PROPERTY LINE		STREET LIGHT TO BE REMOVED
	SETBACK LINE		EXISTING STREET LIGHT TO REMAIN
	OVERHEAD WIRES		EXISTING UTILITY POLE TO REMAIN
	INTERLOCKING STONE PAVERS		UTILITY POLE TO BE REMOVED/RELOCATED
	EXISTING TRAFFIC SIGNAL POST		

3 SITE PLAN SYMBOLS
SCALE: NTS

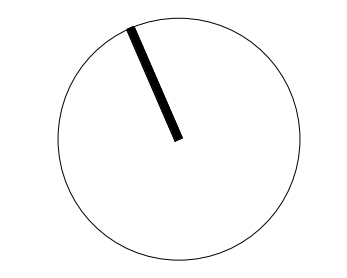
SITE STATISTICS	
Current Zoning Designation:	RIUD
Lot Width:	13.71m
Total Lot Area:	413.6m ²
Average Existing Grade:	63.241
Gross Floor Area:	202m ²
Building Area:	202m ²
Floor Space Index:	1.33
PIN 04106 - 0267	
Proposed Development - 3 Storey Low-Rise Apartment Building	
No. of units	9 Units
Zoning Mechanism	Required: 15m, Provided: 13.71m
Minimum Lot Width 152(a)	Required: 450m ² , Provided: 413.6m ²
Minimum Lot Area 162(a)	Required: 3.725m (AVG OF ABUTTING PROPERTIES), Provided: 28 RAILWAY: 3.494m, 32 RAILWAY: 3.566m, AVERAGE: 3.725m
Min. Front Yard Setback 144(1)(a)	Required: 1.5m, Provided: 1.5m
Min. Interior Side Yard Setback 162(a)	Required: 30% of lot depth 9.05m, Provided: 7.5m
Min. Rear Yard Setback 162(b)(4)	Required: 14.5m, Provided: 12.355m
Maximum Building Height 152(a)	Required: No spaces permitted, Provided: No spaces provided
Parking Space Rates (Residents) 161(16)(a)	Required: No spaces permitted, Provided: No spaces provided
Minimum Visitor Parking Rates 161(16)(a)	Required: No spaces permitted, Provided: No spaces provided
Bicycle Parking Rates (Residents) Table 111A (Sch. 1 - Area X)	Required: 4.5 Spaces, 0.5 spaces / unit for 9 units(111A)(b)(i)), Provided: 10 Spaces
Total Soft Landscape Area 161(15)(b)(i)	Required: MIN 50m ² for rear yard soft landscape, 40% of Front Yard Setback to be Soft Landscape 53.4 x 0.45 = 21.30m ² , Provided: Rear Yard 75.5m ² , Front Yard 21.7m ²
Rear Yard Area	Required: 26% of Lot Area 103.4m ² , Provided: 103.45m ²

3 SITE & PROJECT STATISTICS
SP-01 SCALE: 1:1

- GENERAL ARCHITECTURAL NOTES:
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7	ISSUED FOR COORDINATION	2025/01/22
6	ISSUED FOR COORDINATION	2024/12/20
5	ISSUED FOR COORDINATION	2024/11/19
4	ISSUED FOR COORDINATION	2024/11/08
2	ISSUED FOR COORDINATION	2024/10/25
1	ISSUED FOR COORDINATION	2024/10/15

ISSUE RECORD



project1
studio

Project1 Studio Incorporated
[613.884.3939 | mail@project1studio.ca

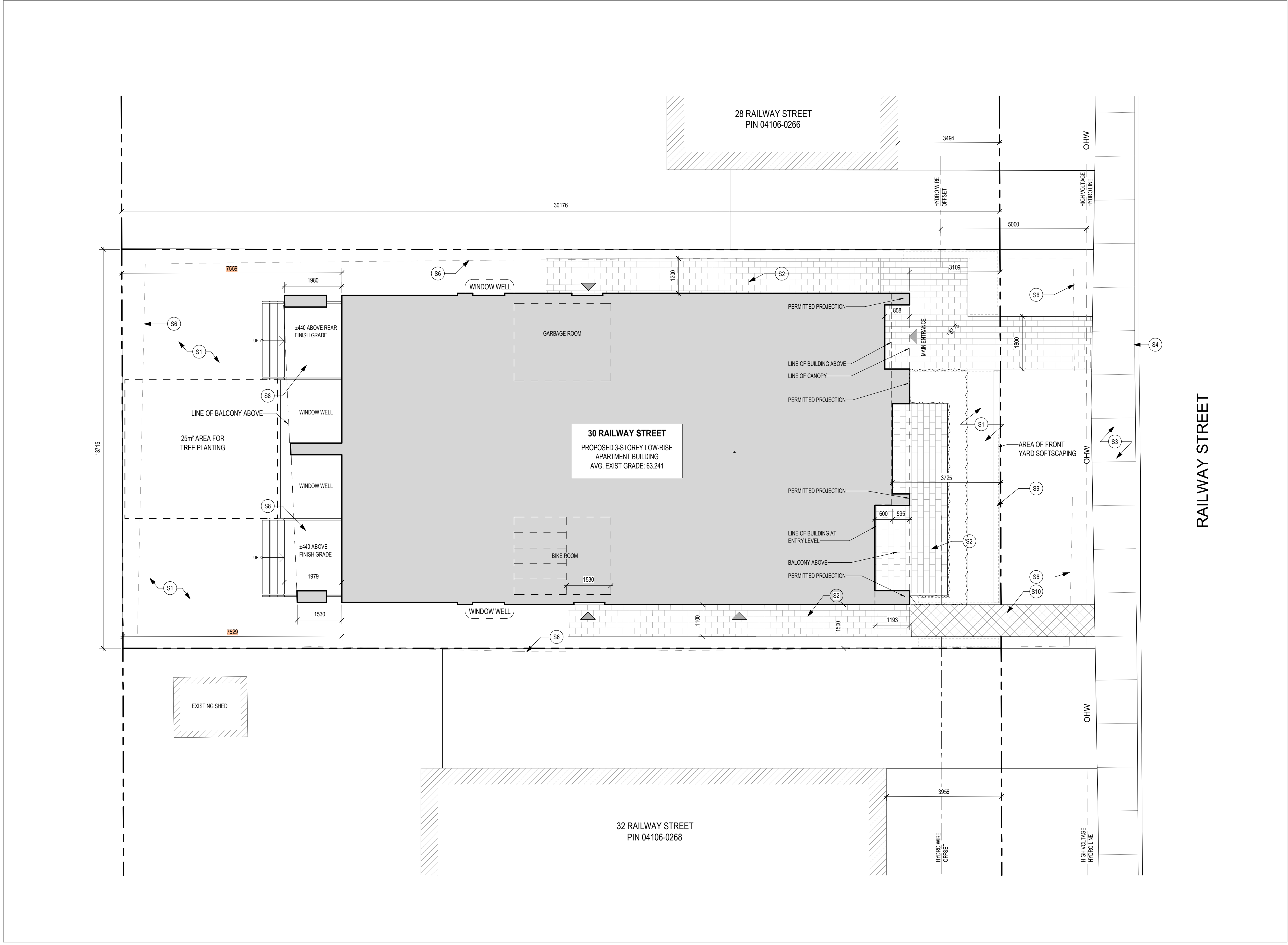
30 RAILWAY
30 Railway Street
Ottawa, On

PROJ	SCALE	DRAWN	REVIEWED
2409	NOTED	CG	RK

SITE PLAN

SP-01

4 SITE PLAN
SP-01 SCALE: 1:75



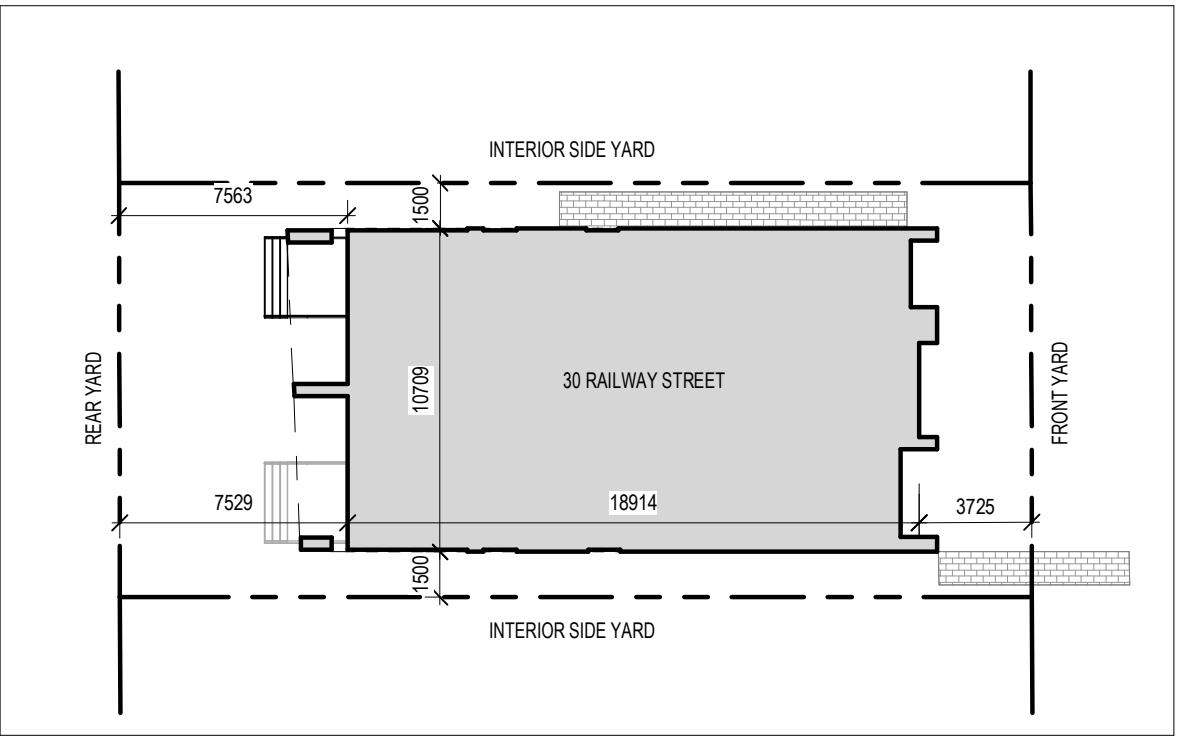
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2 NOTATION LEGEND
SP-01 SCALE: NTS

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3 SITE PLAN SYMBOLS
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Current Zoning Designation:	RIUD
Lot Width:	13.71m
Total Lot Area:	413.6m ²
Average Existing Grade:	63.241
Gross Floor Area:	202m ²
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Floor Space Index:	1.33

PIN 04106 - 0267

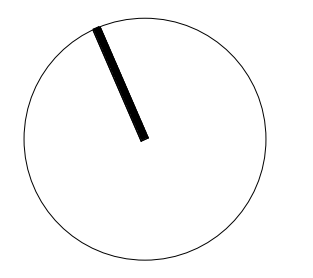
Proposed Development - 3 Storey Low-Rise Apartment Building

Zoning Mechanism	Required	Provided
No. of units	9 Units	9 Units
Minimum Lot Width 152(a)	15m	13.71m
Minimum Lot Area 162(a)	450m ²	413.6m ²
Min. Front Yard Setback 144(1)(a)	3.725m (AVG OF ABUTTING PROPERTIES)	3.725m (AVG OF ABUTTING PROPERTIES) 28 RAILWAY: 3.494m 32 RAILWAY: 3.956m AVERAGE: 3.725m
Min. Interior Side Yard Setback 162(a)	1.5m	1.5m
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Total Soft Landscape Area 161(15)(b)(i)	MIN 50m ² for rear yard soft landscape 40% of Front Yard Setback to be Soft Landscape 53.4 x 0.45 = 21.30m ²	Rear Yard 75.5m ² Front Yard 21.7m ²
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SP-01 SCALE: 1:1

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project1
studio

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30 RAILWAY

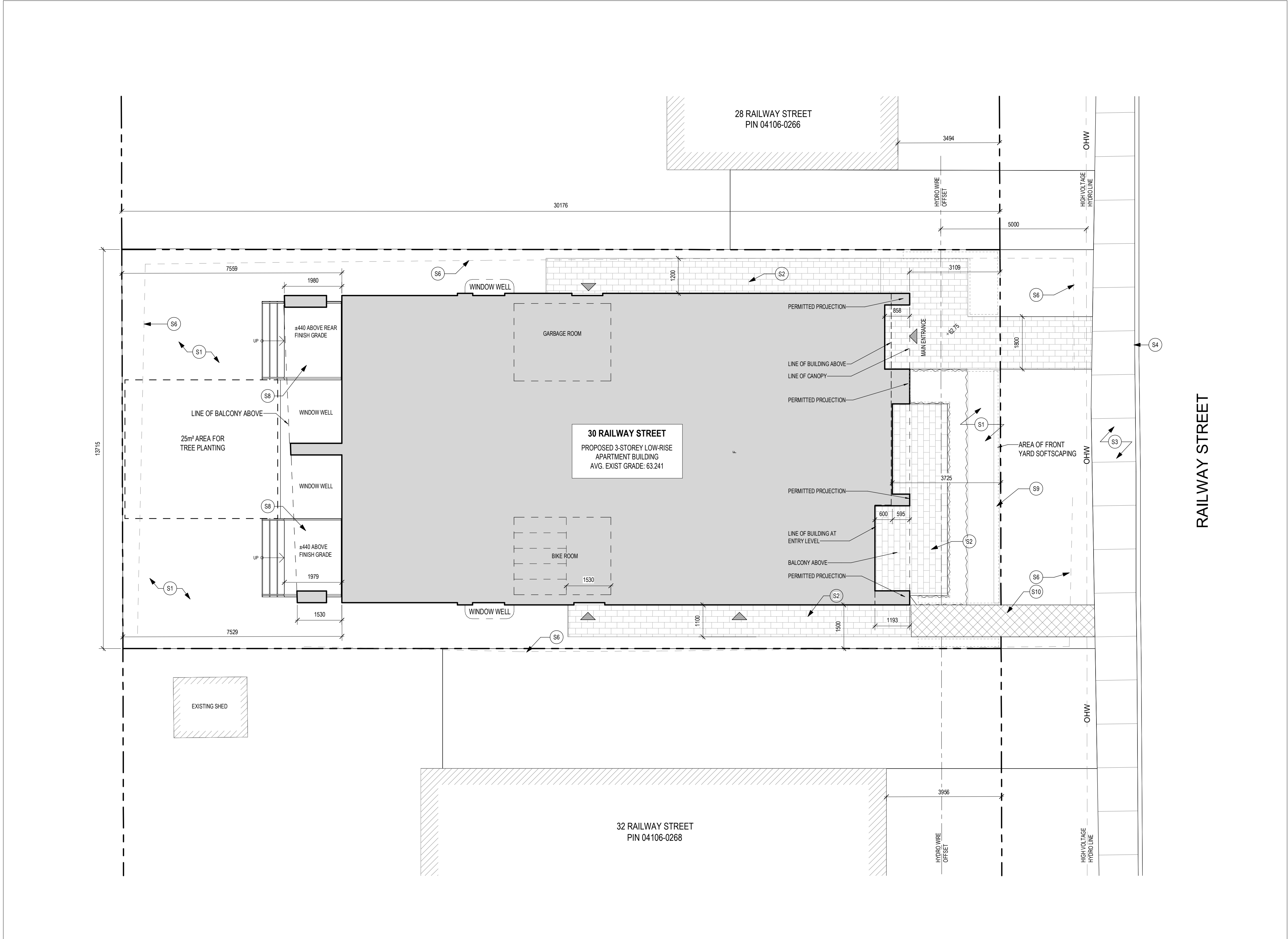
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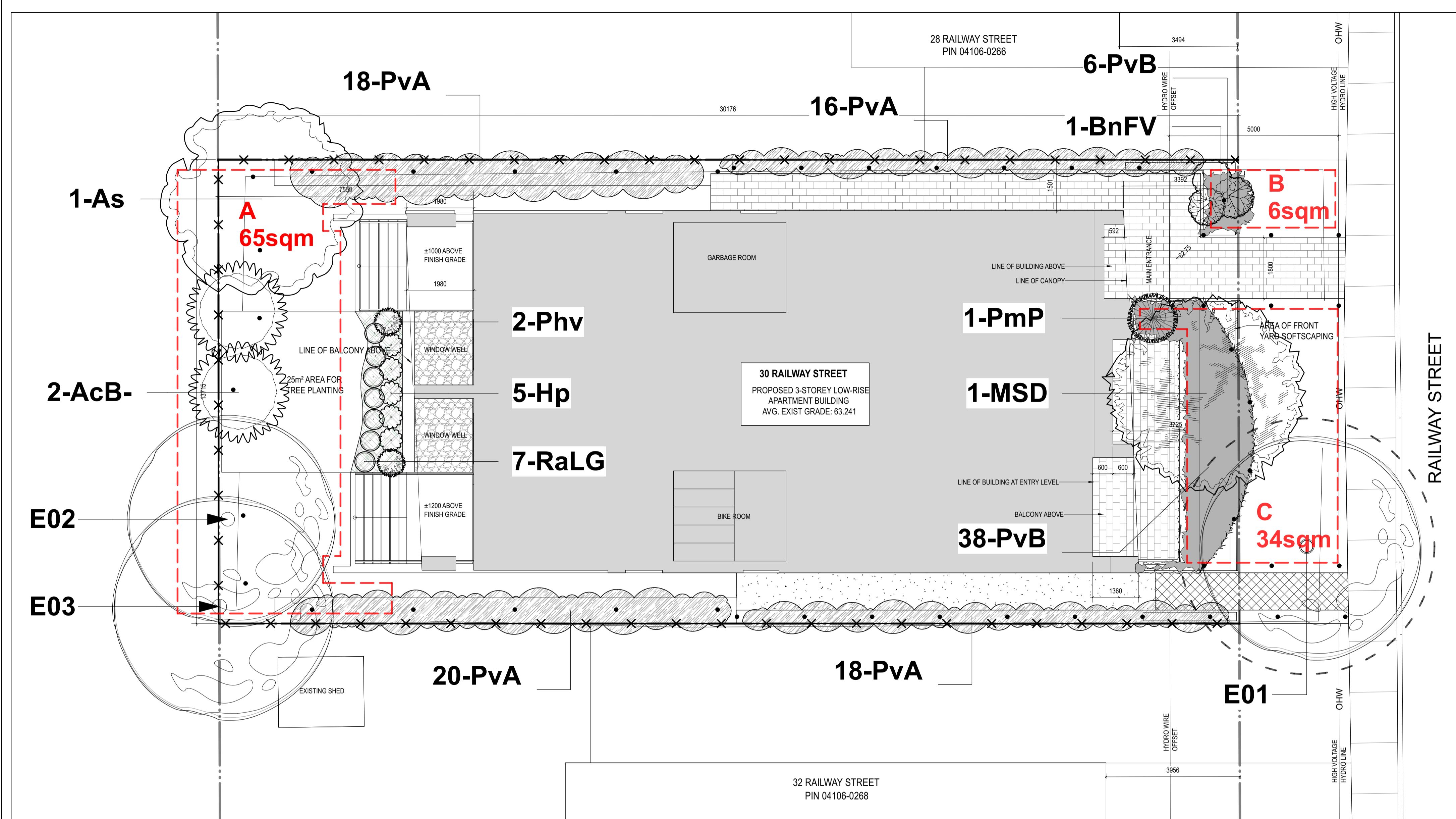
PROJ	SCALE	DRAWN	REVIEWED
2409	NOTED	CG	RK

SITE PLAN

SP-01

4 SITE PLAN
SP-01 SCALE: 1:75





GENERAL NOTES

- 1 ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS, SURVEYS AND CONSULTANT'S FIELD NOTES. REPORT ALL DISCREPANCIES PRIOR TO ANY WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS.
- 2 THE LOCATION OF THE UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION FROM DAMAGE.
- 3 ALL DIMENSIONS SHOWN ARE TO BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION. NO DEVIATIONS ARE TO BE MADE FROM THE LAYOUTS AS SHOWN ON THIS PLAN WITHOUT PRIOR CONSULTATION WITH THE LANDSCAPE ARCHITECT AND OWNER.
- 4 OBTAIN APPROVAL OF LANDSCAPE ARCHITECT FOR GRANULAR BASE AND LAYOUT OF ALL PAVEMENT AREAS PRIOR TO CONSTRUCTION.
- 5 STAKE PLANTING LOCATIONS AND RECEIVE APPROVAL OF LANDSCAPE ARCHITECT, PRIOR TO EXCAVATION OF ANY PLANTING PITS. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- 6 WHERE CLAY IS ENCOUNTERED PROPER DRAINAGE MUST BE ENSURED IN TREE/SHRUB PITS, PRIOR TO PLANTING. HAVE METHOD APPROVED BY LANDSCAPE ARCHITECT.
- 7 ALL SODDED AREAS TO RECEIVE A MINIMUM OF 150MM OF TOPSOIL OVER GRADED SUB-BASE. IF SOD WITH MESH IS USED, MESH TO BE REMOVED COMPLETELY DURING SODDING OPERATIONS. SOD SHALL COME FROM AN APPROVED SOURCE AND SHALL BE LAID WITHIN 24 HOURS OF BEING CUT IN THE NURSERY. ONLY NURSERY SOD SHALL BE USED.
- 8 FINAL SUBGRADE IS TO APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SOD BEING LAID.
- 9 MAINTAIN POSITIVE SURFACE RUNOFF THROUGH THE ENTIRE CONSTRUCTION PERIOD.
- 10 REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
- 11 STREET TREE SPECIES LOCATIONS AND NUMBERS WERE SELECTED BASED ON SOIL VOLUME CALCULATIONS IN ACCORDANCE WITH THE CITY OF OTTAWA'S REQUIREMENTS FOR TREE PLANTING.

Ruhland & Associates Ltd
 landscape architecture • urban design • site planning
 Ph 613-226-4744 Fx 613-224-1331 info@rala.ca www.rala.ca

2 Landscape Plan
 L-01 Scale: 1:75

LEGEND

- PROPOSED TREES
- EXISTING TREES
- CONIFEROUS SHRUB
- CRITICAL ROOT ZONE
- GROUND LIGHT FIXTURE
- SHRUBS
- PERENNIALS
- ORNAMENTAL GRASS
- SCREEN FENCE
- PROPERTY LINE
- PERMEABLE SURFACE
- PLANTING BED

EXISTING TREES:
 E01: NORWAY MAPLE - 36 DBH
 E02: MANITOBA MAPLE - 36 DBH
 E03: MANITOBA MAPLE - 58 DBH
 REFER TO TCR PREPARED BY DENDRON FOR FULL REPORT OF EXISTING TREES

PLANT LIST							
Location	Origin	ID	Qty	Botanical Name	Common Name	Sched. Size	Remarks
Pvt	Ntv	As	1	LARGE DECIDUOUS TREES (14 - 40m mature height, mature spread > 13m)		60mm caliper	WB, Staked
Pvt	Non N	MSD	1	SMALL DECIDUOUS TREES (6 - 8m mature height, mature spread 6 - 8m)	Sugar Maple	50mm caliper	WB, Staked
Pvt	Ntv H	AcB-	2	ORNAMENTAL DECIDUOUS TREES (4 - 6m mature height, mature spread 4 - 6m)	Snowdrift Crabapple	50mm caliper	WB, Staked
		BnFV	1	SMALL ORNAMENTAL DECIDUOUS TREES (< 4m mature height, mature spread < 4m)	Ballerina Serviceberry (tree form)	50mm caliper	WB, Staked
			1	SMALL ORNAMENTAL DECIDUOUS TREES (< 4m mature height, mature spread < 4m)	Betula nigra 'Little King'	100 cm ht.	WB Staked
			0	SMALL CONIFEROUS TREES / CONIFEROUS SHRUBS	Fox Valley River Birch		
			15	SHRUBS			
Pvt	Ntv	Hp	5	Hypericum prolificum	Shrubby St. John's Wort	2 gallon pot	
Pvt	Ntv	Phv	2	Philadelphus x virginialis	Mockorange	175 cm ht	WB, Staked
Pvt	Non N	PmP	1	Pinus mugo 'Pumilo'	Dwarf Mugho Pine	175 cm ht	1.5m o.c.
Pvt	Ntv	RaLG	7	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	40 cm ht.	Potted
				PERENNIALS			
Pvt	50% Ntv	PvA	72	Ornamental Grasses	Ornamental Grasses Varieties	150mm Pot	0.5 - 0.75m o.c.
Pvt	80% Ntv	PvB	44	Shade Perennial	Shade Perennial Varieties	150mm Pot	0.5 - 0.6m o.c.

ORNAMENTAL GRASSES IN EACH AREA TO INCLUDE MINIMUM 3 VARIETIES, AND TO BE MINIMUM 50% NATIVE SPECIES
 PERENNIALS IN EACH AREA TO INCLUDE MINIMUM 5 VARIETIES, AND TO BE MINIMUM 80% NATIVE SPECIES
 NOTES: PLANTS WITH ASTERISK* ARE NON NATIVE SPECIES
 PvA - Ornamental Grasses: Karl Foerster Feather Reed Grass*, Heavy Metal Switch Grass, Little Bluestem, Prairie Dropseed, Side-oats Grama, Junegrass, Canada Rye, Hall's Fescue
 PvB - Shade Perennials: Ostrich Fern, Sensitive Fern, Hosta varieties*, Spotted Geranium, Bigroot Geranium*, Astilbe*, Foamflower, Blue Woodland Phlox, Bloodroot, Large-flowered Bellwort, Heartleaf Aster, Tall Thimbleweed
 NOTES: ALL PROPOSED TREE ARE SITUATED ON PRIVATE PROPERTY. ONE EXISTING TREE (E01) IS ON CITY'S PROPERTY. TWO (E02 AND E03) ON PRIVATE PROPERTY.

SOIL VOLUME REQUIREMENTS:
 AREAS WHERE SITE CONSTRAINTS (such as parking lot islands, adjacent hard surface areas): 0.9 TO 1.2 METRE DEPTH IMPORTED TOPSOIL (average depth of 1000mm).
 AREAS WITHIN OR ADJACENT TO LARGER SOFT LANDSCAPE AREAS (such as wide boulevards, lawns, etc):
 0.4 METRE AVERAGE DEPTH OF IMPORTED TOPSOIL OVER APPROVED EXISTING SUBSOIL. ADDITIONAL IMPORTED TOPSOIL OR APPROVED SUBSOIL TO BE ADDED WHERE SUBGRADE BELOW THE 400mm IMPORTED TOPSOIL IS NOT CONDUSIVE TO PLANT GROWTH TO A MAXIMUM DEPTH OF 1 METRE.

30 Railway				
Soil Volume Area, Tree Quantity and Size	Tree Quantity	OTTAWA Target Soil Volume (m ³)	Design Soil Volume	Soil Adequacy percentage
AREA A - 1 large existing trees, 1 medium existing tree, 1 large tree, 2 ornamental trees				
plant bed (65 sq m x 0.9m ave deep)	5	69.0	58.5	85%
AREA B - 1 small ornamental tree				
plant bed (6 sq m x 0.9m ave deep)	1	6.0	5.4	90%
AREA C - 1 large existing tree, 1 small tree				
plant bed (34 sq m x 0.9m ave deep)	2	30.0	30.6	102%

NOTES: SMALL ORNAMENTAL TREES WITH GROWTH TO 10-15CM DBH USING 'HOW MUCH SOIL TO GROW A BIG TREE' BY DEEPROOT AS A GUIDE

NOTES:
 THIS PLAN IS ISSUED FOR SITE PLAN CONTROL SUBMISSION ONLY. ADDITIONAL DETAILING AND SPECIFICATIONS ARE REQUIRED PRIOR TO TENDERING OR CONSTRUCTION.
 SERVICING INFORMATION SHOWN AS REFERENCE ONLY. REFER TO CIVIL DRAWINGS.
 DRAWING TO BE READ IN CONJUNCTION WITH TREE CONSERVATION REPORT. REFER TO TREE CONSERVATION REPORT PREPARED BY KEVIN MYERS DATED DECEMBER 10, 2024 FOR TREE PROTECTION MEASURES AND DETAILS.
 ALL TREES TO BE PLANTED A MINIMUM OF 1m FROM EDGE OF SIDEWALK
 ALL PROPOSED TREES MEETS THE CITY GUIDELINES FOR SOIL VOLUME REQUIREMENTS.
 FOR SUBDIVISIONS – SAMPLES: PLAN TO BE READ IN CONJUNCTION WITH THE TREE STUDY AND CONSERVATION PLAN, AND THE HOME OWNER AWARENESS PACKAGE.

ARCHITECT / ARCHITECTE
 CONSULTANT / EXPERT-CONSEIL

CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT
30 RAILWAY
 30 Railway St, Ottawa, ON

DRAWING / DESSIN
LANDSCAPE PLAN

BUSINESS ENTITY / NUMERO DE L'ENTITE
 BUILDING NUMBER / NUMERO DU BATIMENT

SHEET NO. / FEUILLE NO.
L-01

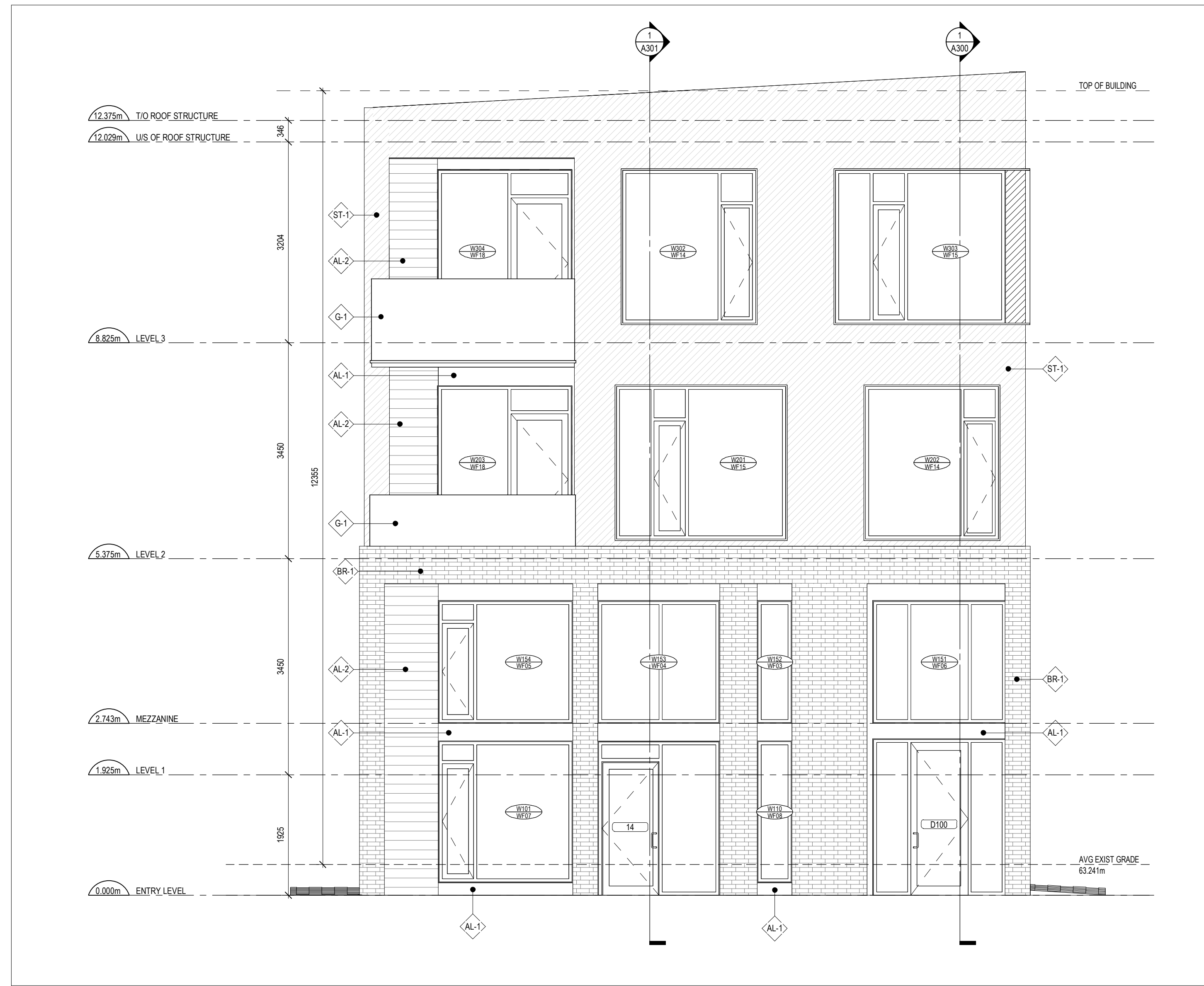
CITY PROJECT NO. / NUMERO DE PROJET
 CONS. PROJECT NO. / NUMERO DE PROJET
24-1753

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CLADDING LEGEND

	ALUMINUM PANEL DARK GREY
	ALUMINUM SIDING WOOD LOOK
	DIAGONAL STEEL SIDING DARK GREY
	CONCRETE
	BRICK
	ALUMINUM AND GLASS RAILING

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-  ALUMINUM PANEL
DARK GREY
-  ALUMINUM SIDING
WOOD LOOK
-  DIAGONAL STEEL SIDING
DARK GREY
-  CONCRETE
-  BRICK
-  ALUMINUM AND GLASS RAILING

GENERAL ARCHITECTURAL NOTES:

1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
3. Upon notice in writing, the Architect will provide written graphic clarification or supplementary information regarding the intent of the Contract Documents.
4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
5. Positions of reported or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
6. These documents are not to be used for construction unless specifically noted for such purpose.

8	ISSUED FOR COORDINATION	2025/01/29
5	ISSUED FOR COORDINATION	2024/11/19
2	ISSUED FOR COORDINATION	2024/10/25
1	ISSUED FOR COORDINATION	2024/10/15

ISSUE RECORD

**project1
studio**

Project1 Studio Incorporated
[613.884.3939] | mail@project1studio.ca

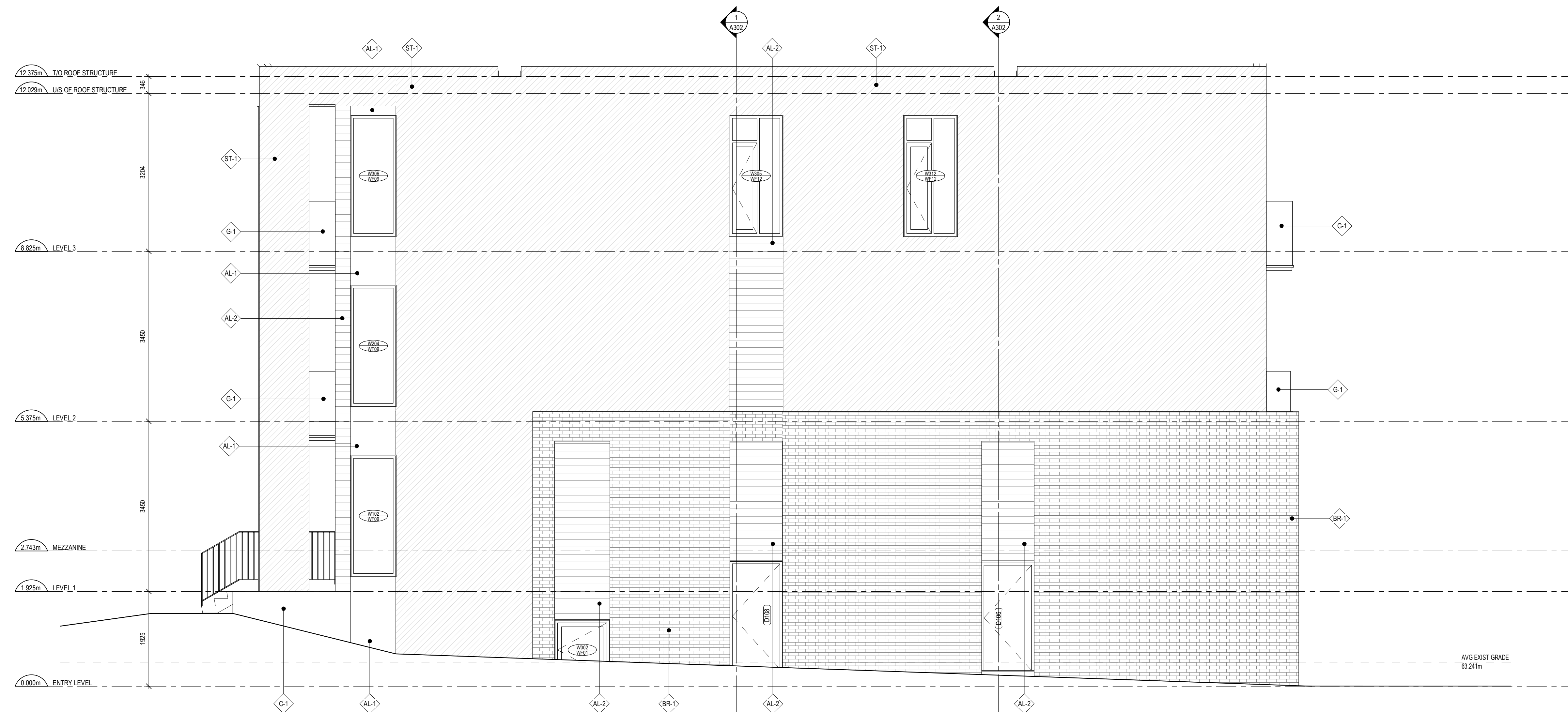
30 RAILWAY

30 Railway Street
Ottawa, On

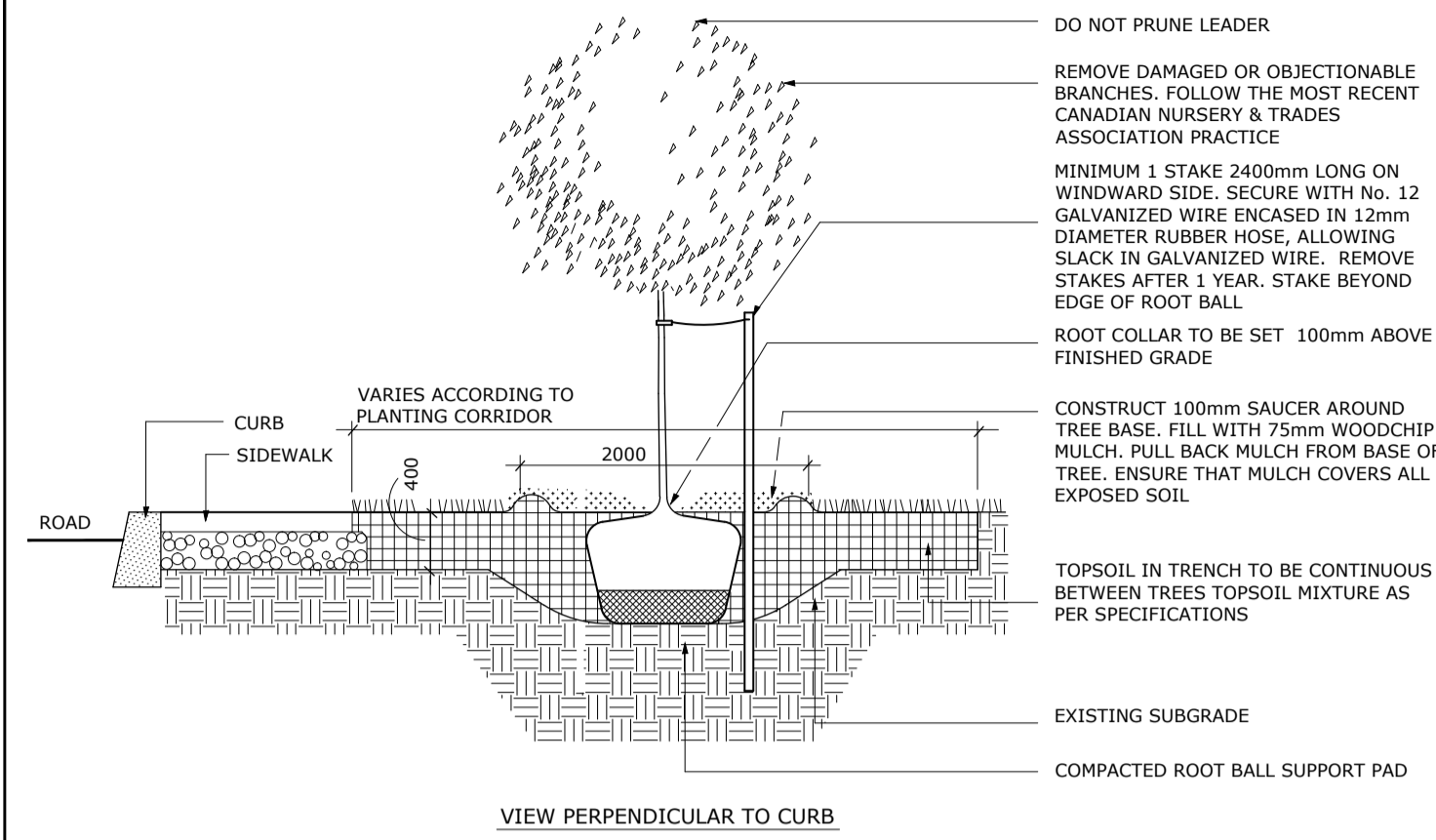
PROJ	SCALE	DRAWN	REVIEWED
2409	NOTED	CG	RK

ELEVATIONS

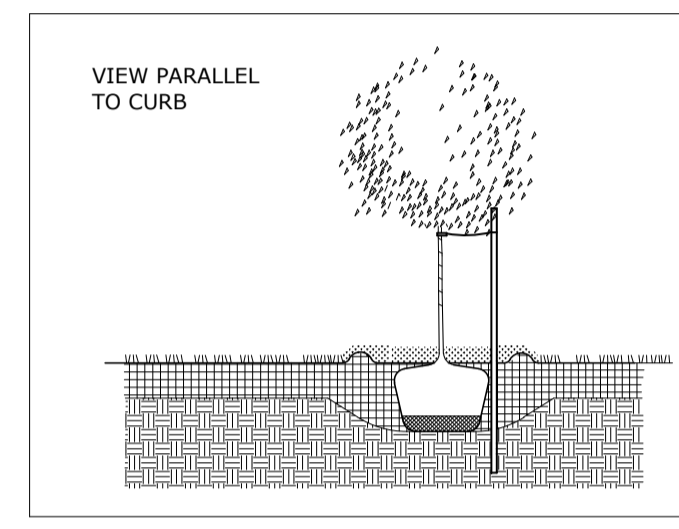
A202



1 SOUTH ELEVATION
A202 SCALE: 1 : 50

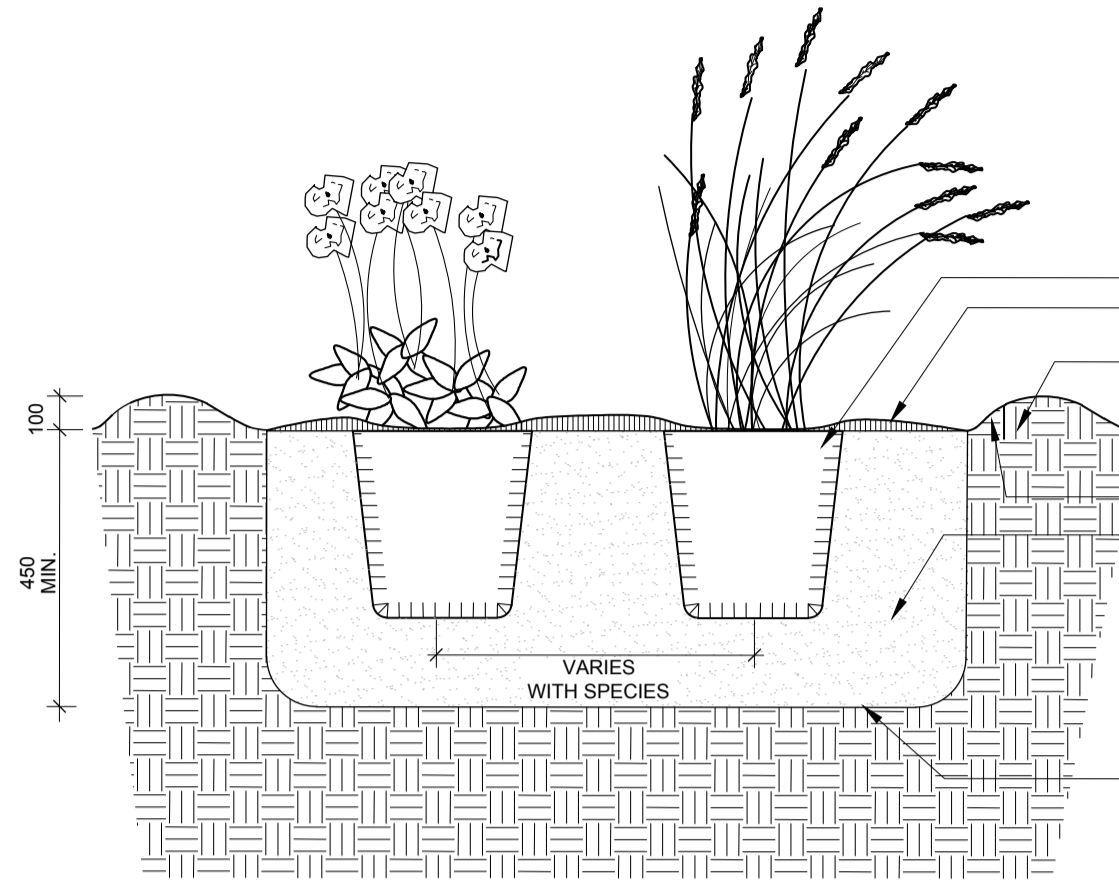


VIEW PERPENDICULAR TO CURB



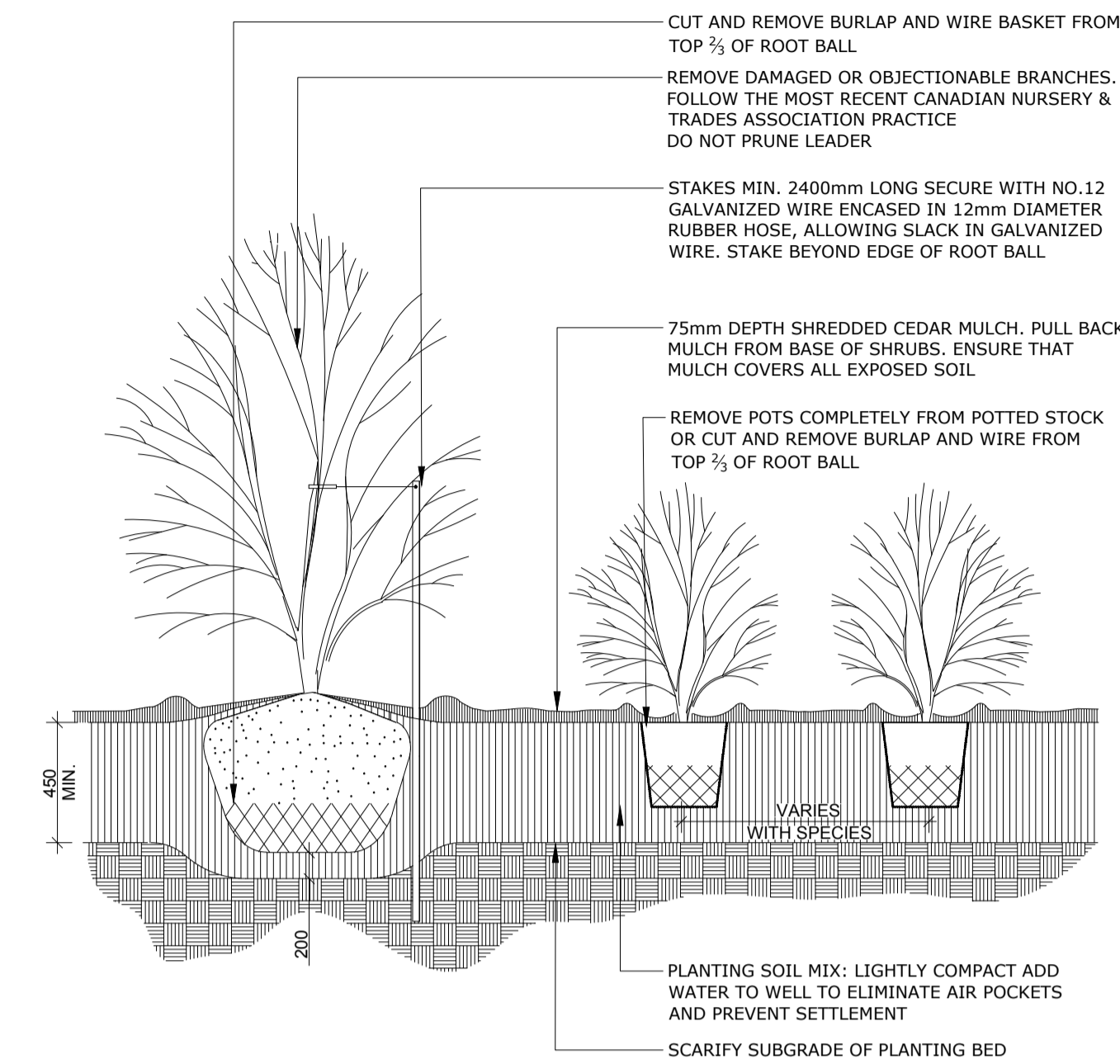
- NOTES:
1. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED
 2. CUT AND REMOVE BURLAP AND WIRE BASKET FROM TOP 2/3 OF ROOT BALL WITHOUT DISTURBING ROOTS
 3. LOCATION AS SPECIFIED ON THE CONTRACT DRAWINGS

Ottawa TITLE: **PLANTING TRENCH WELL DRAINED SOILS** DATE: MAY 2011
 REV: JAN 2017
 DWG No: L1



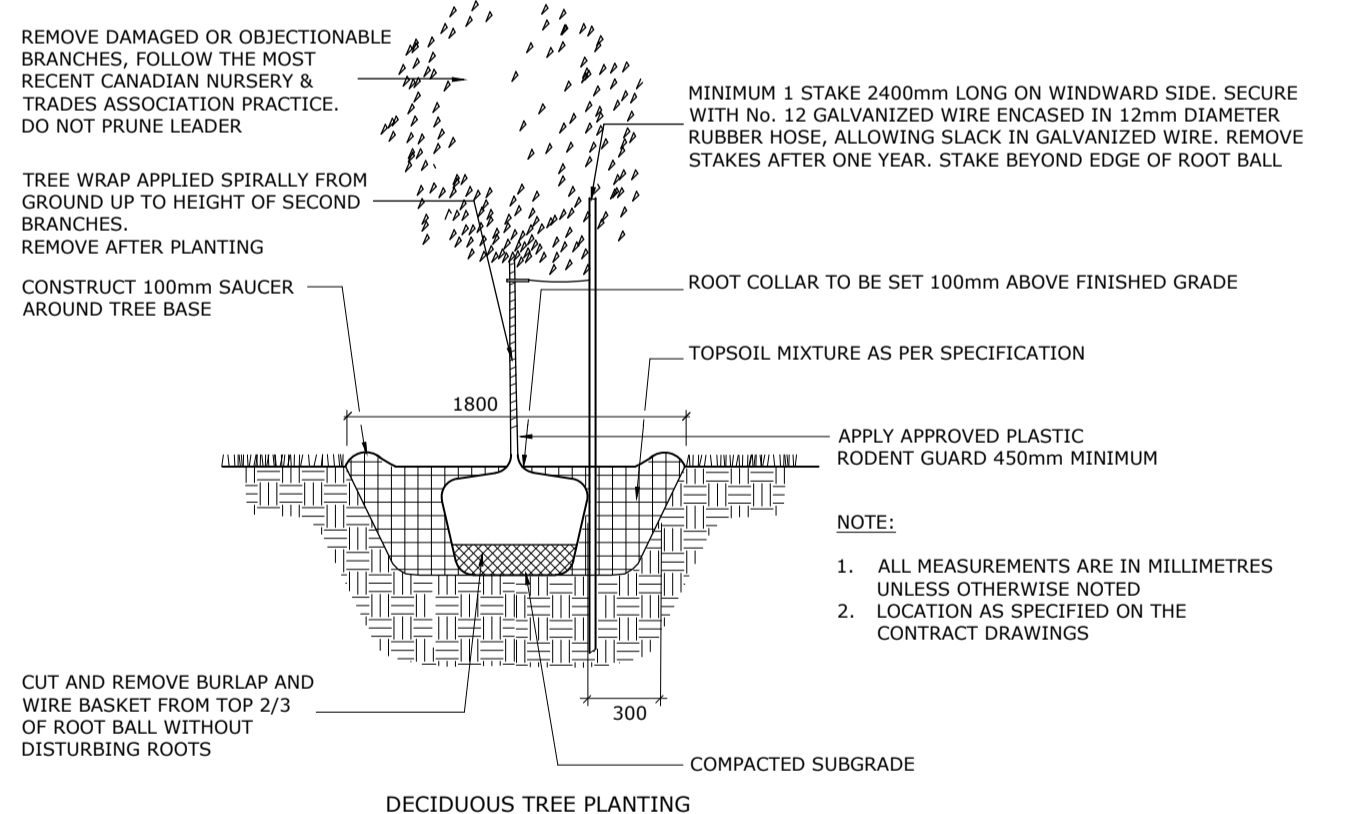
- NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
 2. PLANTING SOIL MIXTURE AS PER SPECIFICATION
 3. PROVIDE 100MM HIGH EARTH SAUCER AROUND PERENNIAL/GRASS BED.

Ottawa TITLE: **PERENNIAL AND ORNAMENTAL GRASS PLANTING** DATE: JAN 2015
 REV:
 DWG No: L21

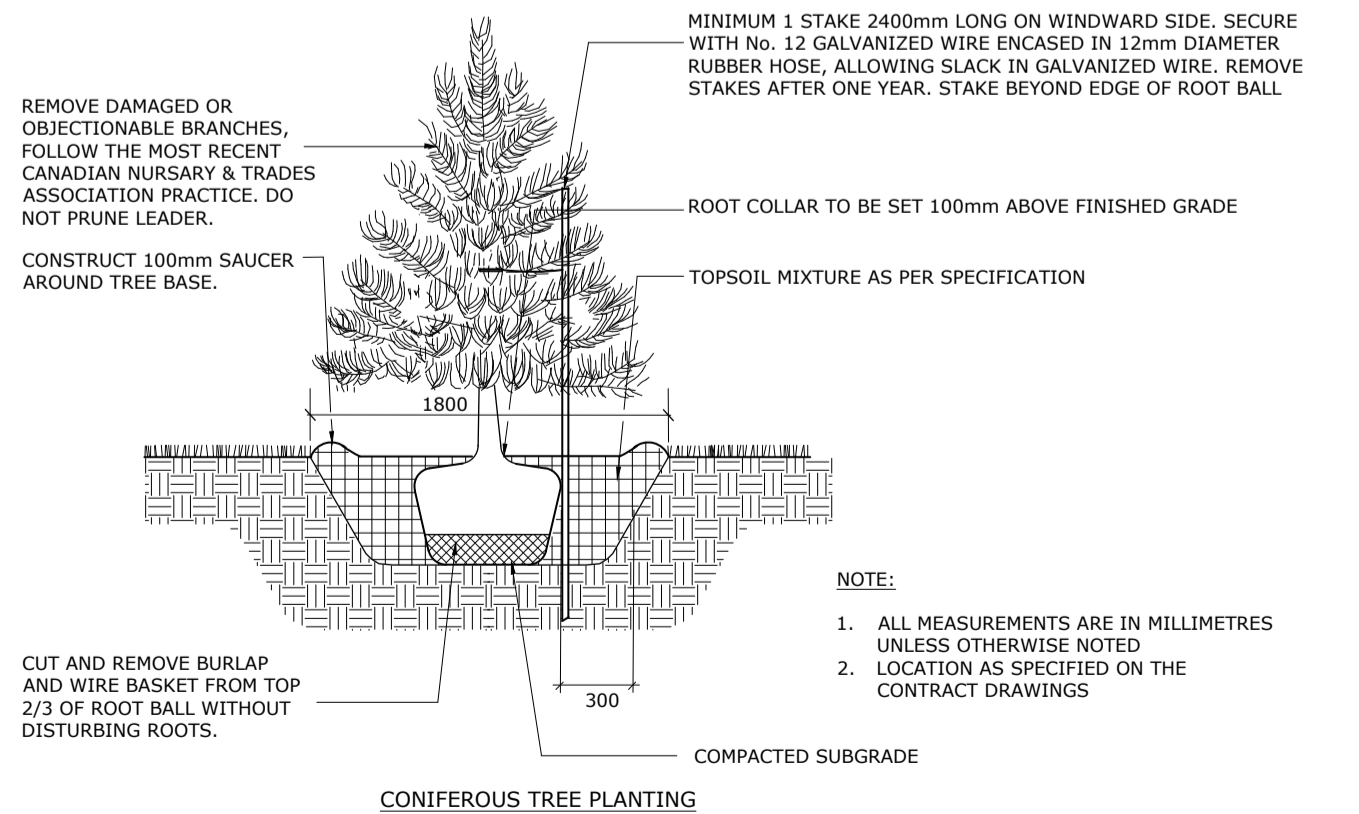


- NOTES:
1. PLANTING SOIL MIXTURE AS PER SPECIFICATION.
 2. SHRUBS SPECIFIED BARE ROOTS (B.R.) TO BE PLANTED SO THAT ROOTS ARE FULLY EXTENDED IN PLANTING HOLE WITH SOIL MIX BACKFILLED CAREFULLY TO PREVENT ROOT DAMAGE
 3. PROVIDE 100 HIGH EARTH SAUCER AROUND SHRUB BED
 4. STAKES TO BE REMOVED AT COMPLETION OF TWO YEAR WARRANTY PERIOD

Ottawa TITLE: **CONTINUOUS SHRUB BED PLANTING** DATE: FEB 2013
 REV: FEB 2014
 DWG No: L17

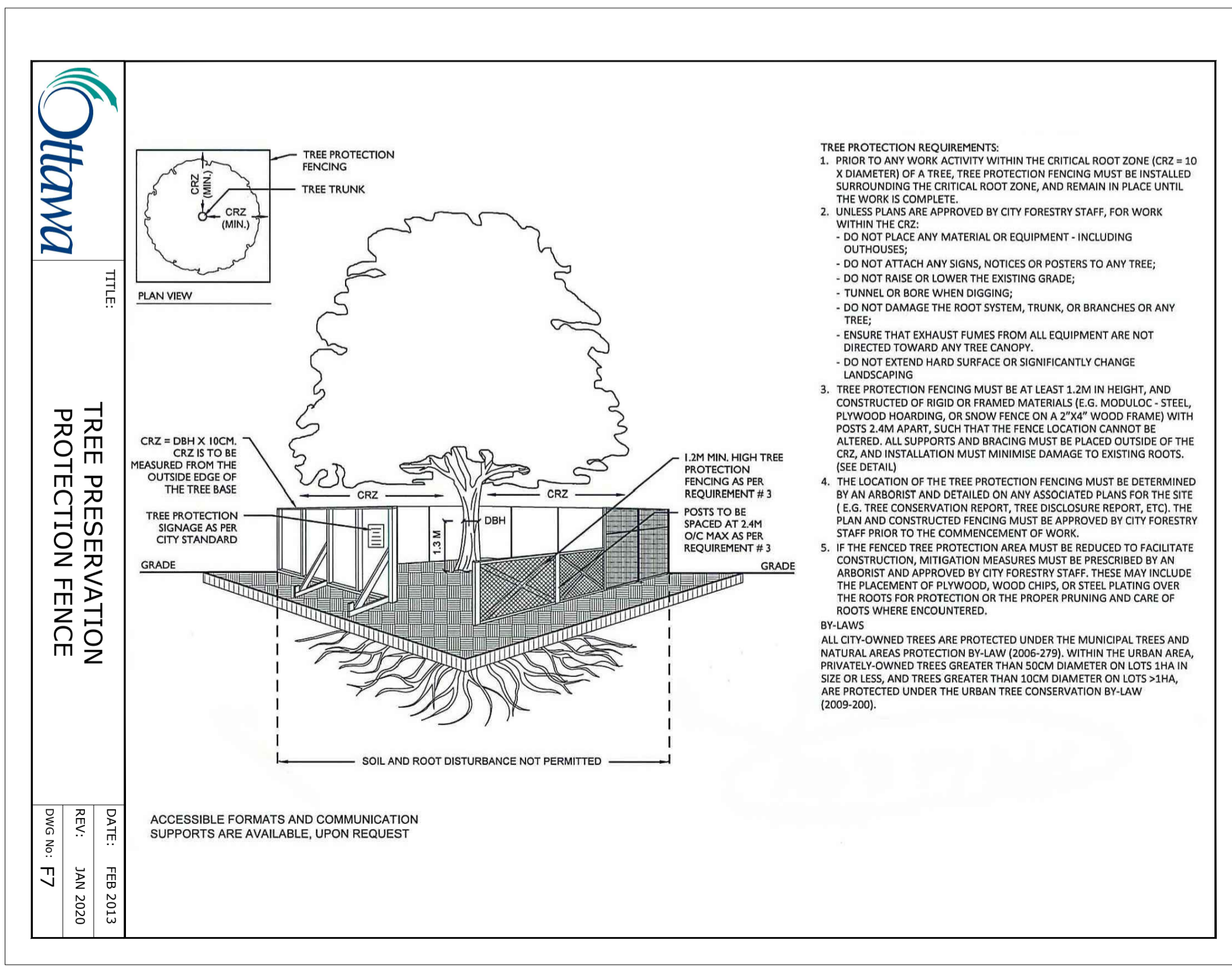


DECIDUOUS TREE PLANTING



CONIFEROUS TREE PLANTING

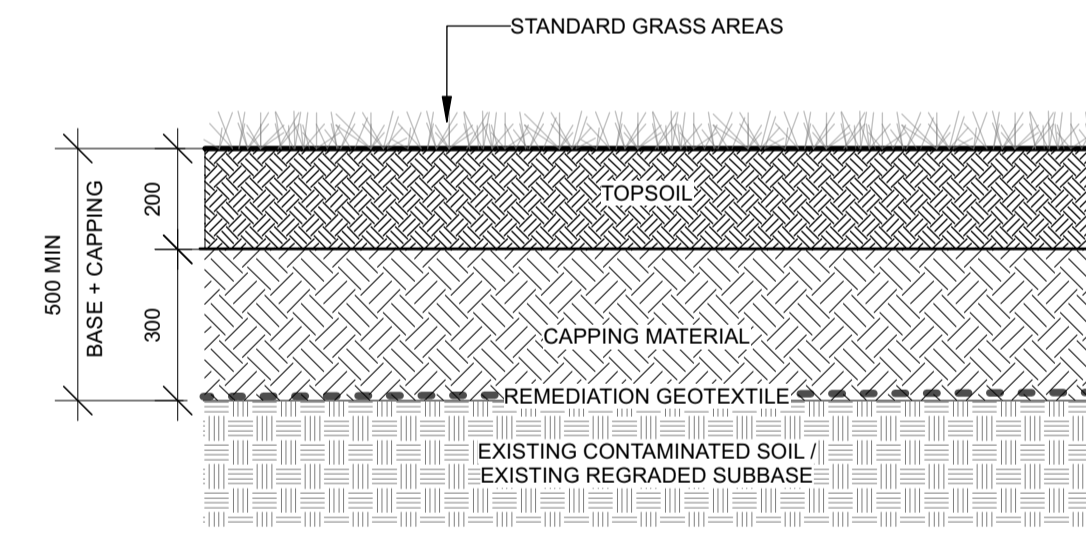
Ottawa TITLE: **PLANTING TRENCH WELL DRAINED SOILS (LOTS)** DATE: MAY 2011
 REV: JAN 2017
 DWG No: L2



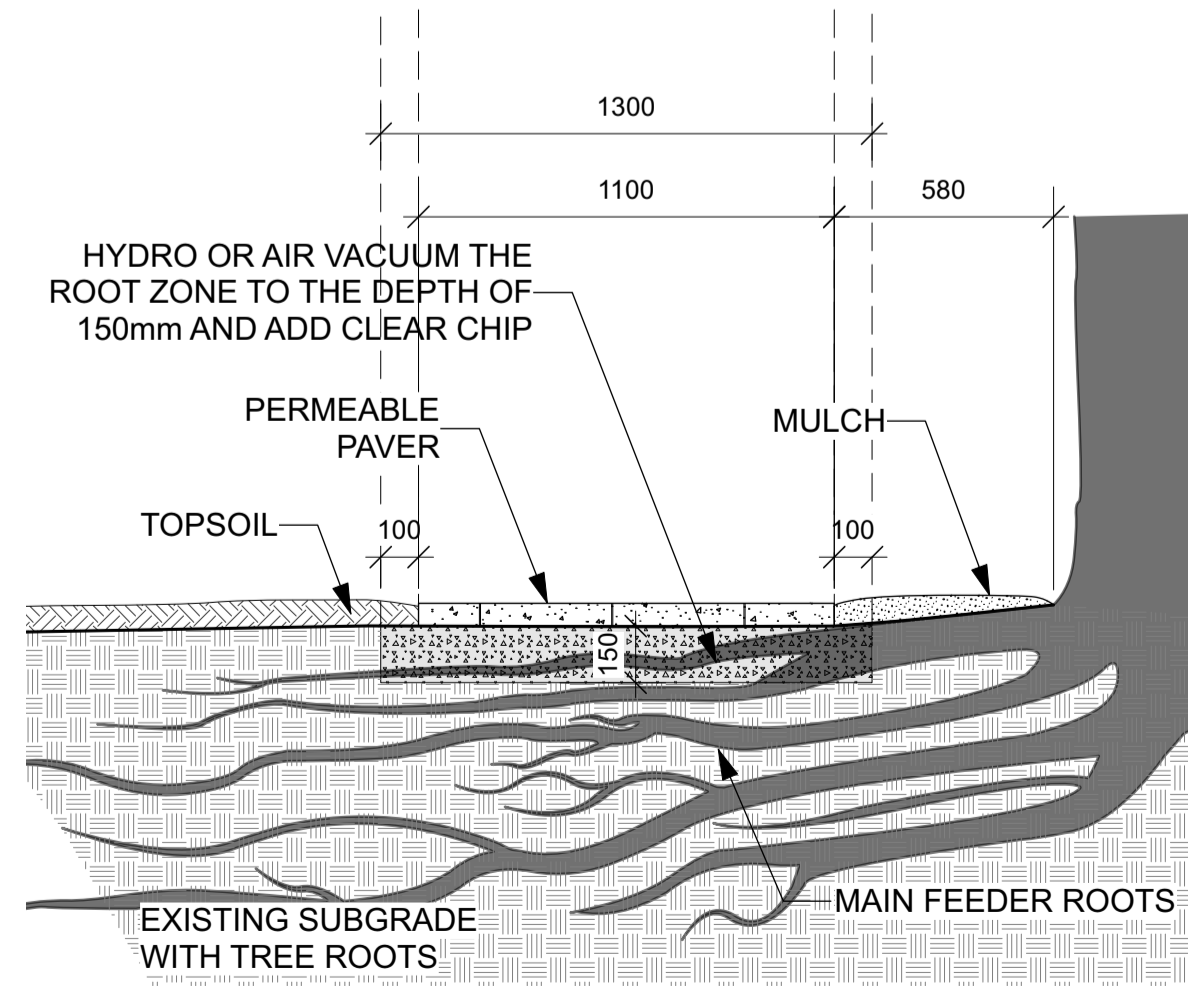
Ottawa TITLE: **TREE PRESERVATION PROTECTION FENCE**

DATE: FEB 2013
 REV: JAN 2020
 DWG No: F7

- TREE PROTECTION REQUIREMENTS:
1. PRIOR TO ANY WORK ACTIVITY WITHIN THE CRITICAL ROOT ZONE (CRZ = 10 X DIAMETER) OF A TREE, TREE PROTECTION FENCING MUST BE INSTALLED SURROUNDING THE CRITICAL ROOT ZONE, AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETE.
 2. UNLESS PLANS ARE APPROVED BY CITY FORESTRY STAFF, FOR WORK WITHIN THE CRZ:
 - DO NOT PLACE ANY MATERIAL OR EQUIPMENT - INCLUDING OUTHOUSES.
 - DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.
 - DO NOT RAISE OR LOWER THE EXISTING GRADE.
 - TUNNEL OR BORE WHEN DIGGING.
 - DO NOT DAMAGE THE ROOT SYSTEM, TRUNK, OR BRANCHES OR ANY TREE.
 - ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARD ANY TREE CANOPY.
 - DO NOT EXTEND HARD SURFACE OR SIGNIFICANTLY CHANGE LANDSCAPING
 3. TREE PROTECTION FENCING MUST BE AT LEAST 1.2M IN HEIGHT, AND CONSTRUCTED OF RIGID OR FRAMED MATERIALS (E.G. MODULOC - STEEL, PLYWOOD HOARDING, OR SNOW FENCE ON A 2"x4" WOOD FRAME) WITH POSTS 2.4M APART, SUCH THAT THE FENCE LOCATION CANNOT BE ALTERED. ALL SUPPORTS AND BRACING MUST BE PLACED OUTSIDE OF THE CRZ, AND INSTALLATION MUST MINIMIZE DAMAGE TO EXISTING ROOTS. (SEE DETAIL)
 4. THE LOCATION OF THE TREE PROTECTION FENCING MUST BE DETERMINED BY AN ARBORIST AND DETAILED ON ANY ASSOCIATED PLANS FOR THE SITE (E.G. TREE CONSERVATION REPORT, TREE DISCLOSURE REPORT, ETC). THE PLAN AND CONSTRUCTION OF FENCING MUST BE APPROVED BY CITY FORESTRY STAFF PRIOR TO THE COMMENCEMENT OF WORK.
 5. IF THE FENCED TREE PROTECTION AREA MUST BE REDUCED TO FACILITATE CONSTRUCTION, MITIGATION MEASURES MUST BE PRESCRIBED BY AN ARBORIST AND APPROVED BY CITY FORESTRY STAFF. THESE MAY INCLUDE THE PLACEMENT OF PLYWOOD, WOOD CHIPS, OR STEEL PLATING OVER THE ROOTS FOR PROTECTION OR THE PROPER PRUNING AND CARE OF ROOTS WHERE ENCOUNTERED.
- BY-LAWS:
 ALL CITY-OWNED TREES ARE PROTECTED UNDER THE MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAW (2006-279). WITHIN THE URBAN AREA, PRIVATELY-OWNED TREES GREATER THAN 50CM DIAMETER ON LOTS 1HA IN SIZE OR LESS, AND TREES GREATER THAN 10CM DIAMETER ON LOTS 0.1HA, ARE PROTECTED UNDER THE URBAN TREE CONSERVATION BY-LAW (2009-200).



1 Grassed Area Soil Profile
 Scale: NTS



2 PERMEABLE DETAILS FOR EXISTING TREE
 Scale: NTS

A	ISSUED FOR BUILDING PERMIT	2025-01-30	FX
NUMBER / NUMERO	MILESTONE / FAIT SAILLANT	DATE / DATE	INITIALS / INITIALES
DESIGNED BY / CONCEU PAR	M. Ruhland	CHECKED BY / VERIFIE PAR	M. Ruhland / V. Odusanya
DRAWN BY / DESINE PAR	F. Xiao	SCALE / ECHELLE	

DETAIL NUMBER: 1
 DRAWING TITLE: A1.1
 SCALE: SHEET NUMBER:

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ARCHITECT / ARCHITECTE: CONSULTANT / EXPERT-CONSEIL



CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT

30 RAILWAY
 30 Railway St. Ottawa, ON

DRAWING / DESSIN

LANDSCAPE DETAILS

BUSINESS ENTITY / NUMERO DE L'ENTITE: SHEET NO. / FEUILLE No.

CITY PROJECT NO. / NUMERO DE PROJET: CONS. PROJECT NO. / NUMERO DE PROJET: **L-02**
 24-1753

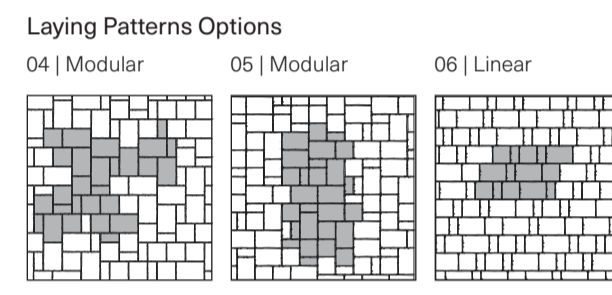
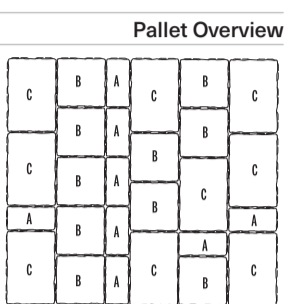


MISTA Random

DESCRIPTION: Paver TEXTURE: Multi-textured



Specifications per pallet	Imperial	Metric
Product dimension L x W x H	3 3/4" x 7 3/4" x 2 3/8"	100 x 200 x 65
Product dimension L x W x H	7 3/4" x 7 3/4" x 2 3/8"	200 x 200 x 65
Product dimension L x W x H	11 3/4" x 7 3/4" x 2 3/8"	300 x 200 x 65
80 units / pallet		
Cubing	116.20 ft ³	10.80 m ³
Approx. Weight	3 356 lbs	1 522 kg
100 units / pallet		
Number of rows	10	
Coverage per row	11.62 ft ²	1.08 m ²
90 units / pallet		
Lin. coverage per row	17.71 lin. ft	5.40 lin. m



Patterns are for design inspiration only. The installer is responsible to calculate & purchase the correct amount of material.

NOTES

See page 6 for icons description.

See page 19 for more information about applications.

See page 56 to 58 for more technical information. When used in a permeable pavement application, see page 93 to 97 for more technical information.

JOINT WIDTH: 3/16" to 1/4" (4 to 14 mm)

% OF SURFACE OPENING: 6.3 %

INFILTRATION RATE: 610 in./hr (15 506 mm/hr)

Permeable pavers allow for storm water drainage and manage excess runoff. The use of permeable pavers also facilitates LEED® certification easier to obtain.

86

SAMPLE PERMEABLE PAVER OPTION

LEGEND

DRY CAST COLLECTION	DE-ICING SALT RESISTANT	USE VIBRATING PLATE	PERMEABLE PAVERS
WET CAST COLLECTION	DO NOT USE DE-ICING SALT	DO NOT USE VIBRATING PLATE	HIGH DEFINITION & DENSITY
PEDESTRIAN	RESIDENTIAL / VEHICULAR	PEDESTRIAN PLAZA	KLEAN-BLOC
SECONDARY STREETS	MAIN STREETS	MECHANICAL INSTALLATION	ADA
PARKING LOTS		NATURAL STONE	

Ruhland & Associates Ltd
 landscape architecture • urban design • site planning
 Ph 613-224-4744 Fx 613-224-1131 info@rala.ca www.rala.ca

A	ISSUED FOR BUILDING PERMIT	2025-01-30	FX
NUMBER / NUMERO	DATE / DATE	INITIALS / INITIALES	
MILESTONE / FAIT SALLANT	(Y/M/D)		
DESIGNED BY / CONÇU PAR	CHECKED BY / VÉRIFIÉ PAR		
M. Ruhland	M. Ruhland / V. Odusanya		
DRAWN BY / DÉSSINÉ PAR	SCALE / ÉCHELLE		
F. Xiao			

DETAIL NUMBER: 1
 DRAWING TITLE: A1.1
 SCALE:
 SHEET NUMBER

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ARCHITECT / ARCHITECTE	CONSULTANT / EXPERT-CONSEIL
CONSULTANT / EXPERT-CONSEIL	CONSULTANT / EXPERT-CONSEIL

PROJECT / LOCATION / PROJET / ENDROIT

30 RAILWAY

30 Railway St, Ottawa, ON

DRAWING / DESSIN

LANDSCAPE DETAILS

BUSINESS ENTITY / NUMÉRO DE L'ENTITÉ BUILDING NUMBER / NUMÉRO DU BÂTIMENT	SHEET NO. / FEUILLE No.
CITY PROJECT NO. / NUMÉRO DE PROJET	CONSP. PROJECT NO. / NUMÉRO DE PROJET
	L-03
	24-1753