

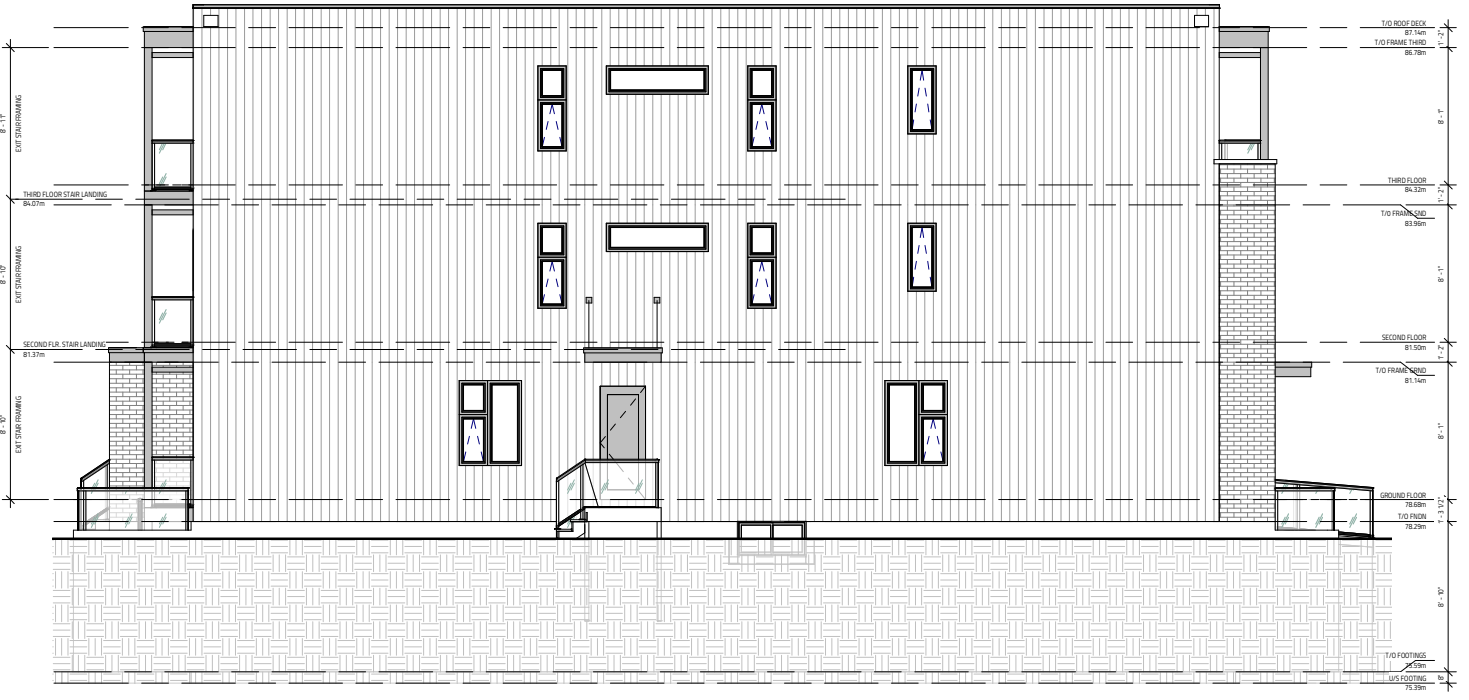
**Committee of Adjustment
Received | Reçu le**

2025-01-16

**City of Ottawa | Ville d'Ottawa
Comité de dérogation**



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY THE WINDOW AND DOOR DIMENSIONS ALONG WITH WINDOW TYPE AND SIZING WITH THE DRAWING AND CONDITIONS ON SITE & REPORT ALL DISCREPANCIES TO DESIGNER PRIOR TO PLACING WINDOW & DOOR ORDER INTO PRODUCTION.

MATERIALS USED IN CONSTRUCTION PROCEDURE MUST CONFORM TO 1. SPECIFICATIONS & NOTES SHOWN ON THIS DRAWING
2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
3. PROVISIONS IN PART 9 OF O.B.C. 2012.

METAL PANELING IS AL13 COMPOSITE PANEL CONFORMING TO CANULC 5134, CANULC 5102, NFPA 265 & ASTM E84	METAL FOLDED WALL PANEL IS LUX FOLDED WALL CONFORMING TO CMC 14197-L
2 PLY MOD BITUMINOUS FLAT ROOF MEMBRANE IS 'SOMPREMA RESISTO' CONFORMING TO CMC 13280-L	EXTERIOR FINISH EIFS IS ADEX-MPS SYSTEM CONFORMING TO CMC 12913-R
	EXTERIOR FINISH CEMENT BOARD PANELING IS HARDE PANEL H25 CONFORMING TO CMC 12676-R

I REVIEW & TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 3.2.4 OF THE OBC 2012. I AM QUALIFIED & THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION UNLESS SIGNED AND DATED BY THE DESIGNER

FIRM BCIN: 45801
INDIVIDUAL BCIN: 41176

GENERAL NOTES:

- E. & O.E.
- THESE DRAWINGS ARE NOT FOR CONSTRUCTION UNTIL LOCAL AUTHORITIES ISSUE A PERMIT
- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS ONLY TO BE USED
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS ON SITE & REPORT ALL DISCREPANCIES
- GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE W/ THE O.B.C. 2012 AND MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES

462 CHURCHILL AVE. N	
TWO - 8 UNIT LOW-RISE APARTMENT	
NO.	DATE
1	2025
2	2025
3	2025

OTTAWA, ON

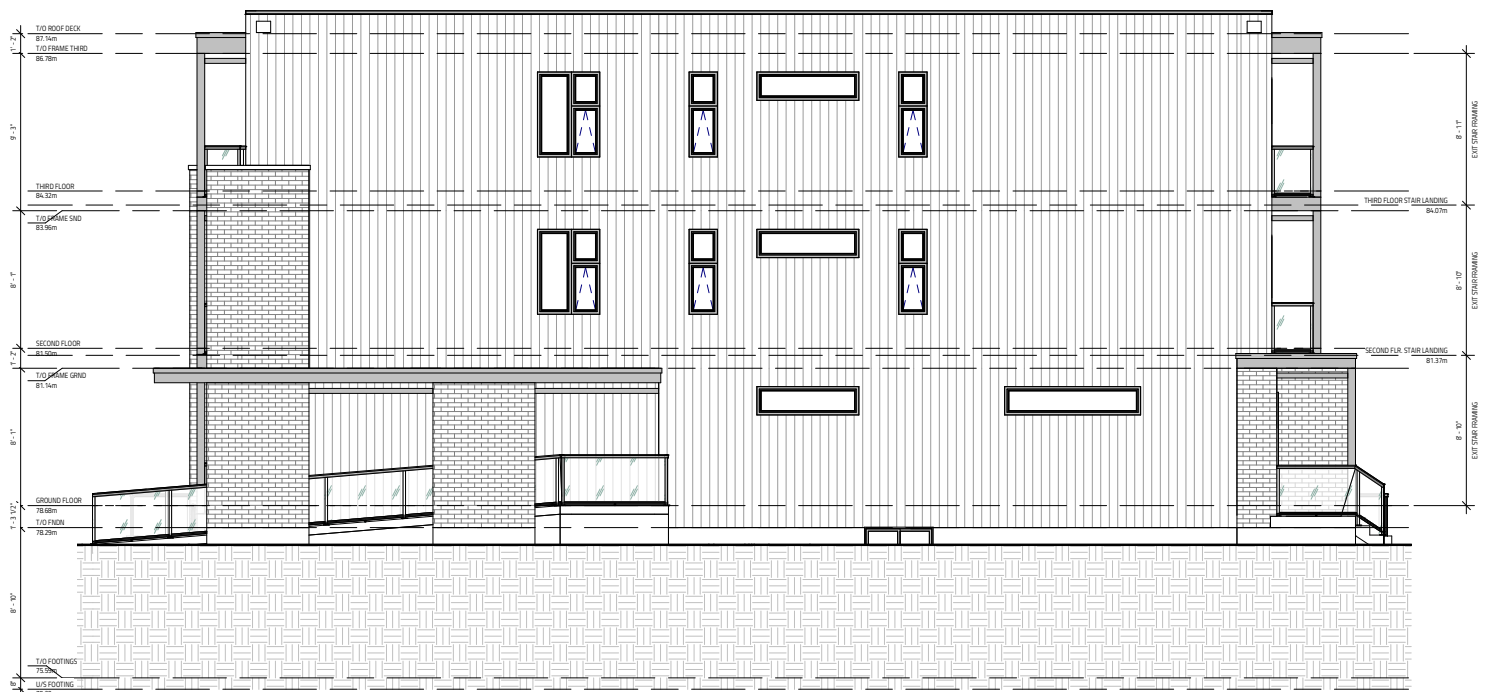


ELEVATIONS 1	
DATE DRAWN	SCALE
DATE CHECKED	SCALE
DATE REVISION	SCALE
DATE	SCALE

A4.0



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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MATERIALS USED & CONSTRUCTION PROCESSES MUST CONFORM TO 1. SPECIFICATIONS & NOTES SHOWN ON THIS DRAWING
2. NOTES & DETAILS SHOWN ON STRUCTURAL DRAWINGS
3. PROVISIONS IN PART 9 OF O.B.C. 2012.

METAL PANELING IS 3x13 COMPOSITE PANEL CONFORMING TO CANULC 5741, CANULC 5702, NFPA 285 & ASTM E84
METAL FOLDED WALL PANEL IS 1.5X FOLDED WALL CONFORMING TO CMC 14137-4
2 PLY MOD BITUMINOUS FLAT ROOF MEMBRANE IS 'SOMPREMA RESISTO' CONFORMING TO CMC 13088-4
EXTERIOR FINISH EPS IS 3DEX-MPS SYSTEM CONFORMING TO CMC 12913-R
EXTERIOR FINISH CEMENT BOARD PANELING IS HARDE PANEL H2S CONFORMING TO CMC 12478-R

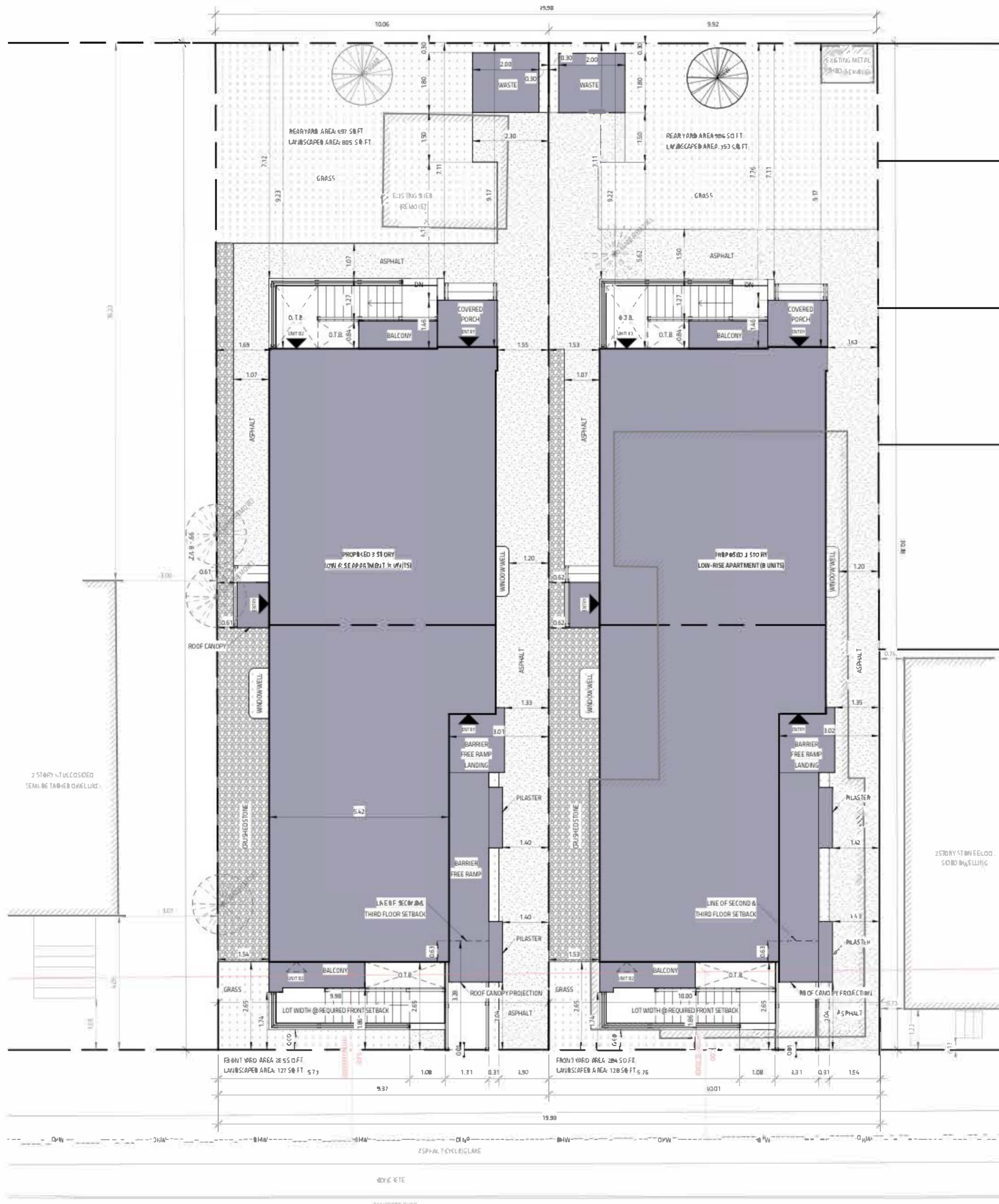
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INDIVIDUAL BCIN: 41176

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- GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE W/ THE O.B.C. 2012 AND MUNICIPAL BY LAWS & ALL OTHER APPLICABLE CODES

<p>462 CHURCHILL AVE. N</p> <p>TWO - 8 UNIT LOW-RISE APARTMENT</p> <p>OTTAWA, ON</p>		<p>Evolution DESIGN & DRAFTING</p> <p>613-884-7068 / 613-808-7185</p>	<p>ELEVATIONS 2</p> <p>DATE: 08/21/2024 BY: [Signature] CHECKED BY: [Signature]</p>
<p>NO. 000000</p> <p>DATE: 08/21/2024</p>	<p>NO. 000000</p> <p>DATE: 08/21/2024</p>		<p>A6.1</p>



462 CHURCHILL AVE. N

2018 ZONING BY-LAW

SECTION 20.01 - ZONING SCHEDULES

20.01.01 - RESIDENTIAL ZONING SCHEDULES

20.01.01.01 - RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES

BY-LAW SECTION	APPLICABLE ZONING	PROPOSED ZONING	NOTES
S-1(1)(1)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(2)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(3)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(4)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(5)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(6)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(7)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(8)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(9)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(10)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(11)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(12)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(13)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(14)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(15)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(16)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(17)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(18)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(19)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE
S-1(1)(20)	RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULES	RESIDENTIAL LOW-RISE APARTMENT ZONING SCHEDULE	APPLICABLE ZONING SCHEDULE IS RESIDENTIAL SINGLE-FAMILY ZONING SCHEDULE

ARCHITECTURAL SITE PLAN PREPARED USING SURVEY PREPARED BY PAUL & SULLIVAN, INC. UNSEALED COPY BOTTED MAY 14, 2024

TRAVEL TIME VARIATION REPORT SUPPLIERS ALL TRAVEL INFORMATION SHOWN ON THIS SITE PLAN

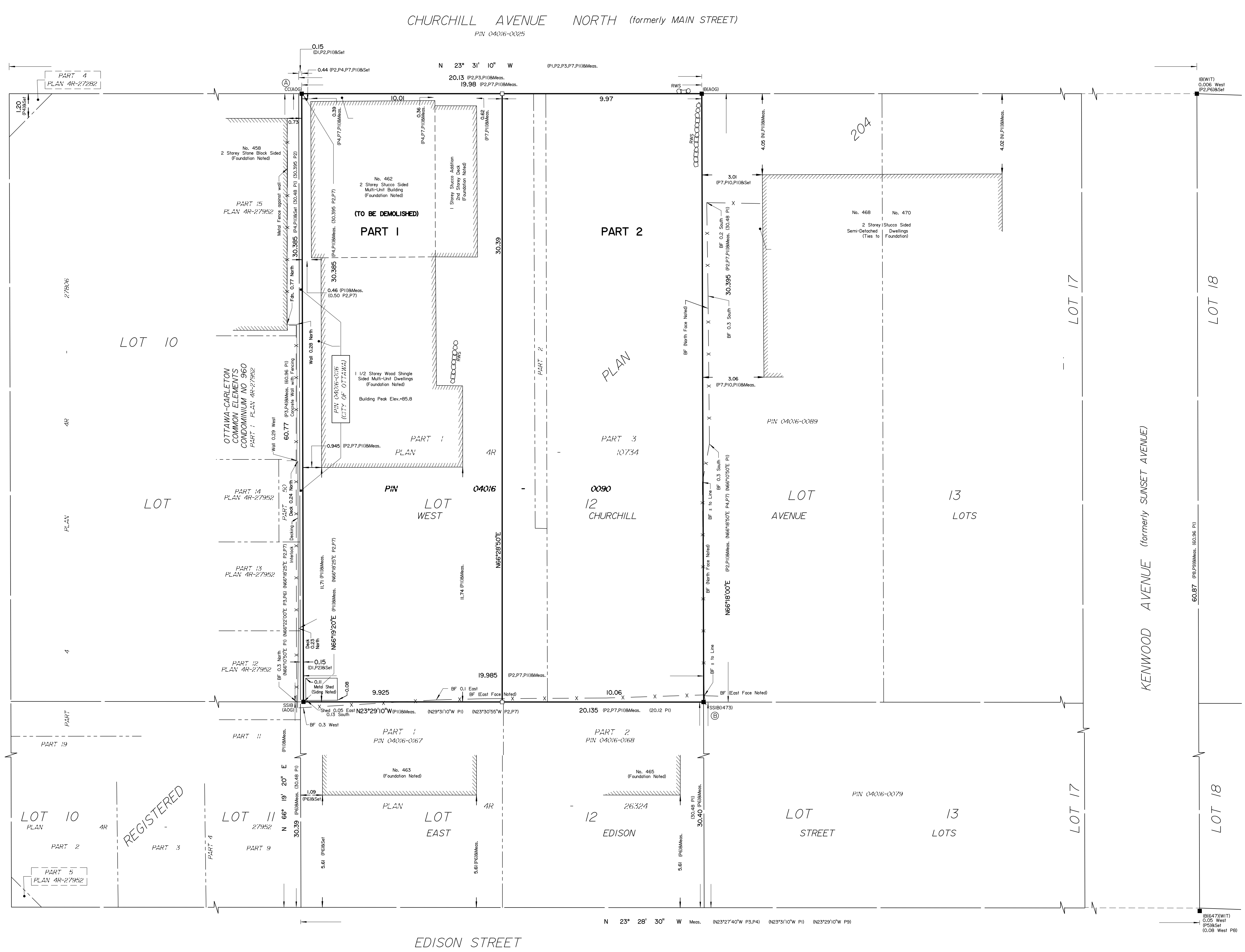
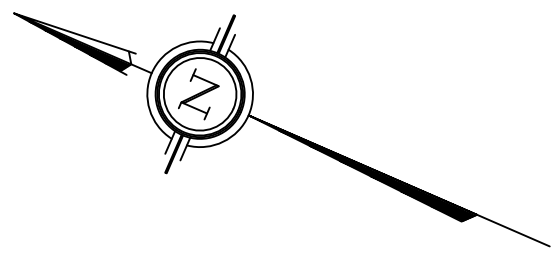
(REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT UNDER SECTION 3.2.2 OF THE O.C. 2012, 16M @ 1/4"=1'-0" & THE PLAN IS REGISTERED IN THE APPROPRIATE CLASSIFICATION

FIRM: B.C.A. 45 B.01
 PROJECT: 41 476

GENERAL NOTES:

- E. & O.E.
- THESE DRAWINGS ARE NOT FOR CONSTRUCTION
- UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHALL BE IN METERS
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE & REPORT TO THE ARCHITECT IMMEDIATELY
- GENERAL CONTRACTOR TO CONSTRUCT IN ACCORDANCE WITH THE O.C. 2012 AND MUNICIPAL BY-LAWS & ALL OTHER APPLICABLE CODES

462 CHURCHILL AVE. N TWO - 8 UNIT LOW-RISE APARTMENT OTTAWA, ON		<p>Evolution DESIGN & DRAFTING 613-884-7068 / 613-808-7185</p>	SITE PLAN DATE: 2024 SCALE: 1:100 DRAWN BY: [Name] CHECKED BY: [Name] PROJECT NO.: 41 476 SHEET NO.: 13 2024
A 01/15/2024 OCTOBER 22, 2024 B 02/15/2024 OCTOBER 11, 2024 C ARCHITECTURAL SPECIALIST OCTOBER 9, 2024 D 01/15/2024 SEPTEMBER 13, 2024 REV. REVISION DATE	613-884-7068 / 613-808-7185 OTTAWA, ON		A0.1



SCHEDULE				
AREA (Sq.m.)	PART	LOT	PLAN	PIN
302.9	1	PART OF 12		
304.3	2	WEST CHURCHILL AVENUE	204	ALL OF 04016-0090

DRAFT PLAN OF SURVEY OF PART OF LOT 12 WEST CHURCHILL AVENUE REGISTERED PLAN 204 CITY OF OTTAWA
 Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 100
 The intended plot size of the plan is 914 mm in width by 610 mm in height when plotted at a scale of 1:100.

Metric
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Surveyor's Certificate
 I CERTIFY THAT:
 1. This survey and plan are correct and in accordance with the Surveys Act and the Land Titles Act and the regulations made under them.
 2. The survey was completed on the ___ day of _____, 2024.

MMM DD YYYY Date V. Andrew Shelp Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-

- Notes & Legend**
- | Denotes | |
|---------|---------------------------------------|
| — | Survey Monument Planted |
| — | Survey Monument Found |
| SIB | Standard Iron Bar |
| SSIB | Short Standard Iron Bar |
| IB | Iron Bar |
| CC | Cut Cross |
| (WIT) | Witness |
| Mess. | Measured |
| (AOG) | Annis, O'Sullivan, Vollebakk Ltd. |
| (N) | (725) Field Notes, Ref. 22-204 |
| (P1) | Registered Plan 204 |
| (P2) | Plan 4R-10734 |
| (P3) | Plan 4R-27952 |
| (P4) | STANTEC Plan dated September 14, 2010 |
| (P5) | (1692) Plan dated July 17, 2023 |
| (P6) | (AOG) Plan dated September 5, 2012 |
| (P7) | (1319) Plan dated August 28, 1985 |
| (P8) | (JDB) Plan dated May 28, 2018 |
| (P9) | Plan 5R-9093 |
| (P10) | (725) Plan dated July 30, 1975 |
| (P11) | (AOG) Plan Dated May 21, 2024 |
| Fdn. | Foundation |
| RWS | Stone Retaining Wall |
| BF | Board Fence |

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.999930.
 Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations on reference points A and B, shown hereon, having a bearing of N33°02'10"E and are referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

For bearing comparisons, a rotation of 0°30'40" counter-clockwise was applied to bearings on plans (P1), (P2), (P3), (P4) and (P7).

Coordinates are derived from Can-Net 2016 Real Time Network GPS observations referenced to Specified Control Points 01919680005 and 01919680105, MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

Coordinate values are to urban accuracy in accordance with O. Reg. 216/10.

.01919680005	Northing	5027191.26	Easting	361496.76
.01919680105	Northing	5024915.16	Easting	373971.65
.Point A	Northing	5028045.47	Easting	363324.60
.Point B	Northing	5028014.93	Easting	363304.74

Caution: Coordinates cannot, in themselves, be used to re-establish corners or boundaries shown on this plan.

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ANNIS, O'SULLIVAN, VOLLEBAKK LTD.
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 Nepean, Ont. K2E 7S6
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 Email: Home@annisov.com
 Job No. 24723-24, Bstort Dev. Ltd. L12 P204 R D1