

Committee of Adjustment  
Received | Reçu le  
2025-01-31  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

SURVEYOR'S REAL PROPERTY REPORT  
WITH TOPOGRAPHIC DETAILS  
PART 1 - PLAN SHOWING  
**PART OF LOTS 2637, 2638, 2639  
AND 2640**  
REGISTERED PLAN 375  
CITY OF OTTAWA  
J.D. BARNES LIMITED  
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SCALE 1 : 100

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**  
BEARINGS ARE MTM GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD 83 (CSRS) (2010.0).  
DISTANCES ARE GROUND.  
ALL BUILDING LINES ARE TAKEN TO CONCRETE FOUNDATION UNLESS OTHERWISE NOTED.  
COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

**PART 2 - SURVEY REPORT**  
- DESCRIPTION  
PART OF LOTS 2637, 2638, 2639 AND 2640 ON REGISTERED PLAN 375, BEING ALL OF PIN 04687-0079 (LT), IN THE CITY OF OTTAWA  
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY  
NONE  
- BOUNDARY FEATURES  
NOTE LOCATION OF THE BOARD FENCE AND THE CHAIN LINK FENCE ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY  
NOTE LOCATION OF THE CHAIN LINK FENCE, THE CROSSING METAL FENCE, THE CROSSING BOARD FENCE, THE OVERHEAD CABLES, THE HYDRO POLE AND THE ANCHOR ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY  
NOTE LOCATION OF THE POST & WIRE FENCE AND THE CROSSING CHAIN LINK FENCE ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY  
NOTE LOCATION OF THE OVERHEAD CABLES, THE HYDRO POLE AND THE WATER VALVE ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY

**LEGEND**  
■ DENOTES SURVEY MONUMENT FOUND  
SIB DENOTES STANDARD IRON BAR  
IB DENOTES IRON BAR  
MEAS DENOTES MEASURED  
OU DENOTES ORIGIN UNKNOWN NUMBER  
RP DENOTES REGISTERED PLAN 375  
P DENOTES INSTRUMENT No. CR497489  
P1 DENOTES PLAN SR-14028  
P2 DENOTES PLAN OF SURVEY BY MCROSTIE ASSOCIATES DATED JUNE 17, 1966  
P3 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY JOHN H. KENNEDY LTD., DATED JULY 9, 1993  
P4 DENOTES PLAN SR-11089  
P5 DENOTES PLAN SR-14086  
632 DENOTES G.C. MCROSTIE, O.L.S.  
1175 DENOTES H.A. KEN SHIPMAN, O.L.S.  
1283 DENOTES E.F. LYN COLE SURVEYING LTD.  
CITY DENOTES CITY OF OTTAWA  
DENOTES PROPERTY LINE  
N-NORTH / S-SOUTH / E-EAST / W-WEST

**TOPOGRAPHIC LEGEND**  
FDN DENOTES FOUNDATION  
INT BR DENOTES INTERLOCK BRICK  
C/L DENOTES CENTERLINE  
WW DENOTES WINDOW WELL  
W\_SILL DENOTES WINDOW SILL  
D\_SILL DENOTES DOOR SILL  
BF DENOTES BOARD FENCE  
MF DENOTES METAL FENCE  
CLF DENOTES CHAIN LINK FENCE  
PWF DENOTES POST & WIRE FENCE  
ANC DENOTES ANCHOR  
HP DENOTES HYDRO POLE  
WV DENOTES WATER VALVE  
CB DENOTES CATCH BASIN  
MH\_STM DENOTES STORM MANHOLE  
MH\_SAN DENOTES SANITARY MANHOLE  
MH\_TR DENOTES TRAFFIC MANHOLE  
MH\_PHONE DENOTES TELEPHONE MANHOLE  
MH\_HWELL DENOTES HANDWELL MANHOLE  
E DENOTES OVERHEAD HYDRO CABLE  
OC DENOTES OVERHEAD CABLE  
T DENOTES OVERHEAD TELEPHONE CABLE  
STM DENOTES UNDERGROUND STORM SEWER  
SAN DENOTES UNDERGROUND SANITARY SEWER  
DENOTES DECIDUOUS TREE  
DENOTES CONIFEROUS TREE

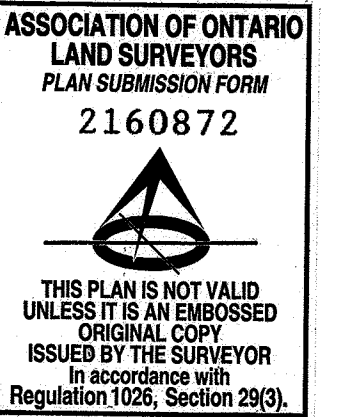
**ELEVATION NOTE:**  
1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.  
2. ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF OTTAWA BENCHMARK: 0011966/217, HAVING A PUBLISHED ELEVATION OF 95.138 METRES (CGVD 28:78).

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON MAY 3, 2024

JULY 22, 2022  
DATE  
George Jervis  
CHARTERED LAND SURVEYOR

TREE SCHEDULE			
TREE No.	TRUNK DIAMETER (m)	CROWN RADIUS (m)	DISTANCE FROM C/L TRUNK TO PROPERTY LINE
T1	0.7	6	1.4 W, 2.1 S
T2	0.2	2	0.7 W
T3	0.2	2	0.6 W
T4	0.9	2	0.5 W, 0.3 S
T5	0.4	3	8.5 E, 4.9 S

TRUNK DIAMETER MEASURED AT 1.2 METRES ABOVE GRADE  
TREE POSITION IS CALCULATED OFFSET TO ESTIMATED CENTER OF TREE

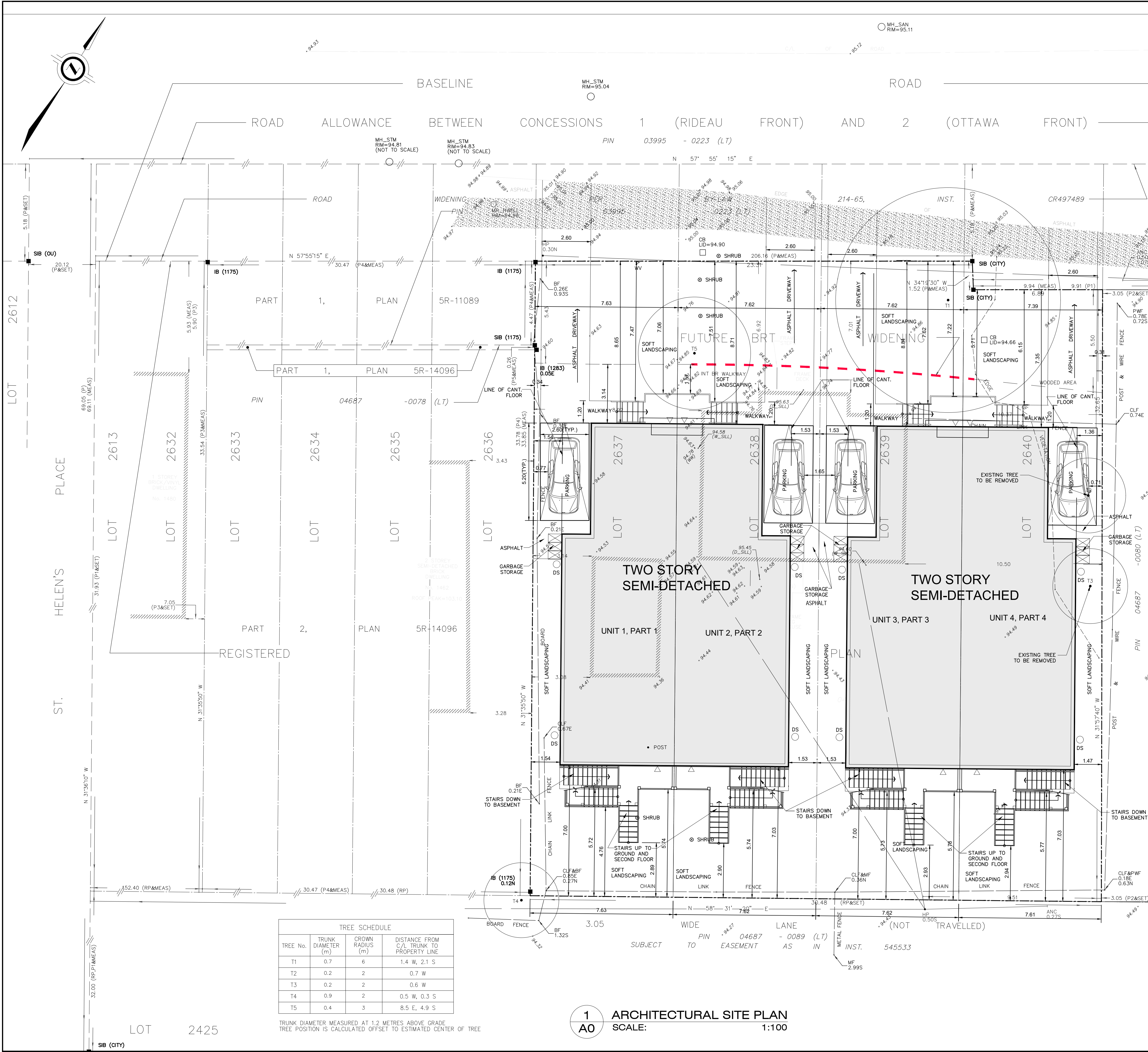


DRAWN BY: RP CHECKED BY: J/GZ REFERENCE NO.: 22-10-052-00  
PLOTTED: 7/22/2022 DATED: 07/22/22

PREPARED FOR: MELMAR HOMES

FILE: G:\22-10-052\00\Drawing\SRPR-TOPO\221005200-TOPO.dgn

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**SITE STATISTICS:**

LEGAL DESCRIPTION: PART OF LOT 2637, 2638, 2639 & 2640 REGISTERED PLAN 375 CITY OF OTTAWA  
CIVIC ADDRESS: 1460 BASELINE RD. OTTAWA

ZONING: R2F RESIDENTIAL SECOND DENSITY  
PERMITTED USE: SEMI-DETACHED.....  
ZONING PROVISIONS AND MINIMUM REQUIREMENTS

PROPOSED: 2 STOREY SEMI-DETACHED DWELLING WITH A.D.U.

MINIMUM LOT WIDTH	9 m	LOT WIDTH: PART1 = 7.63m PART2 = 7.62m PART3 = 7.62m PART4 = 7.39m
MINIMUM LOT AREA	270 m <sup>2</sup>	LOT DEPTH: PART1 = 33.85m (AVER.) PART2 = 33.93m (AVER.) PART3 = 34.01m (AVER.) PART4 = 32.65m (AVER.)
MINIMUM LOT AREA	270 m <sup>2</sup>	LOT AREA: PART1 = 258.59 m <sup>2</sup> PART3 = 259.47 m <sup>2</sup> PART2 = 258.91 m <sup>2</sup> PART4 = 245.47 m <sup>2</sup>
MAXIMUM BUILDING HEIGHT	8 m	BUILDING HEIGHT: 8 m (FROM E.A.G. TO MID-HT OF ROOF)
MINIMUM FRONT YARD SETBACK	6 m	FRONT YARD SETBACK: 8.65 m (PART 1) FRONT YARD SETBACK: 8.71 m (PART 2) FRONT YARD SETBACK: 8.84 m (PART 3) FRONT YARD SETBACK: 7.35 m (PART 4)
MINIMUM REAR YARD SETBACK	10.15 m (FOR PART1)	REAR YARD SETBACK: 7.00m (PART 1)
MINIMUM REAR YARD SETBACK	10.17 m (FOR PART2)	REAR YARD SETBACK: 7.03m (PART 2)
MINIMUM REAR YARD SETBACK	10.20 m (FOR PART3)	REAR YARD SETBACK: 7.00m (PART 3)
MINIMUM REAR YARD SETBACK	9.65 m (FOR PART4)	REAR YARD SETBACK: 7.03m (PART 4)
MINIMUM INTERIOR SIDE YARD SETBACK	1.5 m	SIDE YARD SETBACK: 1.53 /1.54m (PART1, 2, 3) SIDE YARD SETBACK: 1.36m (PART4)
MIN. REAR YARD AREA: 25% OF LOT AREA REQUIRED	PART1 = 64.65 m <sup>2</sup> PART2 = 62.72 m <sup>2</sup> PART3 = 64.86 m <sup>2</sup> PART4 = 61.36 m <sup>2</sup>	REAR YARD AREA PROPOSED: PART1 = 53.41 m <sup>2</sup> PART3 = 53.34 m <sup>2</sup> PART2 = 53.56 m <sup>2</sup> PART4 = 53.27 m <sup>2</sup>
MIN. FRONT YARD LANDSCAPING: 30%	8.30 m <sup>2</sup> (AVER.)	FRONT YARD LANDSCAPING: ±34 m <sup>2</sup> (AVER.)

EXISTING AVERAGE GRADE (E.A.G.) CALC: 94.94+94.85+94.32+94.49 = 378.6/4 = 94.65

- MINOR VARIANCE REQUESTS:**
- TO PERMIT A REDUCED LOT WIDTH OF 7.63m FOR PART1, 7.62m FOR PART2, AND PART3, 7.39m FOR PART4 WHEREAS THE BY-LAW REQUIRES A MINIMUM LOT WIDTH OF 9m.
  - TO PERMIT A REDUCED LOT AREA OF 258.59 m<sup>2</sup> FOR PART1; 258.91 m<sup>2</sup> FOR PART2; 259.47 m<sup>2</sup> FOR PART3; 245.47 m<sup>2</sup> FOR PART4, WHEREAS THE BY-LAW REQUIRES 270m<sup>2</sup>.
  - TO PERMIT A REDUCED REAR YARD SETBACK OF 7.0m FOR PART1, WHEREAS THE BYLAW REQUIRES 10.15m.
  - TO PERMIT A REDUCED REAR YARD SETBACK OF 7.03m FOR PART2, WHEREAS THE BYLAW REQUIRES 10.17m.
  - TO PERMIT A REDUCED REAR YARD SETBACK OF 7.0m FOR PART3, WHEREAS THE BYLAW REQUIRES 10.20m.
  - TO PERMIT A REDUCED REAR YARD SETBACK OF 7.03m FOR PART4, WHEREAS THE BYLAW REQUIRES 9.65m.
  - TO PERMIT A REDUCED REAR YARD AREA OF 53.41m<sup>2</sup> FOR PART1, WHEREAS THE BYLAW REQUIRES 64.65m<sup>2</sup>
  - TO PERMIT A REDUCED REAR YARD AREA OF 53.56m<sup>2</sup> FOR PART2, WHEREAS THE BYLAW REQUIRES 62.72m<sup>2</sup>
  - TO PERMIT A REDUCED REAR YARD AREA OF 53.34m<sup>2</sup> FOR PART3, WHEREAS THE BYLAW REQUIRES 64.86m<sup>2</sup>
  - TO PERMIT A REDUCED REAR YARD AREA OF 53.27m<sup>2</sup> FOR PART4, WHEREAS THE BYLAW REQUIRES 61.36m<sup>2</sup>

**TREE SCHEDULE**

TREE No.	TRUNK DIAMETER (m)	CROWN RADIUS (m)	DISTANCE FROM C/L TRUNK TO PROPERTY LINE
T1	0.7	6	1.4 W, 2.1 S
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TRUNK DIAMETER MEASURED AT 1.2 METRES ABOVE GRADE  
TREE POSITION IS CALCULATED OFFSET TO ESTIMATED CENTER OF TREE

**1 ARCHITECTURAL SITE PLAN**  
SCALE: 1:100

NO.	DATE	REVISION	BY:
50	JUN18-24	FOR PLANNING REVIEW	
50	JAN5-24	PRELIMINARY FOR REVIEW	
NO.	Date	Revision	By:

**BING PROFESSIONAL ENGINEERING INC.**  
Engineering Consulting, Construction Management

**SDG DESIGNS**  
ARCHITECTURAL BUILDING DESIGN

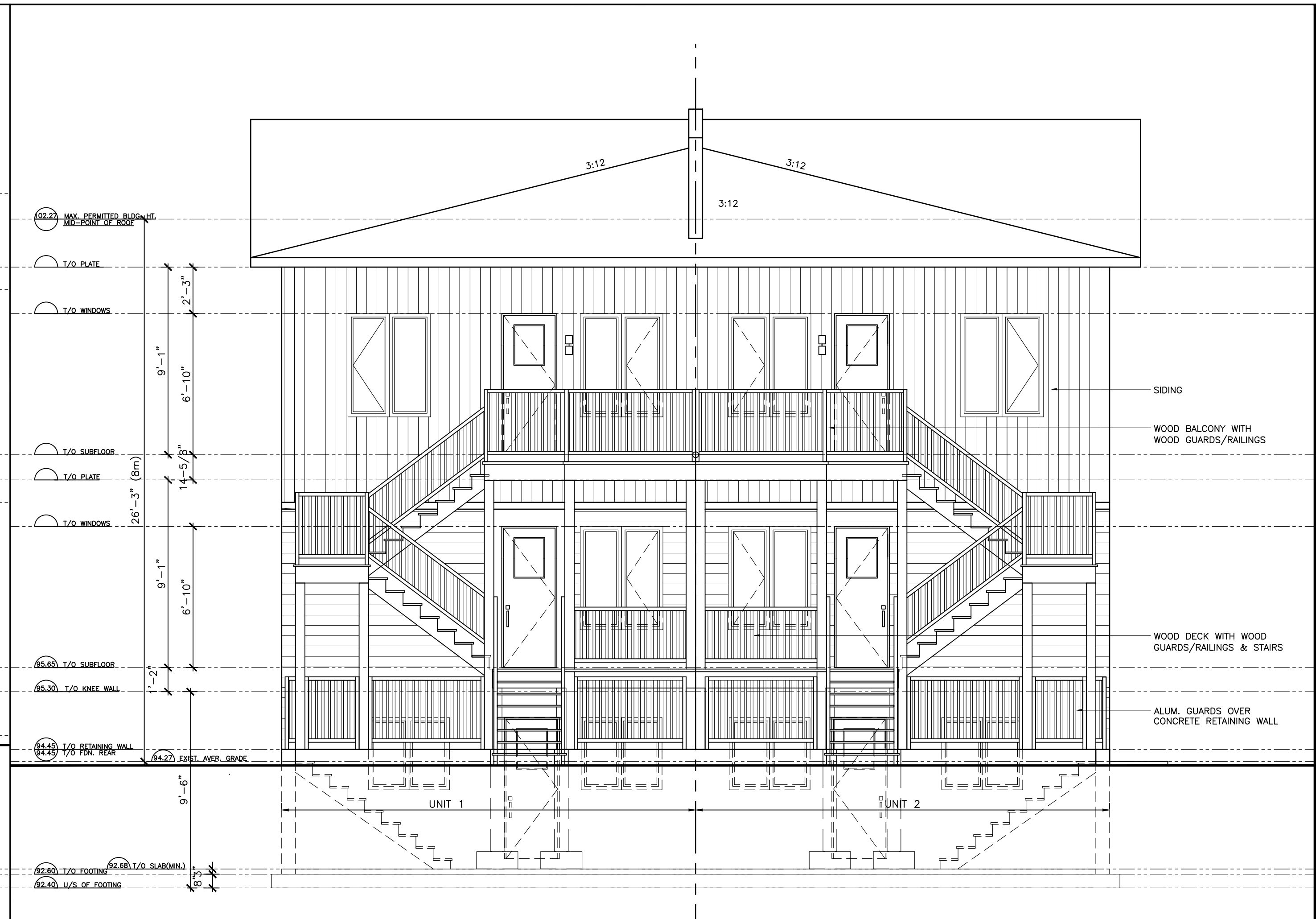
PROJECT: PROPOSED SEMI-DETACHED WITH ADDITIONAL DWELLING 1460 BASELINE ROAD, OTTAWA

DRAWING TITLE: ARCHITECTURAL SITE PLAN

DESIGNED:	DRAWN:	APPROVED:
SCALE: AS SHOWN	SHEET NO: <b>A0</b>	
DATE: JANUARY 2024		



1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"



2 REAR ELEVATION  
SCALE: 1/4"=1'-0"



3 RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

**GENERAL NOTES**

ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO O.B.C. 2012 (O.REG. 332/12) WITH ALL REVISIONS AND AMENDMENTS.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY CONFLICT, OMISSION, AND MODIFICATIONS TO DESIGNER.

CONTRACTOR/OWNER TO OBTAIN A BUILDING PERMIT PRIOR TO STARTING ANY CONSTRUCTION WORK, COPY OF BUILDING PERMIT TO BE POSTED AND KEPT ON SITE FOR CITY INSPECTION.

CONTRACTOR TO CHECK SUPPLIER FOR EXACT ROUGH OPENING REQ'TS OF ALL DOORS AND WINDOWS.

CONTRACTOR TO FOLLOW SUPPLIER'S LAYOUTS & SPECIFICATIONS OF ALL PRE-ENGINEERED JOISTS & TRUSSES.

CONTRACTOR TO CONDUCT SOIL BEARING CAPACITY TEST PRIOR TO POURING OF FOOTINGS. NOTE: ASSUMED 100 KPA SOIL BEARING CAPACITY.

MECHANICAL AND ELECTRICAL WORKS SHALL CONFORM TO PROVINCIAL AND MUNICIPAL CODES & BY-LAWS, AND ENGINEERING STANDARD PRACTICES.

DO NOT SCALE DRAWINGS. E.&O.E.

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No.	Date	Revision	By:
00	JUN18/24	FOR PLANNING REVIEW	
00	JUN12/24	PRELIMINARY FOR REVIEW	

BING PROFESSIONAL ENGINEERING INC.  
Engineering Consulting, Construction Management



PROJECT:  
PROPOSED TWO STORY  
SEMI-DETACHED WITH A.D.U.  
1460 BASELINE RD. OTTAWA

DRAWING TITLE:  
ELEVATIONS

DESIGNED: S.D.	DRAWN: S.D.	APPROVED:
SCALE: AS SHOWN	SHEET NO: <b>A3</b>	
DATE: JANUARY 2024		



1 LEFT SIDE ELEVATION  
A4 SCALE: 1/4"=1'-0"

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DO NOT SCALE DRAWINGS. E.&O.E.

No.	Date	Revision	By:
00	JUN18/24	FOR PLANNING REVIEW	
00	JUN12/24	PRELIMINARY FOR REVIEW	



PROJECT:  
PROPOSED TWO STORY  
SEMI-DETACHED WITH A.D.U.  
1460 BASELINE RD. OTTAWA

DRAWING TITLE:  
LEFT SIDE ELEVATION

DESIGNED: S.D.	DRAWN: S.D.	APPROVED:
SCALE: AS SHOWN		SHEET NO.:
DATE: JANUARY 2024		<b>A4</b>