

SCHEDULE		
PART	PART OF LOT	CONCESSION
1	2	
2	2&3	
3	3	3 (RIDEAU FRONT)
4	2&3	
5	3	
6		
7		
8		

PLAN 4R-35581
 Received and deposited
 July 25th, 2023
 Erin Noble
 Representative for the
 Land Registrar for the
 Land Titles Division of
 Ottawa-Carleton (No.4)

PART 15 SUBJECT TO EASEMENT PER INST. NO. 017462;
 PART 16 SUBJECT TO EASEMENT PER INST. NO. 017100A;
 PART 17 SUBJECT TO EASEMENT AS IN INST. NO. 017462;
 PART 18 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 19 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 20 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 21 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 22 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 23 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 24 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 25 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 26 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 27 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 28 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 29 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
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 PART 39 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 40 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
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 PART 43 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
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 PART 45 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 46 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 47 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 48 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 49 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;
 PART 50 SUBJECT TO EASEMENT AS IN INST. NO. 017100A;

PLAN OF SURVEY OF
PART OF LOTS 2 & 3
CONCESSION 3 (RIDEAU FRONT)
 (GEOGRAPHIC TOWNSHIP OF GLOUCESTER)
 CITY OF OTTAWA
 SCALE 1:400
 Stantec Geomatics Ltd.
 THE UNRECORDED FOOT SIZE OF THE PLAN IS 1423.20m IN WIDTH BY 914.40m IN HEIGHT
 WHEN PLOTTED AT A SCALE OF 1:400.

METRIC CONVERSION
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY MULTIPLYING BY 0.3048

GRID SCALE CONVERSION
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE
 COMBINED SCALE FACTOR OF 0.9999413.

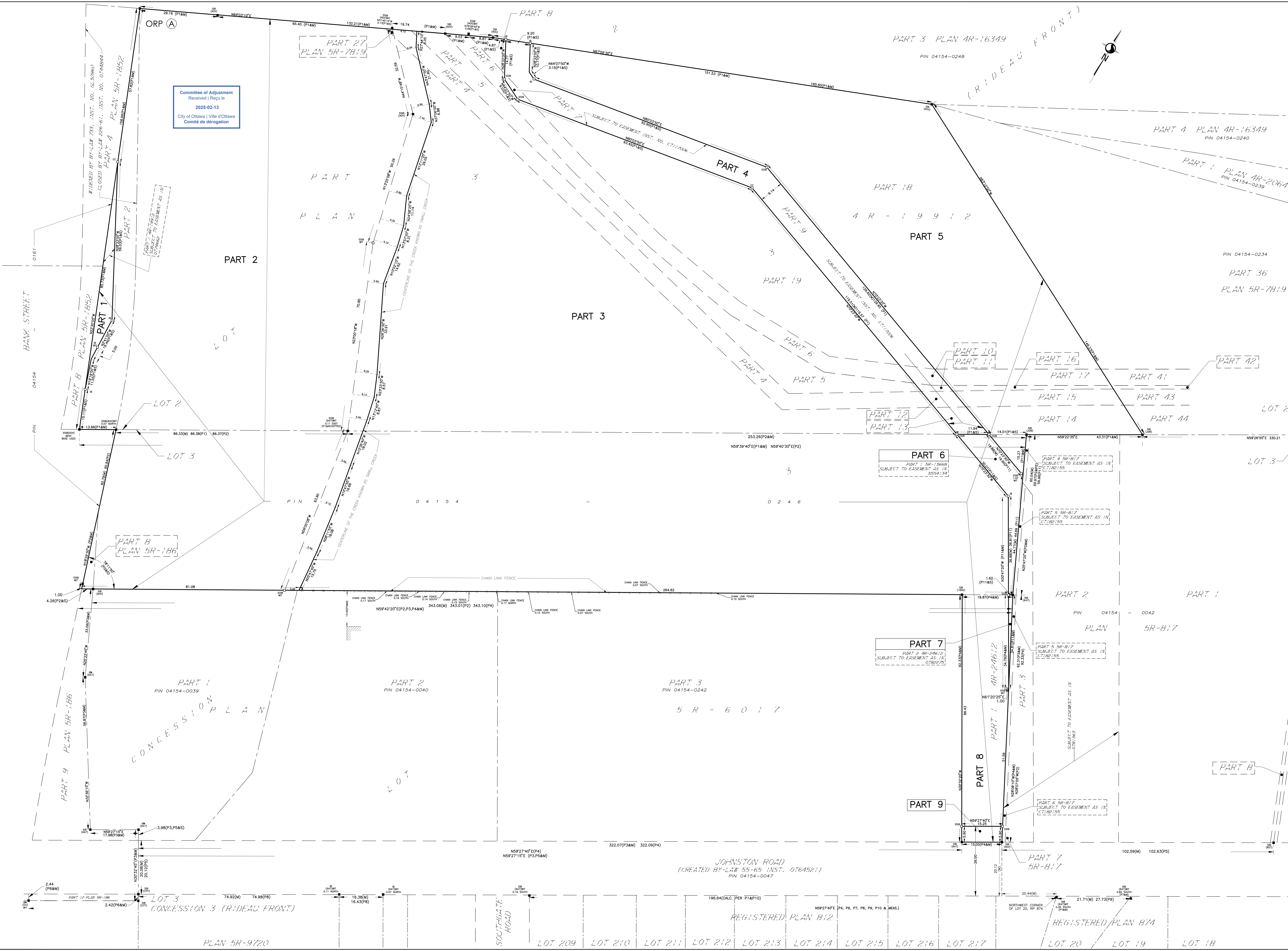
BEARING NOTE
 BEARINGS ARE GRID, DERIVED FROM CAN NET VLS NETWORK. GPS OBSERVATIONS ON NCC
 HORIZONTAL CONTROL MONUMENTS (HTTDS) AND (HTDST). CENTRAL MERIDIAN 78° 30'
 WEST LONGITUDE 75° 42' 30" WEST (GONORIAL).

ROTATION NOTE
 FOR COMPARISON PURPOSE, A ROTATION OF 0° 17' 16" COUNTER CLOCKWISE WAS APPLIED
 TO P. A ROTATION OF 0° 17' 16" COUNTER CLOCKWISE WAS APPLIED TO P. A ROTATION
 OF 0° 17' 16" COUNTER CLOCKWISE WAS APPLIED TO P.

LEGEND

■	DEVIATOR	□	FOUND MONUMENTS
○	IRON BAR	○	IRON BAR
○	WOOD BENCH MARK	○	WOOD BENCH MARK
○	STANDARD WOOD BENCH MARK	○	STANDARD WOOD BENCH MARK
○	SHORT STANDARD WOOD BENCH MARK	○	SHORT STANDARD WOOD BENCH MARK
○	CUT CROSS	○	CUT CROSS
○	CONCRETE PIN	○	CONCRETE PIN
○	WIRE	○	WIRE
○	PROPERTY IDENTIFICATION NUMBER	○	PROPERTY IDENTIFICATION NUMBER
○	ADJACENT	○	ADJACENT
○	SET	○	SET
○	PROPOSED	○	PROPOSED
○	CRITICAL BENCHMARK	○	CRITICAL BENCHMARK
○	STATIC GEOMETRICS LTD.	○	STATIC GEOMETRICS LTD.
○	PLAN 4R-19912	○	PLAN 4R-19912
○	PLAN BY H.R. PARRY SURVEYING LTD.	○	PLAN BY H.R. PARRY SURVEYING LTD.
○	DATED FEBRUARY 2016	○	DATED FEBRUARY 2016
○	PLAN BY ANNE O'SULLIVAN VOLLEBEK LTD.	○	PLAN BY ANNE O'SULLIVAN VOLLEBEK LTD.
○	DATED ON FEBRUARY 28, 2024	○	DATED ON FEBRUARY 28, 2024
○	PLAN 5R-817	○	PLAN 5R-817
○	PLAN 5R-816	○	PLAN 5R-816
○	PLAN BY ANNE O'SULLIVAN VOLLEBEK LTD.	○	PLAN BY ANNE O'SULLIVAN VOLLEBEK LTD.
○	DATED JULY 2019	○	DATED JULY 2019
○	PLAN 5R-817	○	PLAN 5R-817
○	REGISTERED PLAN 814	○	REGISTERED PLAN 814
○	REGISTERED PLAN 812	○	REGISTERED PLAN 812
○	PLAN 5R-186	○	PLAN 5R-186
○	ANNE O'SULLIVAN & VOLLEBEK LIMITED	○	ANNE O'SULLIVAN & VOLLEBEK LIMITED
○	100 FARMERS COLLEGE	○	100 FARMERS COLLEGE
○	CITY OF OTTAWA	○	CITY OF OTTAWA

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT,
 THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE
 UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 8th DAY OF JULY, 2023.
 July 21, 2023
 ERIN NOBLE
 ONTARIO LAND SURVEYOR
 THIS PLAN OF SURVEY RELATES TO A015 PLAN SUBMISSION FORM NUMBER V-0024.



Committee of Adjustment
 Received | Reçu le
 2025-02-13
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

APPROVED
By Lily Xu at 9:29 am, Oct 28, 2024

[Signature]
LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

IDEA

**INTEGRATED DESIGN
ENGINEERING + ARCHITECTURE**

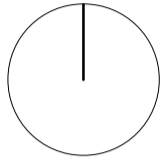
595 BYRON AVE., OTTAWA, ONT. K1A 4C4
T 613.728.0008 E info@integrateddesign.ca

SEAL

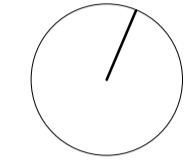


GENERAL NOTES
DO NOT SCALE DRAWINGS.
CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS
AND REPORT ANY DISCREPANCIES.

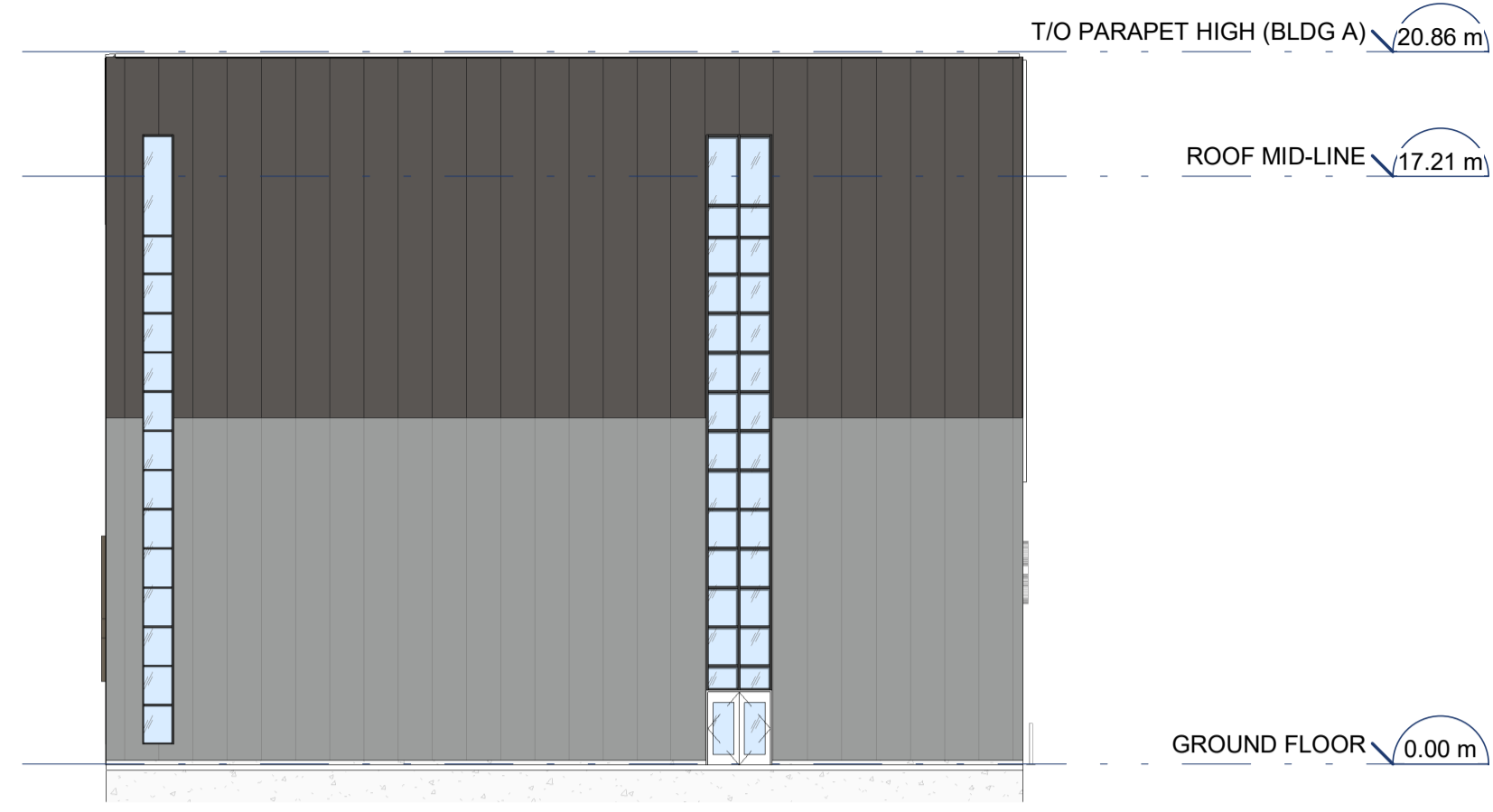
PROJECT NORTH



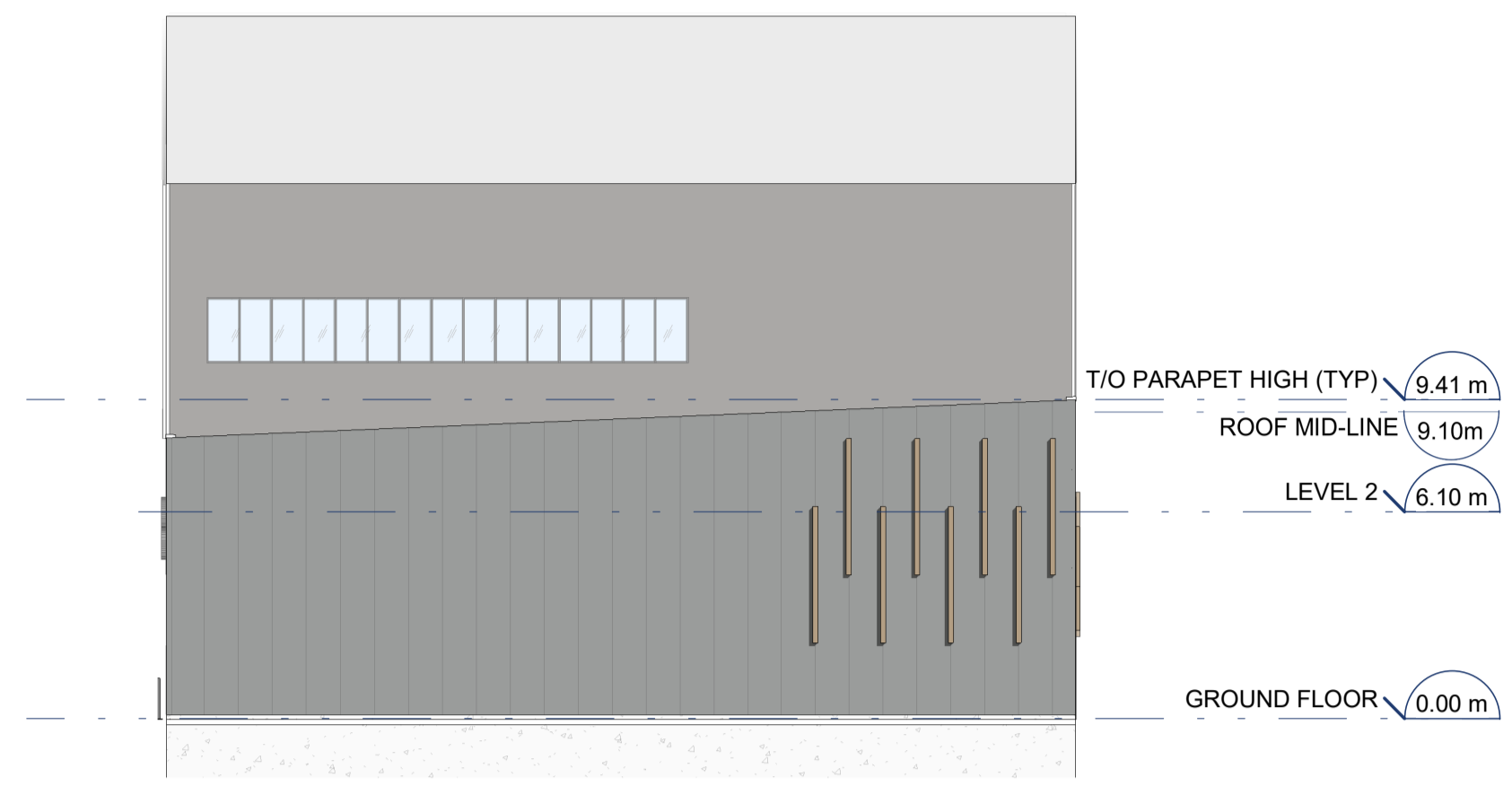
TRUE NORTH



Committee of Adjustment
Received | Reçu le
2025-02-13
City of Ottawa | Ville d'Ottawa
Comité de dérogation



A4 BUILDING A -EXTERIOR ELEVATION (EAST)
A400 1 : 200



A3 BUILDING A -EXTERIOR ELEVATION (WEST)
A400 1 : 200



A2 BUILDING A -EXTERIOR ELEVATION (NORTH)
A400 1 : 200



A1 BUILDING A -EXTERIOR ELEVATION (SOUTH)
A400 1 : 200

LEGEND - EXTERIOR FINISHES

	IMP - GREY		IMP - BROWN
	IMP - DARK GREY		CURTAIN WALL

GENERAL NOTE
1. ENTRANCE LOCATIONS, GARAGE DOORS, CURTAIN WALLS, AND ACCENT FINIS ARE SHOWN TO BE CONCEPTUAL AND SUBJECT TO REVISION BASED ON TENANT FIT-UP REQUIREMENTS.

B	2024-10-15	RE-ISSUED FOR SITE PLAN CONTROL
A	2024-08-19	ISSUED FOR SITE PLAN CONTROL
No.	DATE	DESCRIPTION

REVISIONS
PROJECT
QUAESTUS
LIGHT INDUSTRIAL DEVELOPMENT
SITE PLAN CONTROL
1319 JOHNSTON ROAD
OTTAWA, ONTARIO

IDEA # SITE PLAN CONTROL FILE #
23559 D07-12-24-0096 / D07-04-24-0015

SHEET NAME PLAN NUMBER #
EXTERIOR ELEVATIONS - BUILDING - A 19173

DATE SCALE
2024-10-15 AS NOTED.

CHECKED BY DRAWN BY
MJB NJ

SHEET No. **A400**

APPROVED
By Lily Xu at 9:29 am, Oct 28, 2024



LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

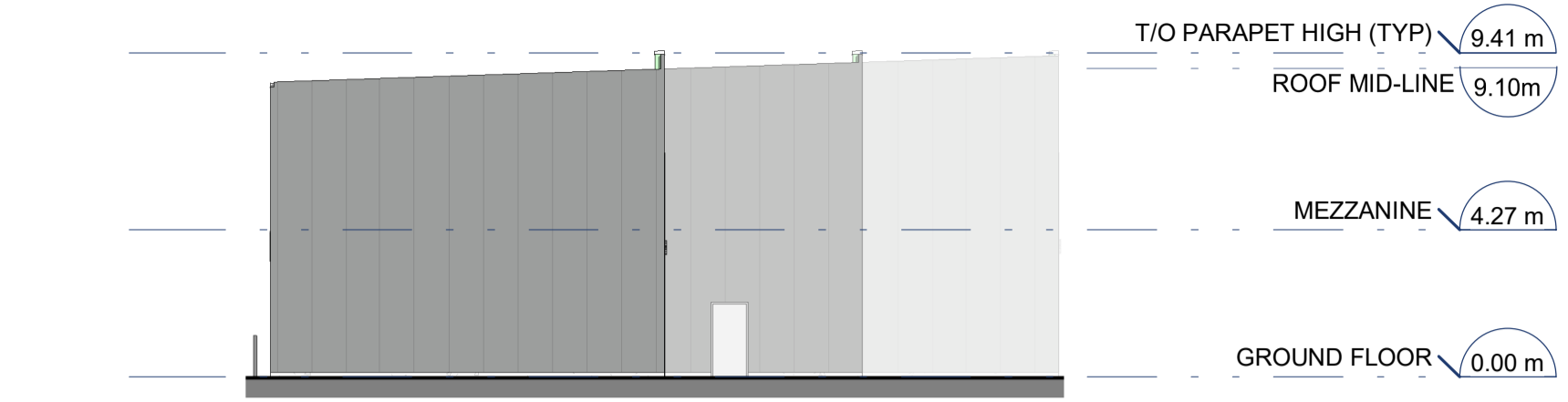
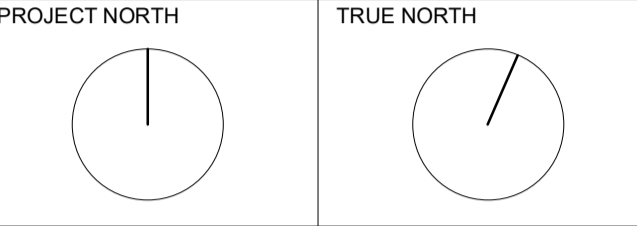
IDEA

**INTEGRATED DESIGN
ENGINEERING + ARCHITECTURE**

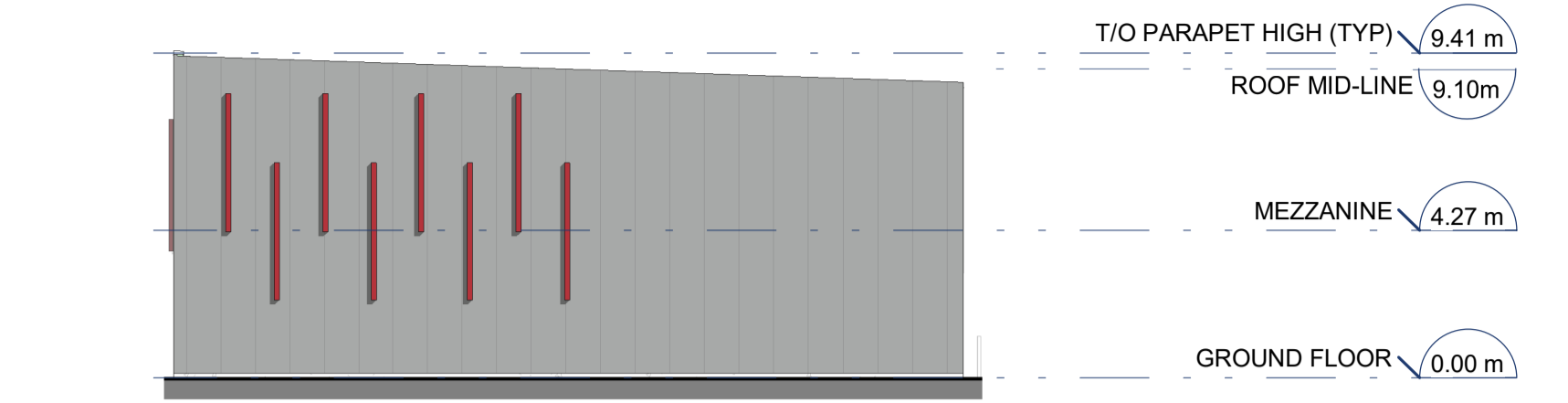
595 BYRON AVE., OTTAWA, ONT. K1A 4C4
T 613.728.0008 E info@integrateddesign.ca



GENERAL NOTES
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CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS
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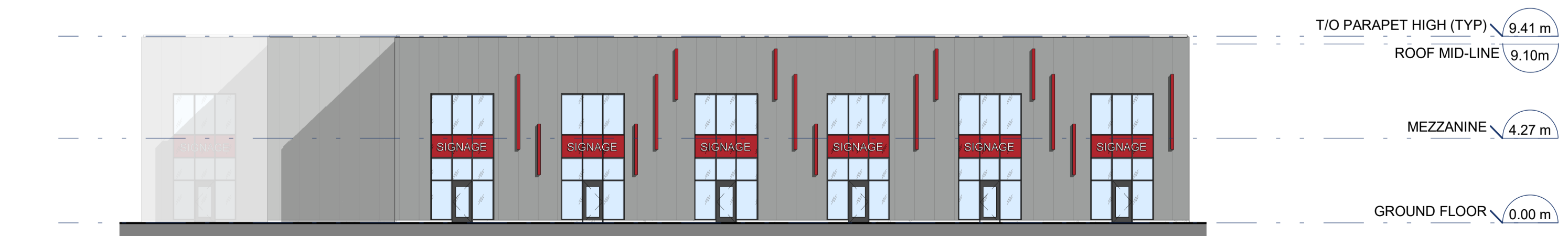
B4 BUILDING -EXTERIOR ELEVATION (EAST)
B400 1 : 200



B3 BUILDING B -EXTERIOR ELEVATION (WEST)
B400 1 : 200






B2 BLDG B - EXTERIOR ELEVATION (SOUTH)
B400 1 : 200



B1 BUILDING B -EXTERIOR ELEVATION (NORTH)
B400 1 : 200

LEGEND - EXTERIOR FINISHES

	IMP - GREY		CURTAIN WALL
	IMP - RED		

GENERAL NOTE
1. ENTRANCE LOCATIONS, GARAGE DOORS, CURTAIN WALLS, AND ACCENT FINIS ARE SHOWN TO BE CONCEPTUAL AND SUBJECT TO REVISION BASED ON TENANT FIT-UP REQUIREMENTS.

B	2024-10-15	RE-ISSUED FOR SITE PLAN CONTROL
A	2024-08-19	ISSUED FOR SITE PLAN CONTROL
No.	DATE	DESCRIPTION

REVISIONS
PROJECT
QUAESTUS

**LIGHT INDUSTRIAL
DEVELOPMENT**
SITE PLAN CONTROL
1319 JOHNSTON ROAD
OTTAWA, ONTARIO

IDEA # SITE PLAN CONTROL FILE #
23559 D07-12-24-0096 / D07-04-24-0015

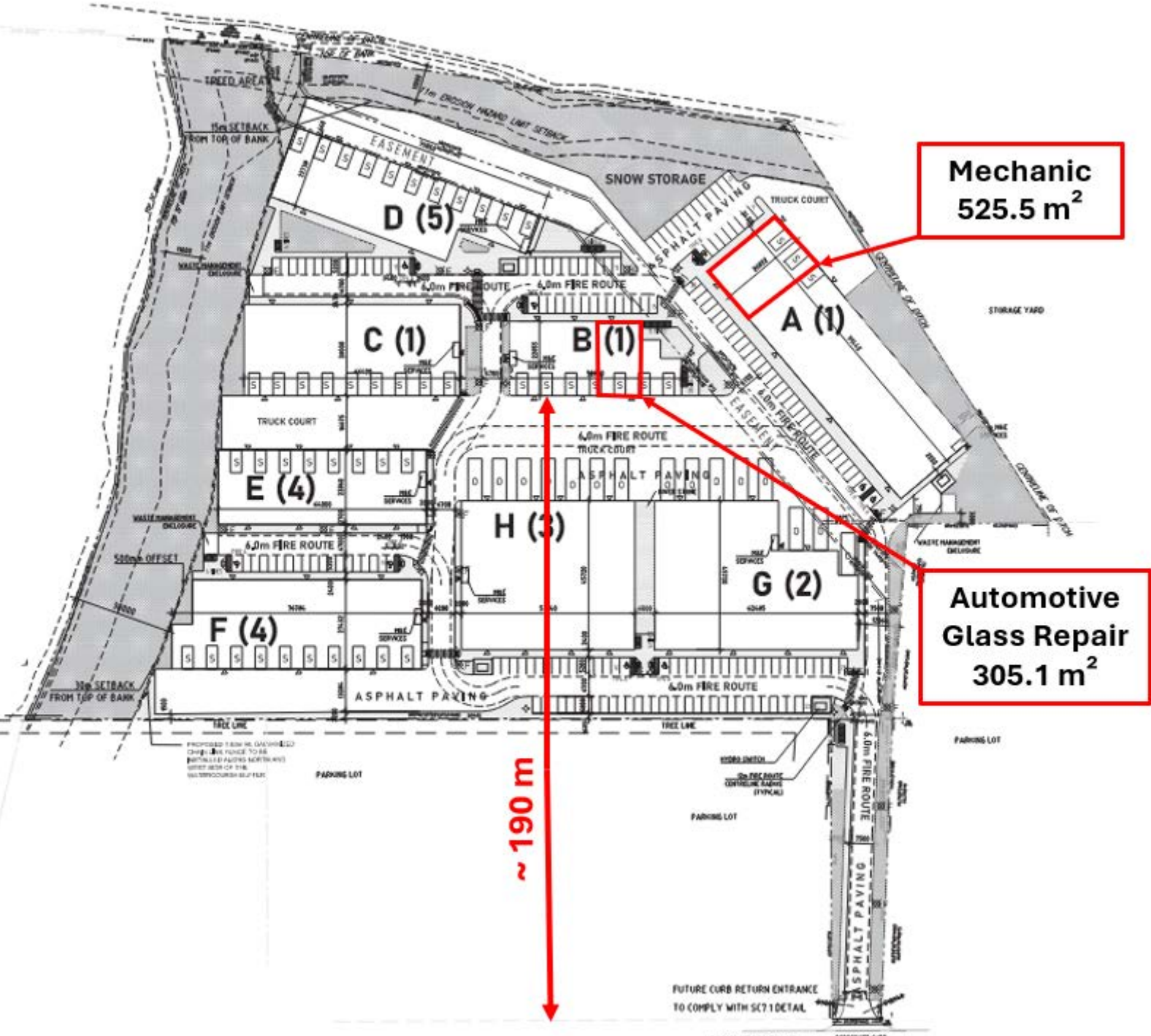
SHEET NAME PLAN NUMBER #
**EXTERIOR ELEVATIONS -
BUILDING - B** 19173

DATE SCALE
2024-10-15 AS NOTED.

CHECKED BY DRAWN BY
MJB NJ

SHEET No. **B400**

2024-10-11 3:52:17 PM



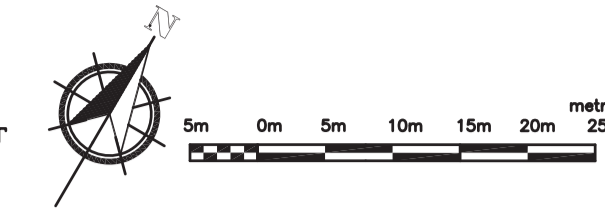
Mechanic
525.5 m²

**Automotive
Glass Repair**
305.1 m²

~ 190 m

JOHNSTON ROAD
24m ROW

LEGAL DESCRIPTION
Part of Lots 2 & 3
Concession 3 (Rideau Front)
Geographic Township of Gloucester
City of Ottawa



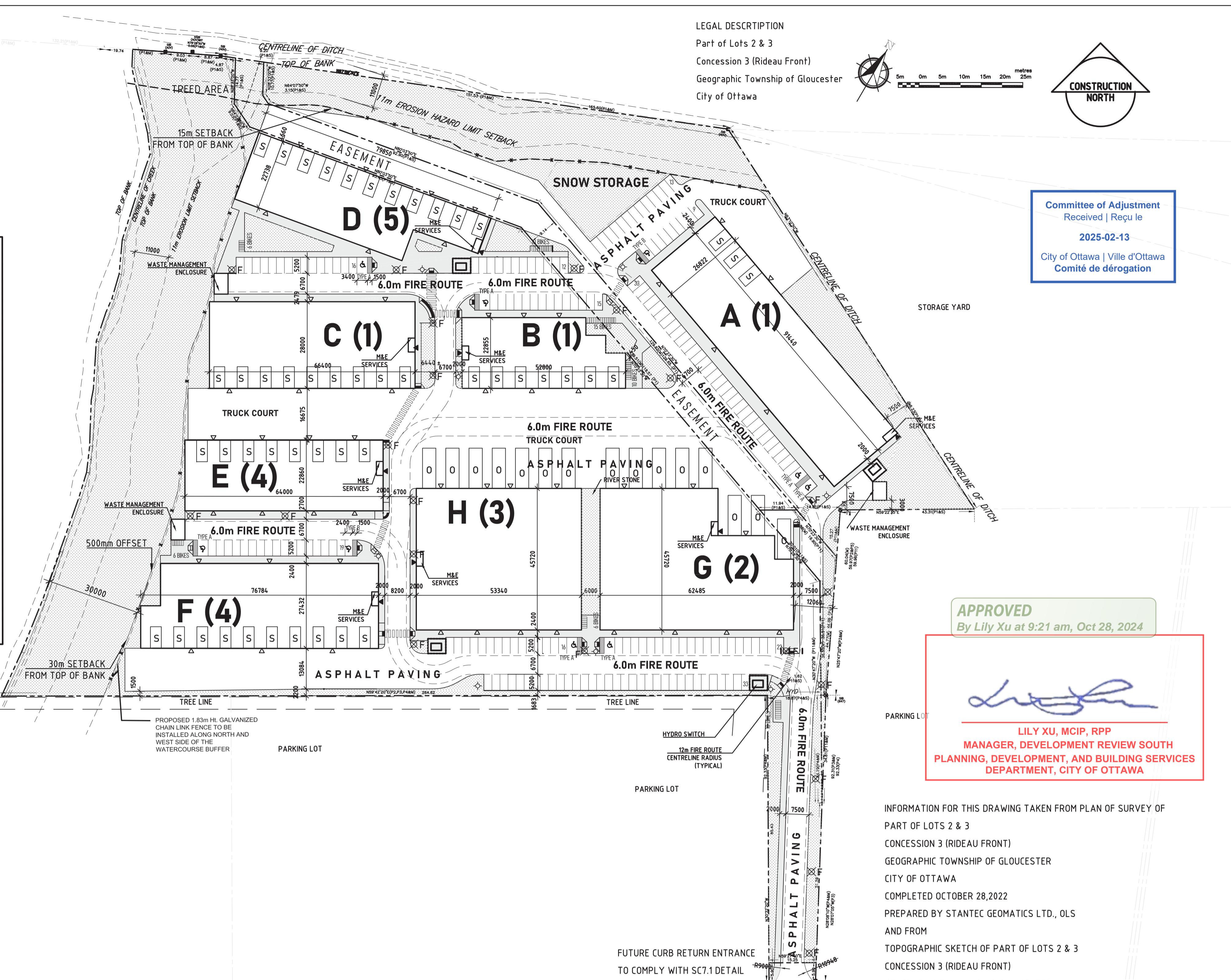
EROSION HAZARD LIMIT DERIVED FROM GEMTEC STABILITY ASSESSMENT LETTER DATED MAY 2, 2024

Committee of Adjustment
Received | Reçu le
2025-02-13
City of Ottawa | Ville d'Ottawa
Comité de dérogation

CURB RETURN ENTRANCES - UNCONTROLLED INTERSECTIONS

DATE: MARCH 2007
REV: MARCH 2007
DWG. NO.: SC7.1

NOTES:
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE.
2. CURB DETAILS SEE DETAIL SC7.1 AND SC7.2
3. SIDEWALK DETAILS SEE DETAIL SC7.1 AND SC7.2
4. SIDEWALK SLOPE VARIES, SEE PRIVATE APPROACH PLAN.
5. UNCONTROLLED INTERSECTION MEANS AN INTERSECTION NOT LOCATED AT A TRAFFIC SIGNAL OR ALL-WAY STOP CONTROL.



APPROVED
By Lily Xu at 9:21 am, Oct 28, 2024

Lily Xu
LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

INFORMATION FOR THIS DRAWING TAKEN FROM PLAN OF SURVEY OF PART OF LOTS 2 & 3
CONCESSION 3 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
CITY OF OTTAWA
COMPLETED OCTOBER 28, 2022
PREPARED BY STANTEC GEOMATICS LTD., OLS
AND FROM
TOPOGRAPHIC SKETCH OF PART OF LOTS 2 & 3
CONCESSION 3 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF GLOUCESTER
CITY OF OTTAWA
COMPLETED JANUARY 3, 2023
PREPARED BY STANTEC GEOMATICS LTD., OLS

REVISIONS AND DISTRIBUTION LOG

No.	Date	Note
01	16 AUG 2023	ISSUED FOR PRECONSULTATION STAGE 3
02	11 MAR 2024	GENERAL REVISION
03	19 MAR 2024	ELECTRICAL SERVICE REVISION
04	26 MAR 2024	FIRE HYDRANTS ADDED
05	04 MAY 2024	EROSION HAZARD INFO ADDED, PARKING UPDATED
06	23 JUL 2024	LANDSCAPE STRIP REVISED @ BLDG F, STAIRS FOR BLDG A REVISED
07	15 OCT 2024	FENCE ADDED - FILE NOS. AND PLAN NO. ADDED

ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON REQUEST.
THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ARCHITECT.
ALL DIMENSIONS ARE GIVEN IN MILLIMETRES UNLESS OTHERWISE INDICATED.
DO NOT SCALE DRAWINGS.

LEGEND

SYMBOL	DENOTES	FOUND MONUMENTS
■	DENOTES	FOUND MONUMENTS
□	SET MONUMENTS	SET MONUMENTS
IB	IRON BAR	IRON BAR
IB6	ROUND IRON BAR	ROUND IRON BAR
SIB	STANDARD IRON BAR	STANDARD IRON BAR
SSIB	SHORT STANDARD IRON BAR	SHORT STANDARD IRON BAR
CC	CUT CROSS	CUT CROSS
CP	CONCRETE PIN	CONCRETE PIN
WIT	WITNESS	WITNESS
PIN	PROPERTY IDENTIFICATION NUMBER	PROPERTY IDENTIFICATION NUMBER
M/MEAS	MEASURED	MEASURED
PROP	PROPORTIONED	PROPORTIONED
OU	ORIGIN UNKNOWN	ORIGIN UNKNOWN
SC	STANTEC GEOMATICS LTD.	STANTEC GEOMATICS LTD.
P1	REGISTERED PLAN 4M-1566	REGISTERED PLAN 4M-1566
HYD	FIRE HYDRANT	FIRE HYDRANT
⊗	FIRE ROUTE SIGN	FIRE ROUTE SIGN
□	CONCRETE SIDEWALK	CONCRETE SIDEWALK
▨	SOFT LANDSCAPING	SOFT LANDSCAPING
▲	CONFIRMED DOOR LOCATION	CONFIRMED DOOR LOCATION
△	CONCEPTUAL DOOR LOCATION	CONCEPTUAL DOOR LOCATION
○	POTENTIAL OVERSIZED LOADING SPACE 4.3m X 13m	POTENTIAL OVERSIZED LOADING SPACE 4.3m X 13m
□	POTENTIAL STANDARD LOADING SPACE 3.5m X 7m	POTENTIAL STANDARD LOADING SPACE 3.5m X 7m

allan stone architect



610 -160 Baldwin Street
Toronto ON M5T 3K7

T 416.550.1585

allan@ajsarchitect.com

Project:
INDUSTRIAL DEVELOPMENT

1319 Johnston Road
Ottawa Ontario

Drawing Title:
SITE PLAN

Drawn By:	Checked By:	Date Checked:	Project No.:
			1319J.2023

Date Plotted:	Scale:
Oct 15, 2024 - 12:01pm	1:750

Drawing No.:	Revision No.:
A101	07

1319 JOHNSTON AVENUE ZONING COMPLIANCE IL

MECHANISM	REQUIRED	PROPOSED
Minimum Lot Area	2,000 m ²	48,997 m ²
Minimum Lot Width	No Minimum	15.3 m
Maximum Lot Coverage	65%	31%
Minimum Interior Side Yard Setback	7.5 m	7.5 m
Minimum Front Yard Setback	7.5 m	113.4 m
Minimum Rear Yard Setback	3.5 m	22.7 m
Maximum Building Height	18 m	17.8 m
Maximum Floor Space Index	2	0.3
Minimum Width of Landscape Area	Abutting a Street: 3 m Other Cases: No Minimum	3 m
Parking Spaces	121	188
Bicycle Parking Spaces	19	63
Loading Spaces	8	63
	Standard	48
	Oversize	15

STATISTICS

	GROSS FLOOR AREA	BUILDING HEIGHT
BUILDING A	2,320.12 m ²	17.8 m
BUILDING B	1,006.28 m ²	9.1 m
BUILDING C	1,756.39 m ²	9.1 m
BUILDING D	1,498.76 m ²	9.1 m
BUILDING E	1,380.04 m ²	9.1 m
BUILDING F	1,908.49 m ²	9.1 m
BUILDING G	2,306.92 m ²	9.1 m
BUILDING H	2,307.03 m ²	9.1 m
TOTAL	14,484.03	

OWNER/DEVELOPER
2079 Artistic Place Inc.
3080 Yonge Street Suite 6060
Toronto ON M4N 3N1

ARCHITECT
Allan Stone Architect Limited
610-160 Baldwin Street
Toronto ON M5T 3K7

ENGINEER
Robinson Consultants Inc.
210-350 Palladium Drive
Ottawa ON K2V 1A8

APPLICANT
JFSA Canada Inc.
52 Springbrook Drive
Ottawa ON K2S 1B9
Attn: Mr. Tim Eisner

SURVEYOR
Stantec Geomatics Ltd.
300-1331Clyde Avenue
Ottawa ON K2C 3G4

FILE#: D07-12-24-0096 & D07-04-24-0015
PLAN#: 19173