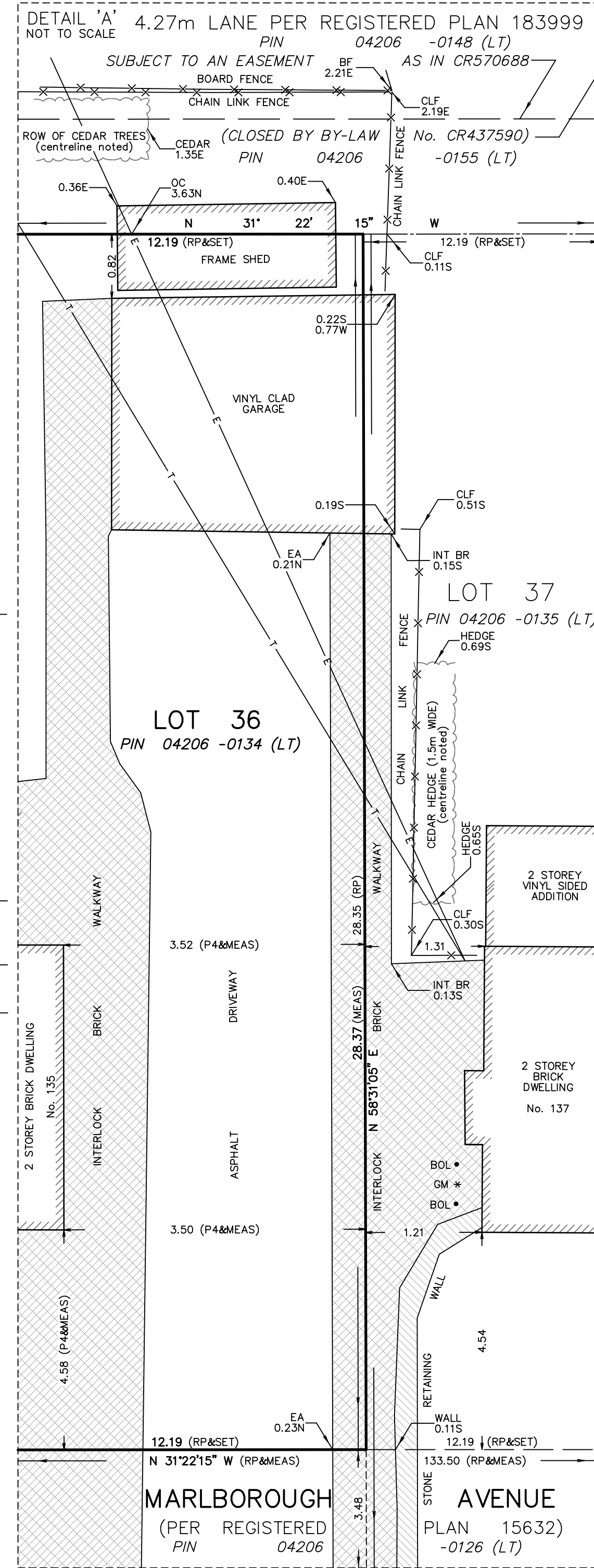


Committee of Adjustment
 Received | Reçu le

2025-02-06
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

PART 2 - SURVEY REPORT

- DESCRIPTION
 LOT 36 ON REGISTERED PLAN 183999, BEING ALL OF PIN 04206-0134 (LT), IN THE CITY OF OTTAWA
 - REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
 NONE
 - BOUNDARY FEATURES
 NOTE LOCATION OF THE OVERHEAD UTILITY CABLES, THE BOARD FENCE, THE CHAIN LINK FENCE, THE ROW OF CEDAR TREES AND THE FRAME SHED ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF THE CEDAR HEDGE, THE CHAIN LINK FENCES, THE INTERLOCK BRICK WALKWAY, THE ASPHALT DRIVEWAY AND THE STONE RETAINING WALL ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF THE BRICK CURB AND THE INTERLOCK BRICK WALKWAY ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF THE CHAIN LINK FENCE, THE CEDAR HEDGE, THE ROW OF CEDAR TREES, THE ASPHALT DRIVEWAY AND THE VINYL GARAGE ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY



SURVEYOR'S REAL PROPERTY REPORT
 WITH TOPOGRAPHIC DETAILS
 PART 1 - PLAN SHOWING

LOT 36
REGISTERED PLAN 183999
CITY OF OTTAWA

SCALE 1 : 150
 2.5 0 2.5 5 10 metres

J.D. BARNES LIMITED
 © COPYRIGHT 2024

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES
 BEARINGS ARE MTM GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD 83, (CSRS) (2010.0).
 DISTANCES ARE GROUND.
 ALL BUILDING TIES ARE TAKEN TO CONCRETE FOUNDATION UNLESS OTHERWISE NOTED.
 COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

ELEVATION NOTE:

1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.
 2. ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF OTTAWA CONTROL POINT 2016-0344 HAVING A PUBLISHED ELEVATION OF 66.06 METRES (CGVD28:78).

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SSIB	DENOTES	SHORT STANDARD IRON BAR
IB	DENOTES	IRON BAR
CC	DENOTES	CUT CROSS
WT	DENOTES	WITNESS
MEAS	DENOTES	MEASURED
NI	DENOTES	NO IDENTIFICATION
No.	DENOTES	NUMBER
MAG	DENOTES	MAGNETIC
RP	DENOTES	REGISTERED PLAN 183999
	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY J.D. BARNES LTD., DATED JUNE 16, 2016
P1	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY PAYETTE, HIMMA, DELORME LTD., DATED AUGUST 4, 1998
P2	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY FARLEY, SMITH & DENIS SURVEYING LTD., DATED JUNE 1, 2020
P3	DENOTES	PLAN 5R-3314
P4	DENOTES	PLAN BY ANNIS & O'SULLIVAN, DATED MAY 18, 1973
F87	DENOTES	FARRALL, MOFFATT & WOODLAND SURVEYING LTD.
JDB	DENOTES	J.D. BARNES LTD.
990	DENOTES	PAYETTE, HIMMA, DELORME LTD.
1692	DENOTES	FARLEY, SMITH & DENIS SURVEYING LTD.
	DENOTES	PROPERTY LINE

N=NORTH / S=SOUTH / E=EAST / W=WEST

TOPOGRAPHIC LEGEND

FR	DENOTES	FRAME
C/L	DENOTES	CENTERLINE
ST RET	DENOTES	STONE RETAINING
TOW	DENOTES	TOP OF WALL
GAR	DENOTES	GARAGE
INT	DENOTES	INTERLOCK
BR	DENOTES	BRICK
EA	DENOTES	EDGE OF ASPHALT
OC	DENOTES	OVERHEAD CABLE
(t)	DENOTES	TOP OF WALL
(b)	DENOTES	BOTTOM OF WALL
BF	DENOTES	BOARD FENCE
CLF	DENOTES	CHAIN LINK FENCE
GM	DENOTES	GAS METER
HP	DENOTES	HYDRO POLE
BOL	DENOTES	BOLLARD
E_JB	DENOTES	HYDRO JUNCTION BOX
MH_STM	DENOTES	STORM MANHOLE
MH_SAN	DENOTES	SANITARY MANHOLE
E	DENOTES	OVERHEAD HYDRO CABLE
T	DENOTES	OVERHEAD TELEPHONE CABLE
STM	DENOTES	UNDERGROUND STORM SEWER
SAN	DENOTES	UNDERGROUND SANITARY SEWER
(*)	DENOTES	DECIDUOUS TREE
(*)	DENOTES	CONIFEROUS TREE

TREE SCHEDULE

TREE No.	TRUNK DIAMETER (m)	CROWN RADIUS (m)	DISTANCE FROM C/L TRUNK TO PROPERTY LINE
T1	0.4	4.5	0.42 E, 3.61 S

TRUNK DIAMETER MEASURED AT 1.2 METRES ABOVE GRADE. TREE POSITION IS CALCULATED OFFSET TO ESTIMATED CENTER OF TREE.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON SEPTEMBER 10, 2024.

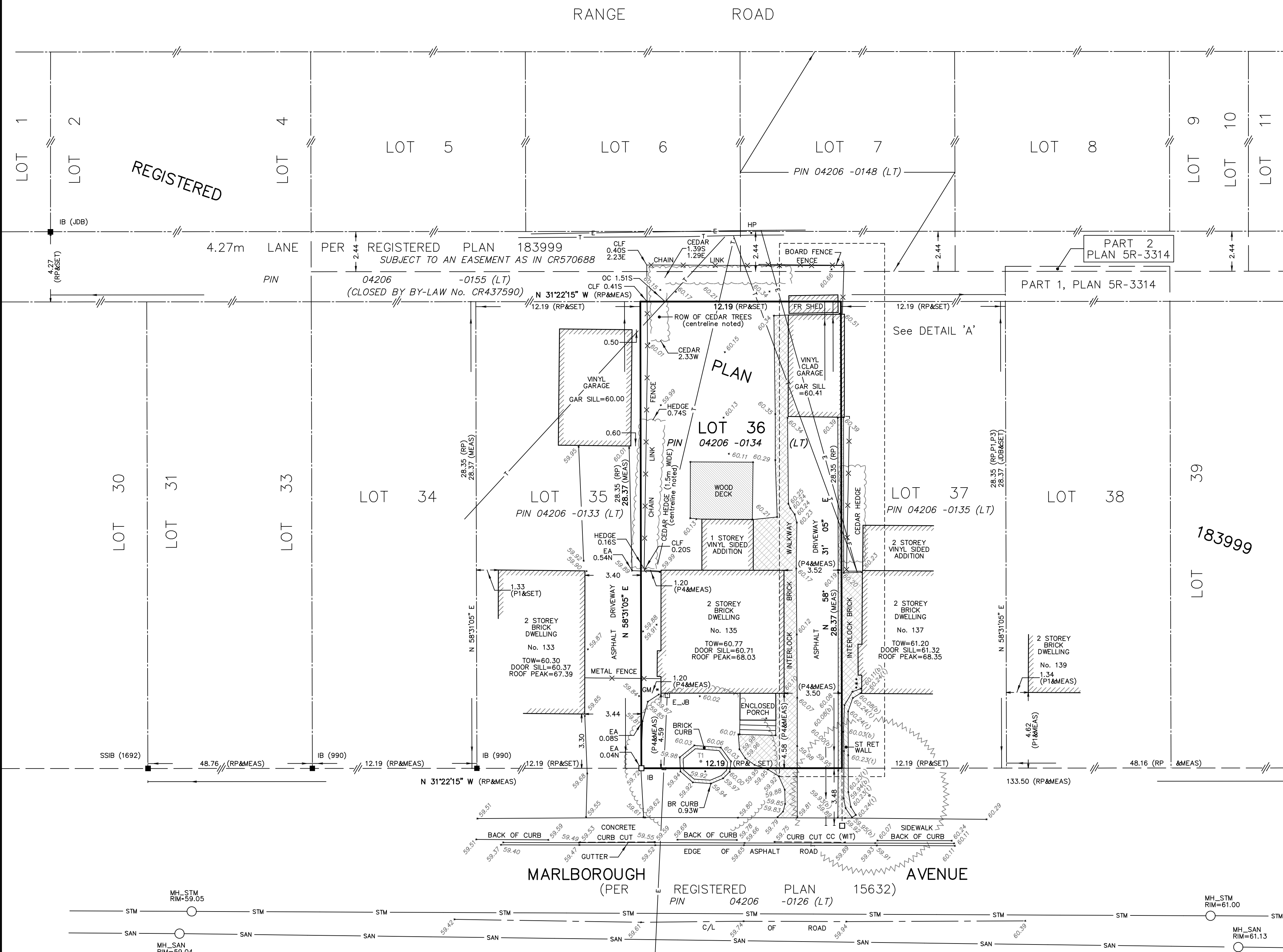
SEPTEMBER 12, 2024
 DATE

GEORGE ZERVAS
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-76630

J.D. BARNES SURVEYING MAPPING GIS
 LIMITED
 LAND INFORMATION SPECIALISTS
 62 STACEE DRIVE, SUITE 103, KANATA, ON K2K 2A9
 T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

DRAWN BY: RP	CHECKED BY: J.L./G.Z.	REFERENCE NO.: 24-10-089-00
PREPARED FOR: H. KHAMSEH ZADEH & P. GUEVREMONT	PLOTTED: 9/19/2024	DATED: 9/12/24



SITE BENCHMARK
 MAG NAIL IN HYDRO POLE
 ELEVATION = 60.83

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE.

DO NOT SCALE DRAWINGS.

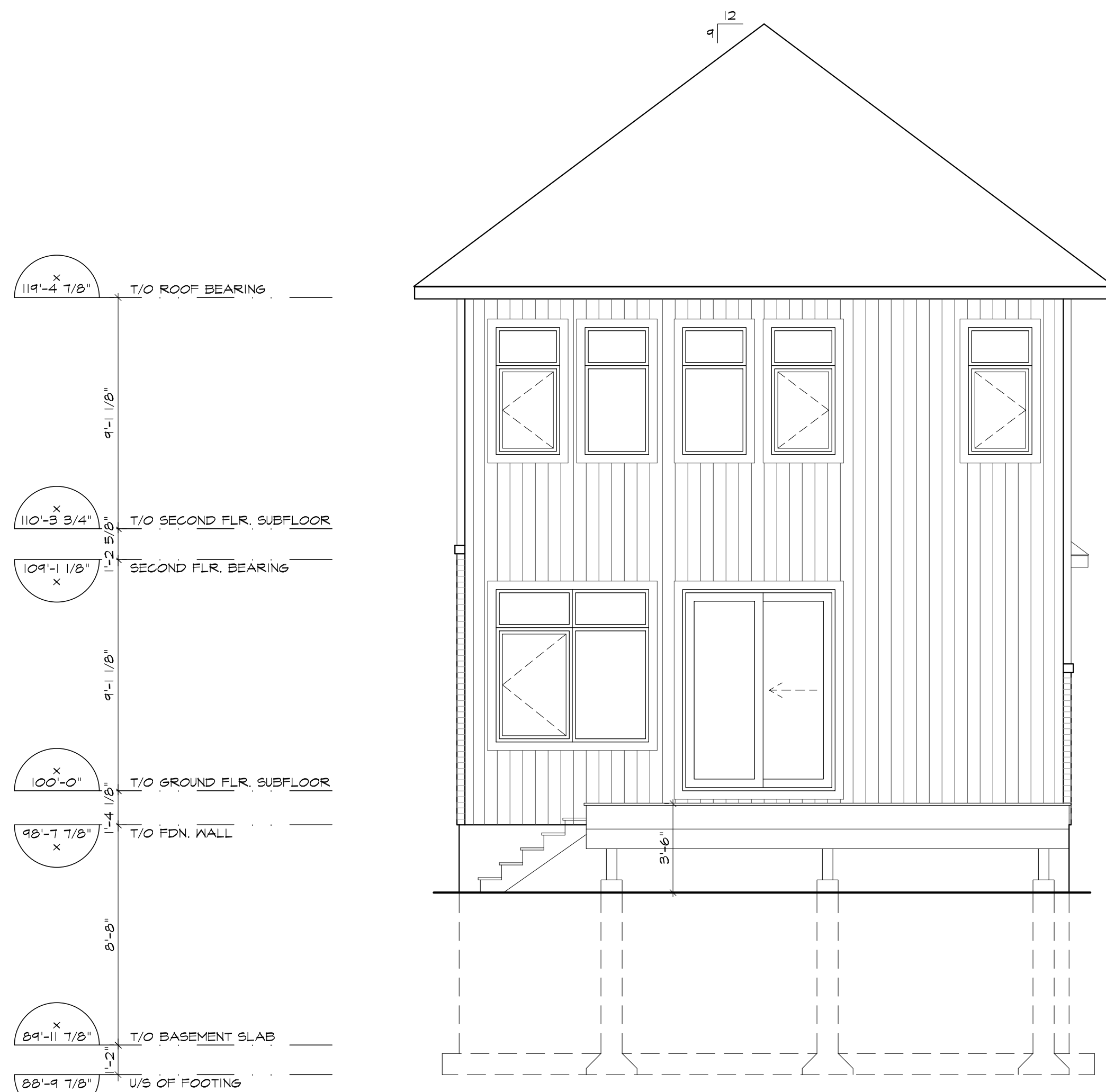
Committee of Adjustment
Received | Reçu le
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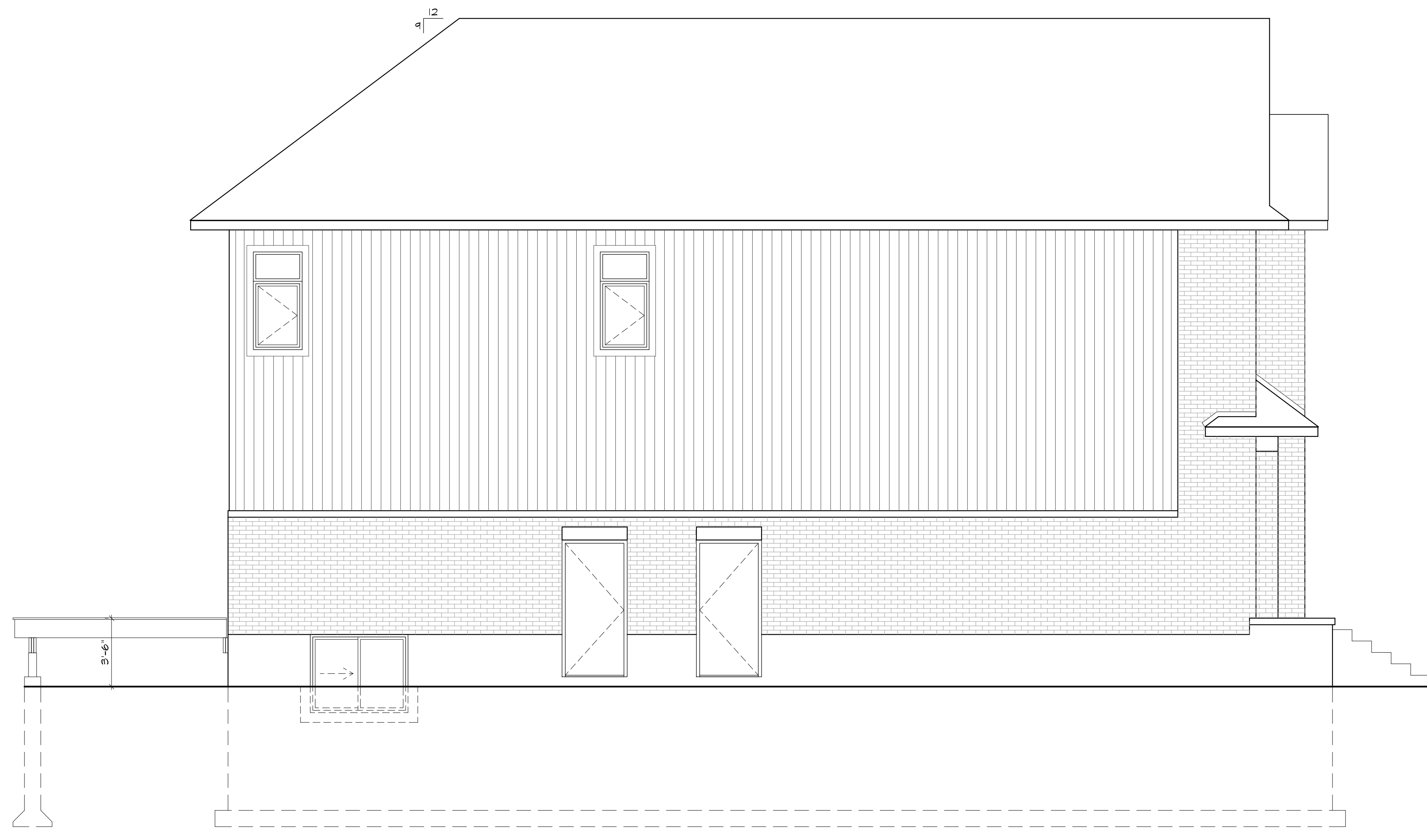
1 FRONT (WEST-SOUTH-WEST) ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE (SOUTH-SOUTH-EAST) ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR (EAST-NORTH-EAST) ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT SIDE (NORTH-NORTH-WEST) ELEVATION
SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE
2	ISSUED FOR MV APPLICATION	2025.02.03
1	ISSUED FOR MV REVIEW	2025.01.20

SEAL: _____ NORTH:

MARLBOROUGH HOUSE
135 MARLBOROUGH AVENUE
OTTAWA, ONTARIO, K1N 8G1

DRAWING:
HOUSE ELEVATIONS

DATE:	OCTOBER 2024	SHEET NO.:
SCALE:	AS NOTED	EL1
DRAWN:	PK	
CHECKED:	PR	
JOB NO.	0604	

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

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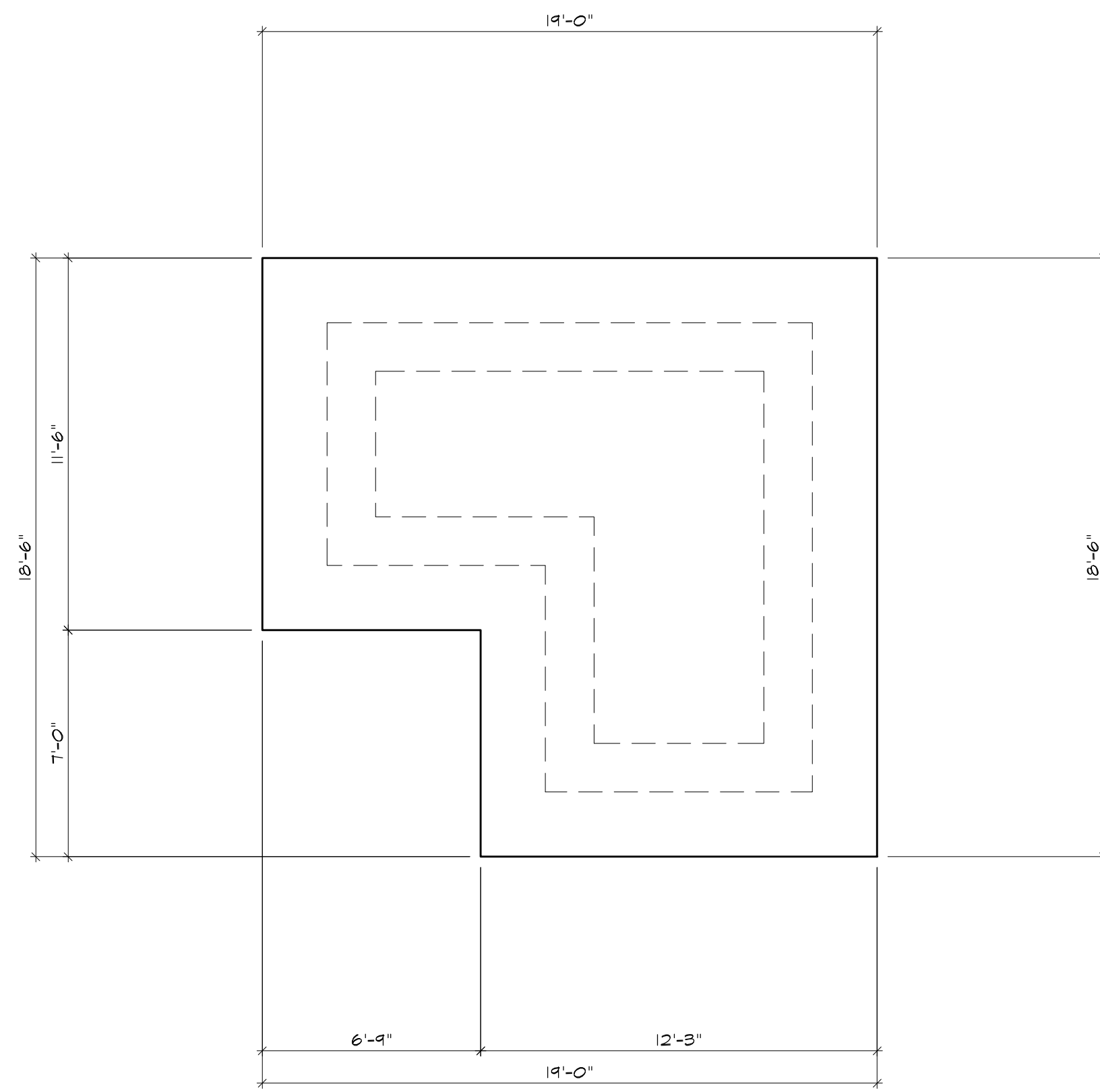
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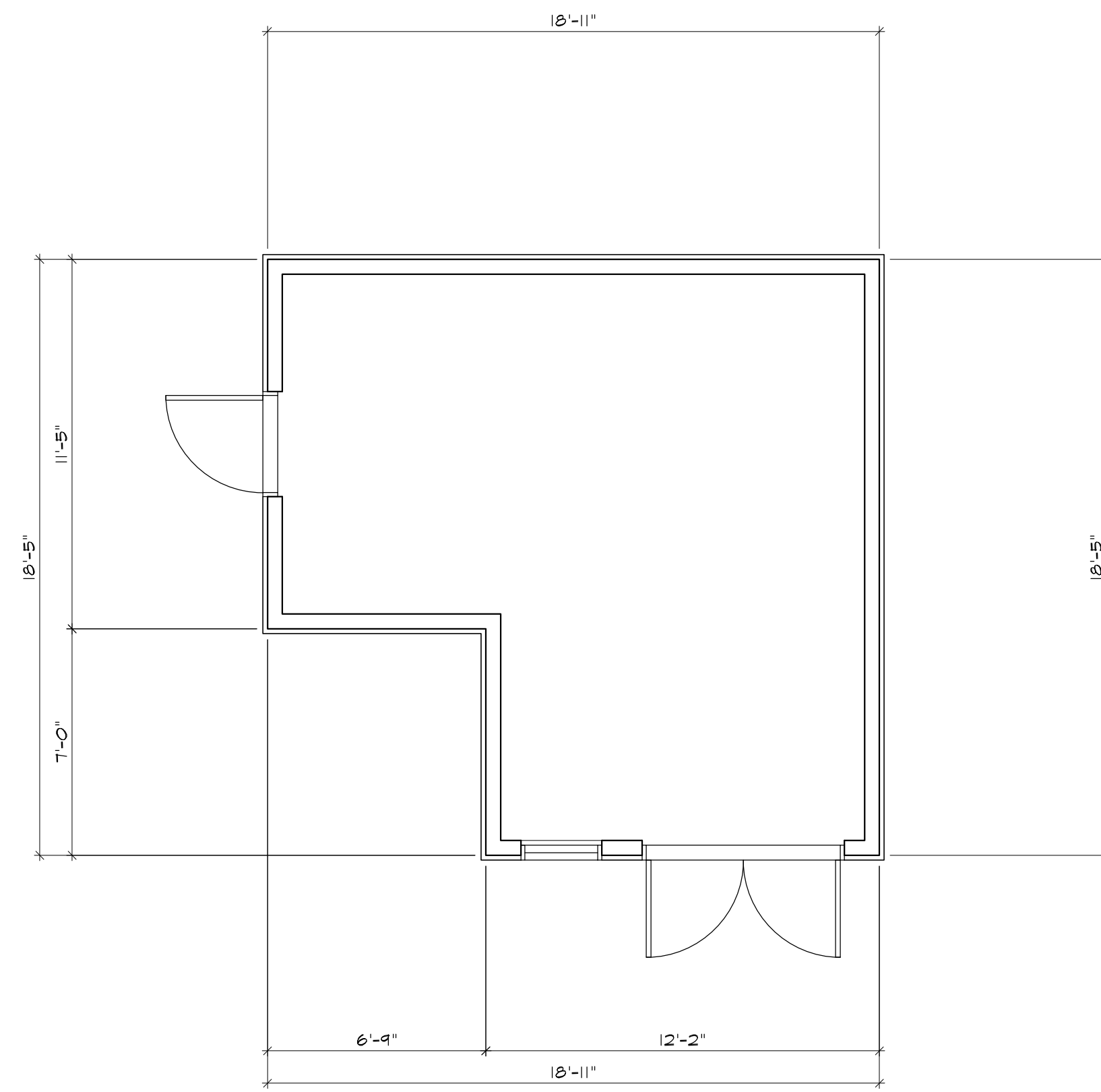
Committee of Adjustment
Received | Reçu le

2025-02-06

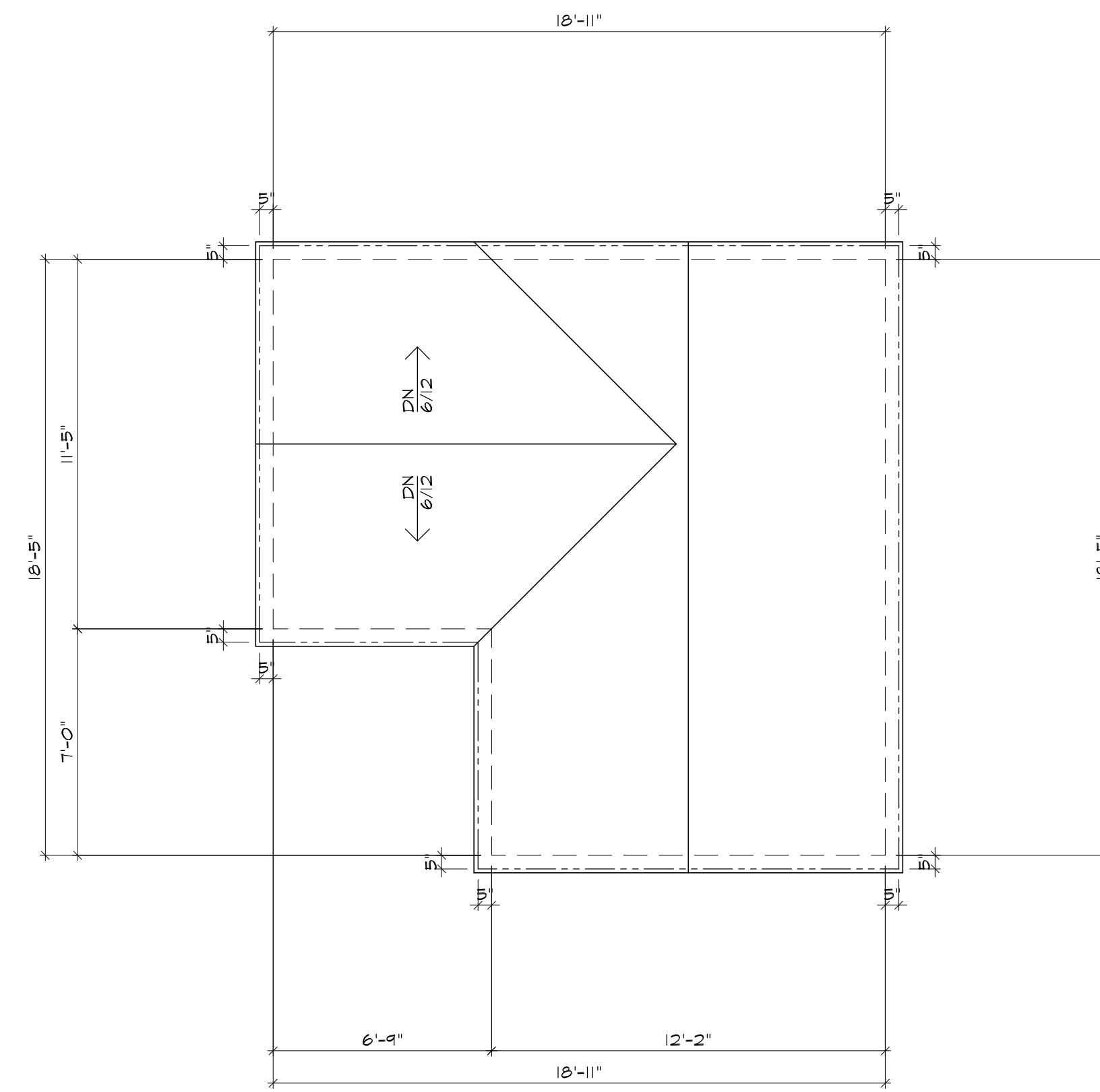
City of Ottawa | Ville d'Ottawa
Comité de dérogation



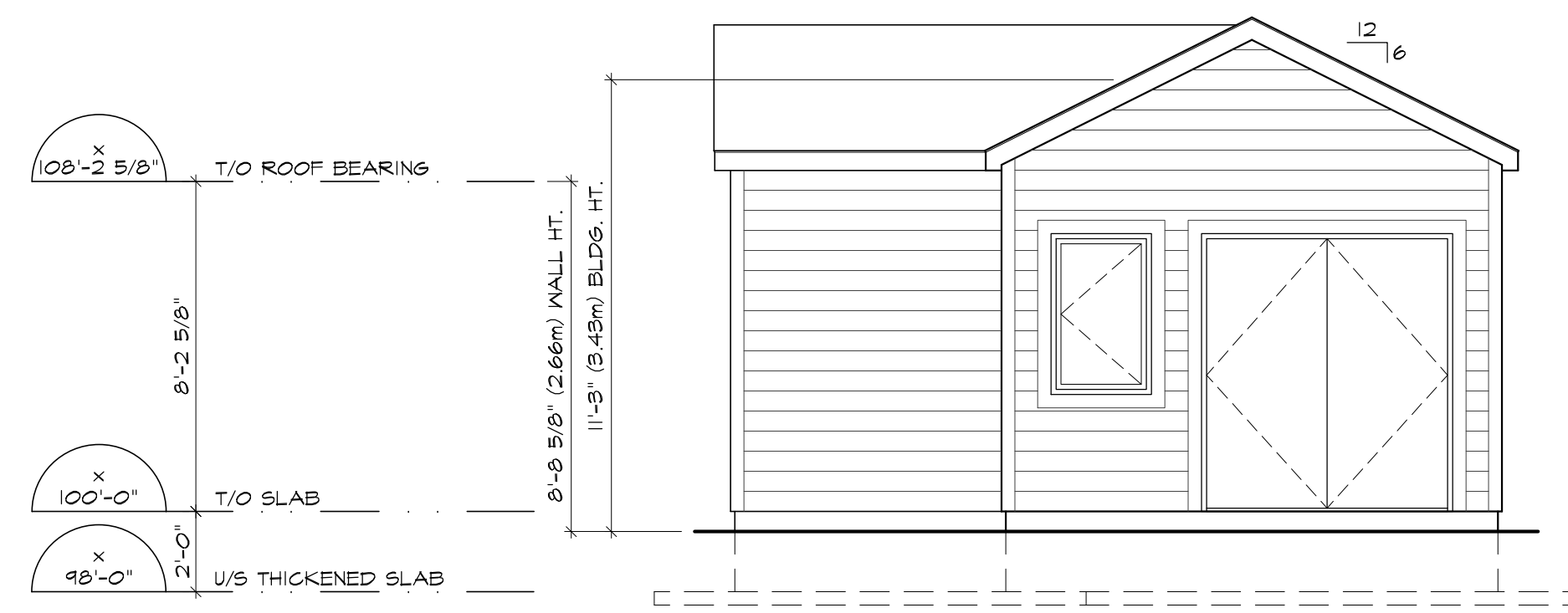
1 FOUNDATION / SLAB PLAN
SCALE: 1/4" = 1'-0"



2 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



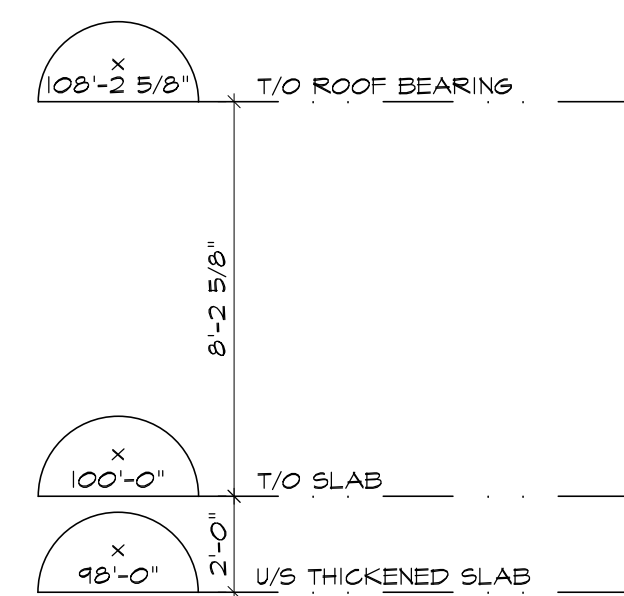
3 ROOF PLAN
SCALE: 1/4" = 1'-0"



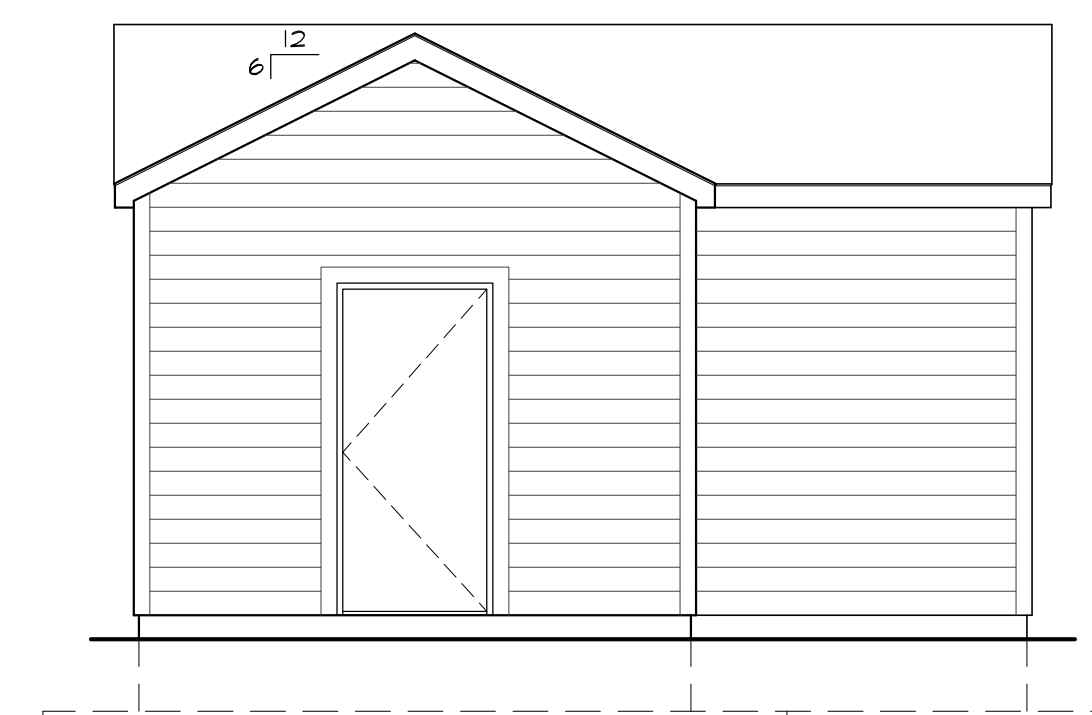
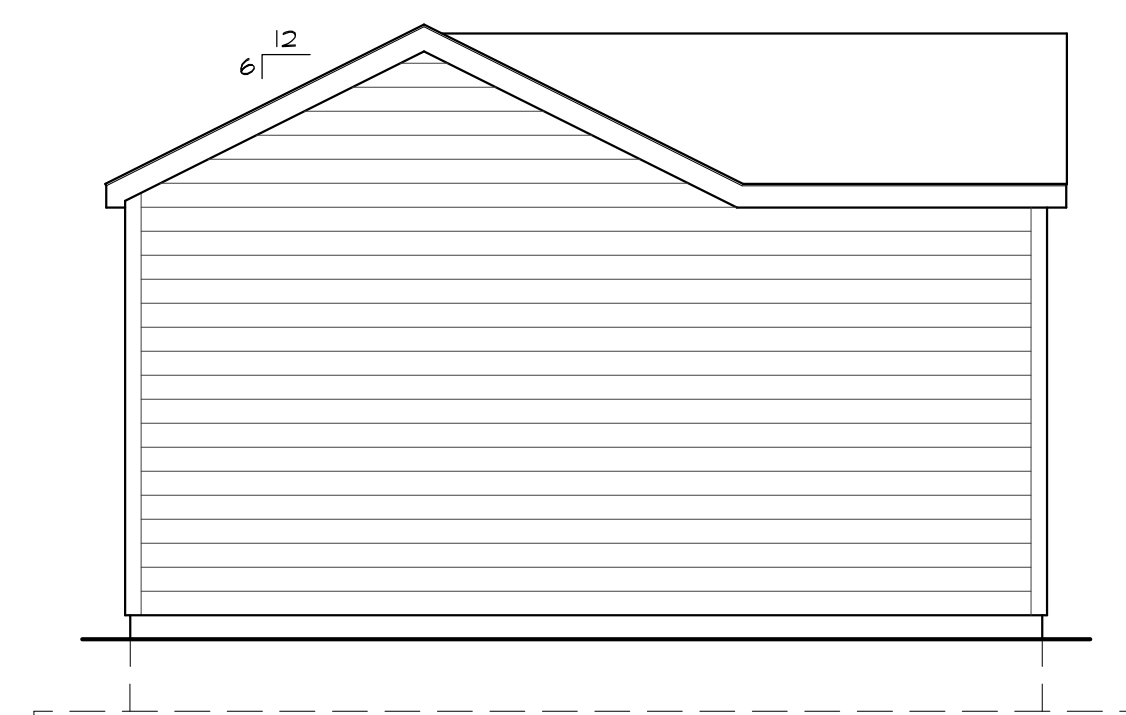
4 FRONT (WEST-SOUTH-WEST) ELEVATION
SCALE: 1/4" = 1'-0"



5 RIGHT SIDE (SOUTH-SOUTH-EAST) ELEVATION
SCALE: 1/4" = 1'-0"



6 REAR (EAST-NORTH-EAST) ELEVATION
SCALE: 1/4" = 1'-0"



7 LEFT SIDE (NORTH-NORTH-WEST) ELEVATION
SCALE: 1/4" = 1'-0"

2	ISSUED FOR MV APPLICATION	2025.02.03
1	ISSUED FOR MV REVIEW	2025.01.20
NO.	REVISION	DATE

SEAL: _____ NORTH: _____

MARLBOROUGH HOUSE
135 MARLBOROUGH AVENUE
OTTAWA, ONTARIO, K1N 8G1

DRAWING:
WORKSHOP FLOOR PLANS
WORKSHOP ELEVATIONS

DATE: OCTOBER 2024 SHEET NO.:

SCALE: AS NOTED

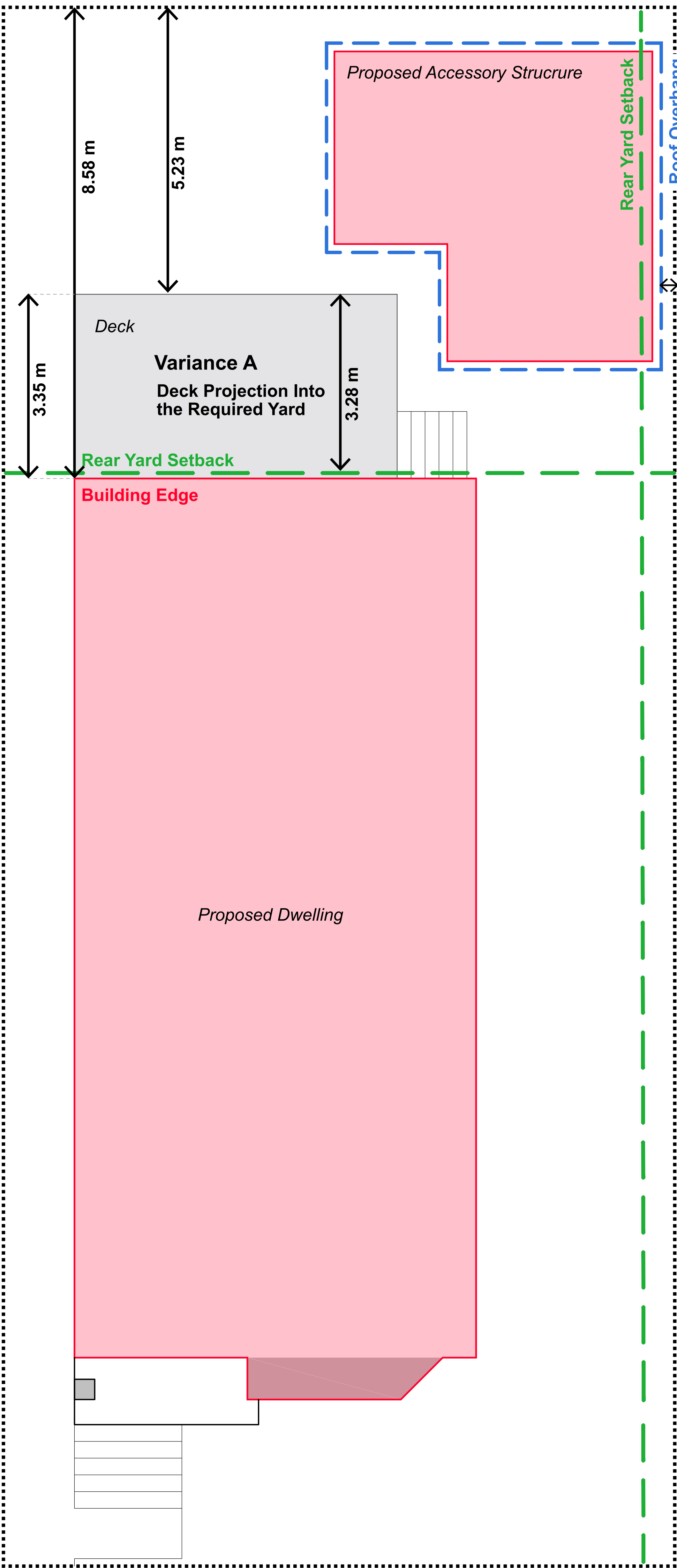
DRAWN: PK

CHECKED: PR

JOB NO. 0604






AC1

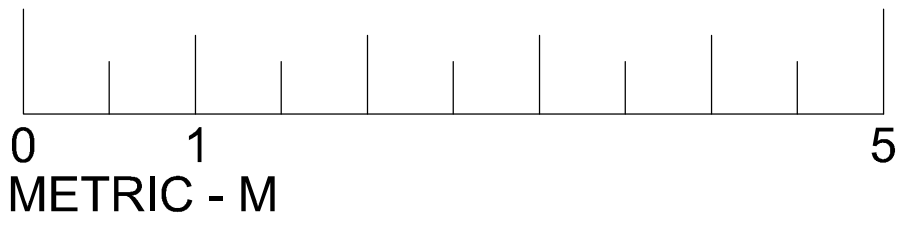
Committee of Adjustment
 Received | Reçu le
 Revised | Modifié le : 2025-02-20
 City of Ottawa | Ville d'Ottawa
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Variance A
 Deck Projection Into
 the Required Yard

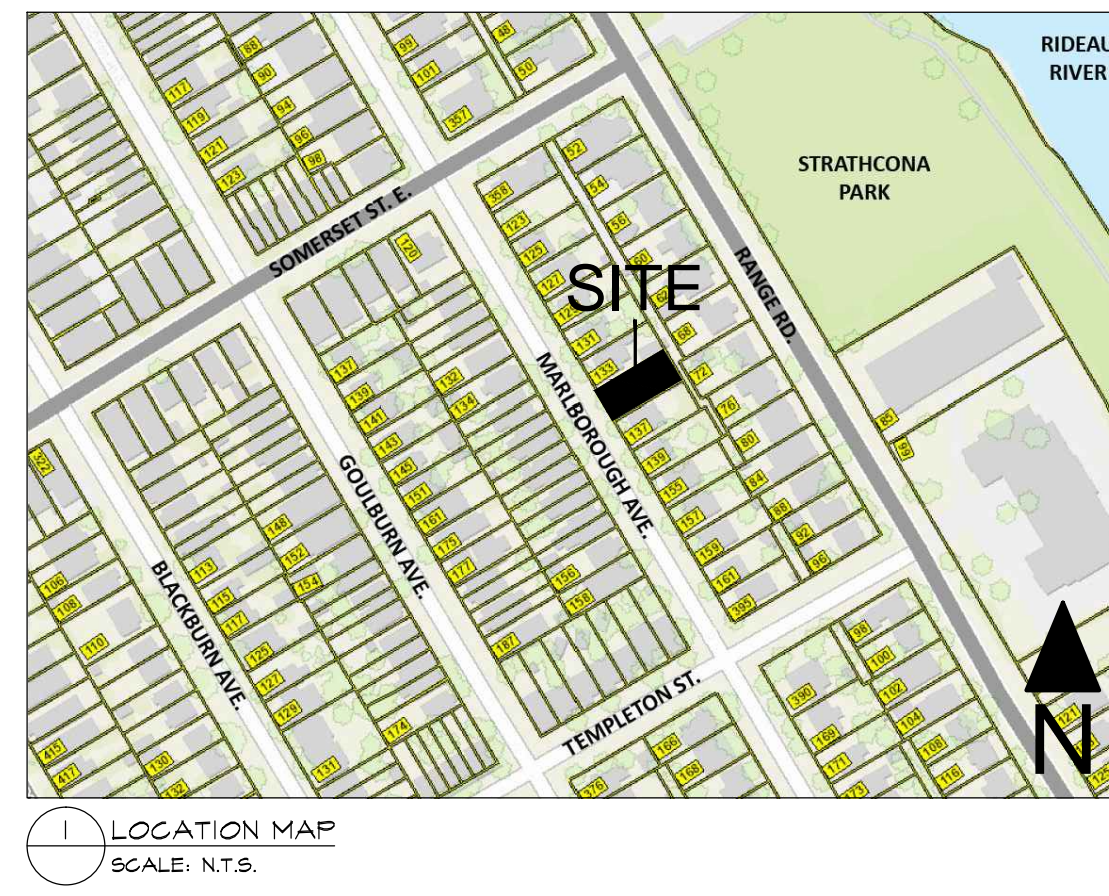
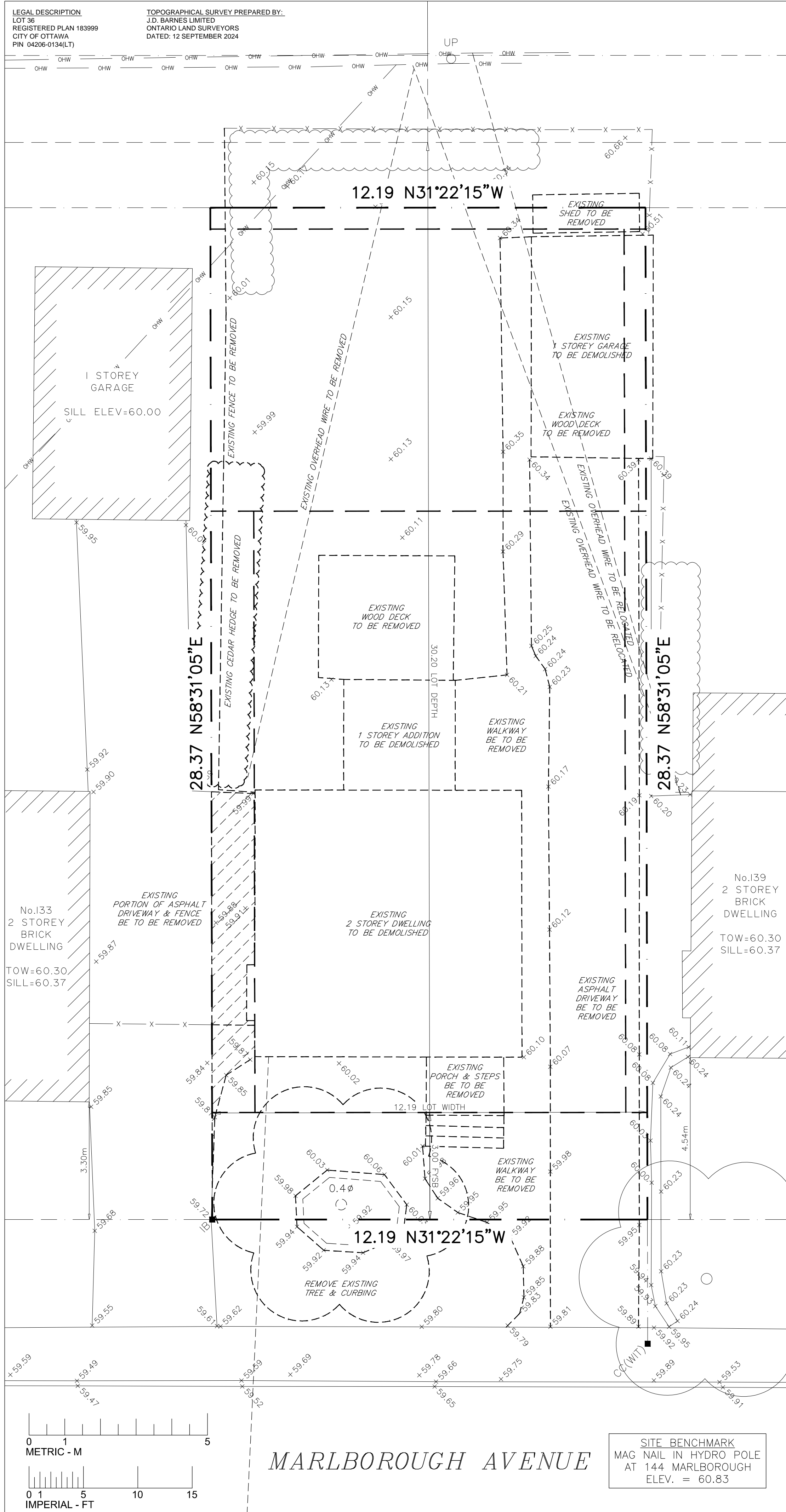
Variance C
 Accessory Structure Setback
 in the Rear Yard

	Building Footprint
	Deck
	Setback Line
	Roof Overhang
	Lot Line



MARLBOROUGH AVENUE

SITE BENCHMARK
 MAG NAIL IN HYDRO POLE
 AT 144 MARLBOROUGH
 ELEV. = 60.83



135 MARLBOROUGH AVENUE - PROPOSED DETACHED DWELLING WITH ADU & ACCESSORY BUILDING

R1TT
SECTION 139 - LOW-RISE RESIDENTIAL IN ALL NEIGHBOURHOODS WITHIN THE GREENBELT
SECTION 140 - LOW-RISE RESIDENTIAL DEVELOPMENT WITHIN THE MATURE NEIGHBOURHOODS OVERLAY
SECTION 144 - ALTERNATIVE YARD SETBACKS AFFECTING LOW-RISE RESIDENTIAL IN THE R1 TO R4 ZONES

PERFORMANCE STANDARD	BY-LAW REQUIREMENT	PROVIDED
STREETSCAPE CHARACTER ANALYSIS FRONT FACING ATTACHED GARAGE OR CARPORT	CHARACTER GROUP A ATTACHED GARAGE OR CARPORT NOT PERMITTED	NONE
STREETSCAPE CHARACTER ANALYSIS DRIVEWAY PERMITTED	CHARACTER GROUP B SINGLE DRIVEWAY PERMITTED	SINGLE DRIVEWAY
STREETSCAPE CHARACTER ANALYSIS PRINCIPAL ENTRY LOCATION	CHARACTER GROUP A FRONT FACADE ENTRY	FRONT FACADE ENTRY
MINIMUM LOT DEPTH (LD)	NA	28.37m
MINIMUM LOT WIDTH (LW)	9.0 m	12.19 m
MINIMUM LOT AREA (LA)	270.0 sq.m	345.91 sq.m
MAXIMUM BUILDING HEIGHT (i)	6.50 m	9.34 m
MINIMUM FRONT YARD SETBACK (ii)	3.0 m	3.03 m
MINIMUM FRONT YARD AREA (FYA)	NA	36.88 sq.m
MINIMUM FRONT YARD SOFT LANDSCAPE AREA	14.75 sq.m (40% OF FYA)	18.71 sq.m (50.73% OF FYA)
MINIMUM TOTAL INTERIOR SIDE YARD SETBACK	1.80 m	4.87 m
MINIMUM INTERIOR SIDE YARD SETBACK	1.20 m / 0.60 m	1.22 m / 3.65 m
MINIMUM REAR YARD SETBACK	6.511 m (30% OF LD)	6.58 m (30.24% OF LD)
MINIMUM REAR YARD AREA	86.48 sq.m (25% OF LA)	104.64 sq.m (30.22% OF LA)
MAXIMUM REAR YARD PARKING AREA	73.25 sq.m (70% OF RYA)	0 sq.m (0% OF RYA)
MINIMUM REAR YARD SOFT LANDSCAPING	15.70 sq.m (15% OF RYA)	39.71 sq.m (37.95% OF RYA)
MAXIMUM WALKWAY WIDTH	1.20 m	0.915 m
MINIMUM NUMBER OF PARKING SPACE	1	2
MINIMUM PARKING SPACE SIZE	2.6 m x 5.2 m	2.6 m x 5.2 m
MAXIMUM DRIVEWAY WIDTH	3.0 m	2.60 m
MAXIMUM NUMBER OF ACCESSORY BUILDINGS	2	1
MIN. ACCESSORY BUILDING FRONT YARD SETBACK	SAME AS PRINCIPAL	IN REAR YARD
MIN. ACCESSORY BUILDING SIDE YARD SETBACK	0.60 m	0.23 m (OVERHANG)
MIN. ACCESSORY BUILDING REAR YARD SETBACK	0.60 m	0.66 m (OVERHANG)
MIN. ACCESSORY BUILDING SEPARATION	1.20 m	2.13 m
MAX. ACCESSORY BUILDING WALL HEIGHT	3.20 m	2.66 m
MAX. ACCESSORY BUILDING HEIGHT	3.60 m	3.43 m
MAX. ACCESSORY BUILDING SIZE	51.88 sq.m (50% OF RYA)	28.99 sq.m (27.70% OF RYA)
MAX. DECK PROJECTION IN REAR YARD	2.0 sq.m	3.28 sq.m

NOTES:
i = MINOR VARIANCE REQUIRED
ii BUILDING HEIGHT CALCULATED FROM THE EXISTING AVERAGE GRADE PRIOR TO ANY SITE ALTERATIONS.
iii FRONT YARD SETBACK IS THE AVERAGE OF THE ADJACENT LOTS EXISTING SETBACK, BUT NEED NOT EXCEED THE MINIMUM REQUIRED FOR SUBZONE.

EXISTING AVERAGE GRADE CALCULATION - TO BE CONFIRMED BY SURVEYOR OR CIVIL

	LEFT	RIGHT	AVERAGE
FRONT EXISTING GRADE	59.81 m	60.03 m	60.06 m
REAR EXISTING GRADE	60.01 m	60.39 m	

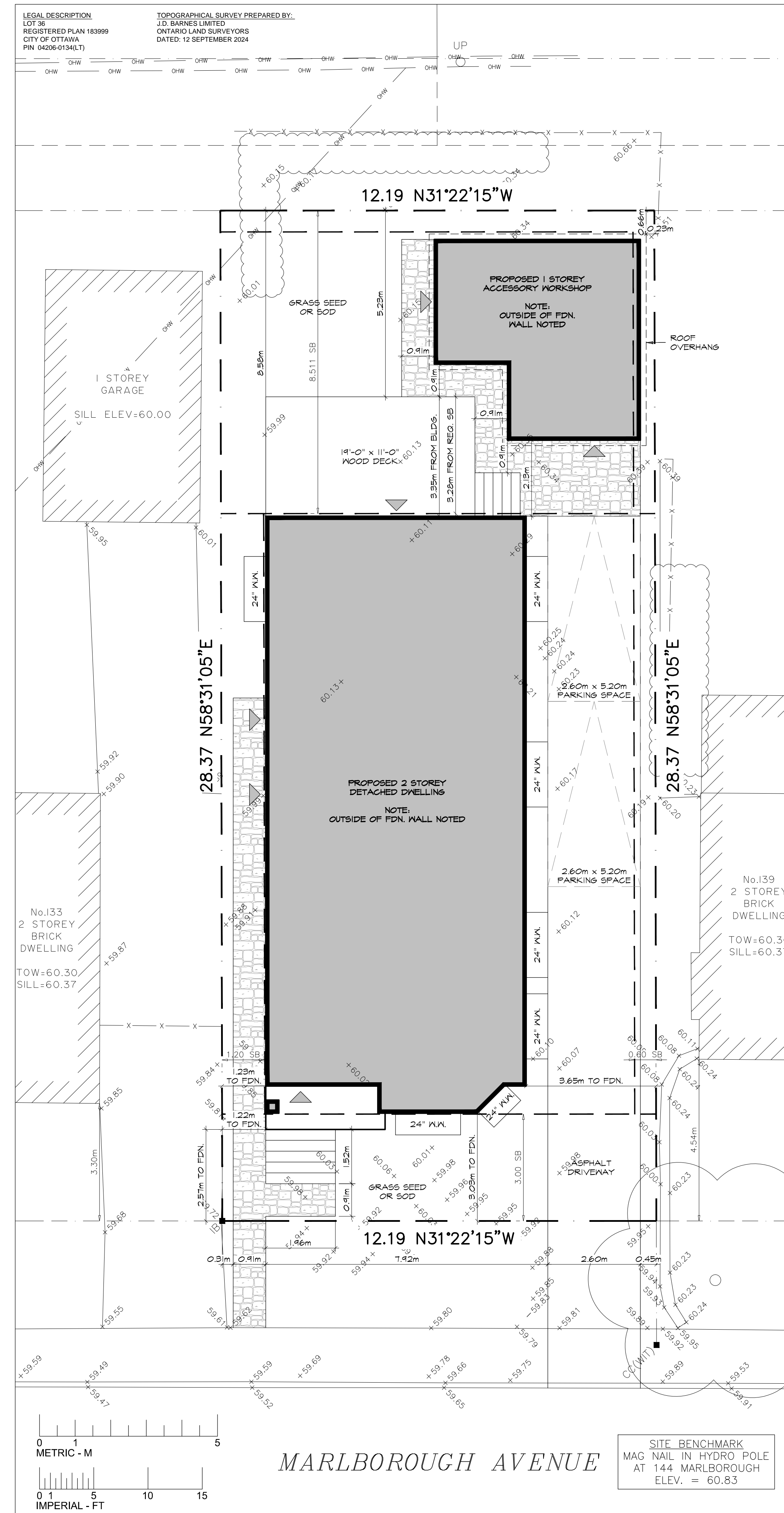
BUILDING INFORMATION

HOUSE AREA		124.33 sq.m (1338.31 sq.ft)
FOOTPRINT		123.41 sq.m (1328.37 sq.ft)
FOUNDATION	O/S FOUNDATION	
BASEMENT	O/S FOUNDATION	119.48 sq.m (1286.04 sq.ft)
BASEMENT	I/S FOUNDATION	107.96 sq.m (1162.59 sq.ft)
BASEMENT	I/S FRAMING	101.64 sq.m (1094.09 sq.ft)
GROUND FLOOR	O/S CLADDING	120.37 sq.m (1295.63 sq.ft)
GROUND FLOOR	O/S FRAMING	114.44 sq.m (1231.78 sq.ft)
GROUND FLOOR	I/S FRAMING	107.96 sq.m (1162.09 sq.ft)
SECOND FLOOR	O/S CLADDING	117.55 sq.m (1265.26 sq.ft)
SECOND FLOOR	O/S FRAMING	114.44 sq.m (1231.78 sq.ft)
SECOND FLOOR	I/S FRAMING	107.96 sq.m (1162.09 sq.ft)
ACCESSORY WORKSHOP AREA		
FOOTPRINT		28.99 sq.m (312.10 sq.ft)
FOUNDATION	O/S FOUNDATION	28.26 sq.m (304.25 sq.ft)
GROUND FLOOR	O/S CLADDING	26.99 sq.m (291.13 sq.ft)
GROUND FLOOR	O/S FRAMING	27.97 sq.m (301.13 sq.ft)
GROUND FLOOR	I/S FRAMING	24.87 sq.m (267.75 sq.ft)

0 1 5
METRIC - M

0 1 5 10 15
IMPERIAL - FT

3 SITE PLAN
SCALE: 1:75



P² concepts

2200 THURSTON DR., UNIT 203
OTTAWA, ONTARIO, K1G 6E1

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Received | Reçu le
Revised | Modifié le : 2025-02-20
City of Ottawa | Ville d'Ottawa
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3	MV REVIEW REVISIONS	2025.02.20
2	ISSUED FOR MV APPLICATION	2025.02.03
1	ISSUED FOR MV REVIEW	2025.01.20

NO.	REVISION	DATE
SEAL:		
NORTH:		

MARLBOROUGH HOUSE
135 MARLBOROUGH AVENUE
OTTAWA, ONTARIO, K1N 8G1

DRAWING:
LOCATION MAP & ZONING INFO
EXISTING / DEMOLITION SITE PLAN
SITE PLAN

DATE:	OCTOBER 2024	SHEET NO.:	
SCALE:	AS NOTED		
DRAWN:	PK		
CHECKED:	PR		
JOB NO.	0604		

SP1