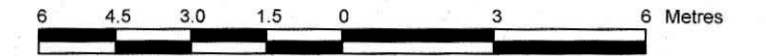


**LOT 370  
AND  
PART OF LOT 369  
REGISTERED PLAN 246  
CITY OF OTTAWA**

Surveyed by Annis, O'Sullivan, Vollebek Ltd.

Scale 1 : 150



**Metric**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Surveyor's Certificate**

SCANNED

I CERTIFY THAT:

1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 21st day of October, 2022.

Oct. 31, 2022  
Date

*Stefan Bazar*  
Stefan Bazar  
Ontario Land Surveyor

**Notes & Legend**

Symbol	Denotes	Description
□	Denotes	Survey Monument Planted
■	"	Survey Monument Found
SIB	"	Standard Iron Bar
SSIB	"	Short Standard Iron Bar
IB	"	Iron Bar
CC	"	Cut Cross
(WIT)	"	Witness
(AOG)	"	Annis, O'Sullivan, Vollebek Ltd.
Meas.	"	Measured
Prop.	"	Proportioned
(P1)	"	Registered Plan 246
(P2)	"	Plan 4R-28436
(P3)	"	(857) Plan Dated December 12, 2017
(P4)	"	(ARKJ) Plan Dated September 29, 1989
(P5)	"	(990) Plan Dated January 31, 1994
(P6)	"	(AOG) Plan Dated July 5, 1985
○ MH-ST	"	Maintenance Hole (Storm Sewer)
○ MH-S	"	Maintenance Hole (Sanitary)
○ OHW	"	Overhead Wires
○ UP	"	Utility Pole
+ 65.00	"	Location of Elevations
○	"	Top of Retaining Wall and Concrete Curb Elevation
○	"	Deciduous Tree
△ S	"	Sign
CLF	"	Chain Link Fence
BF	"	Board Fence
TOS	"	Top of Slope
BOS	"	Bottom of Slope
RWB	"	Brick Retaining Wall
EA	"	Edge of Asphalt
AC	"	Air Conditioner
∅	"	Diameter
C/L	"	Centreline
—	"	Property Line
○	"	Shrub
□ GM	"	Gas Meter
□ HM	"	Hydro Meter
T/G	"	Top of Grate

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
**V-36302**

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29 (3).

Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations, MTM Zone 9 ( 76°30' West Longitude ) NAD-83 (original).

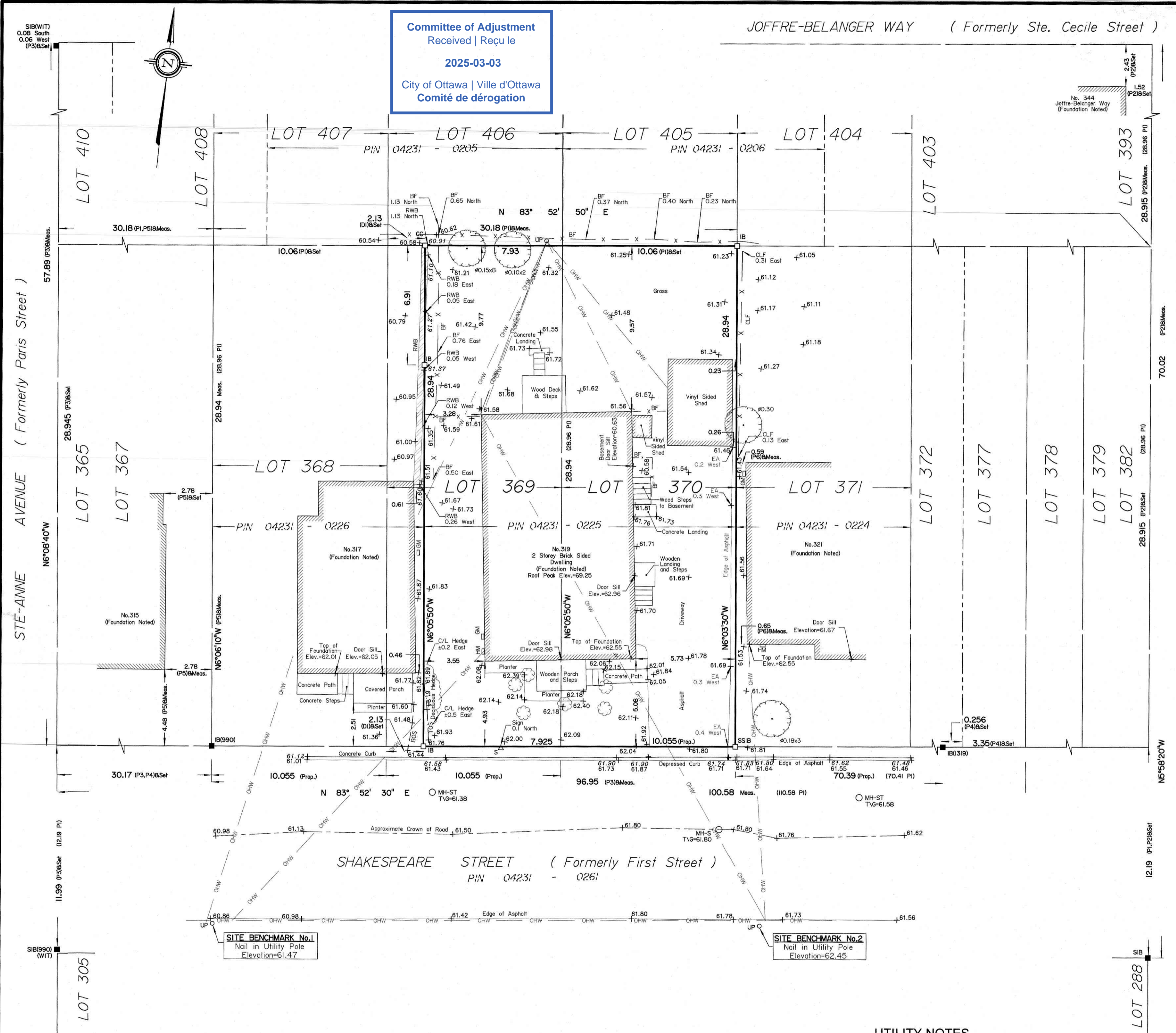
For bearing comparisons, a rotation of 0°19'50" counter-clockwise was applied to bearings on P3 and a rotation of 0°21'30" counter-clockwise was applied to P5.

**UTILITY NOTES**

1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

**ELEVATION NOTES**

1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.



Committee of Adjustment  
Received | Reçu le  
**2025-03-03**  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

**SITE BENCHMARK No.1**  
Nail in Utility Pole  
Elevation=61.47

**SITE BENCHMARK No.2**  
Nail in Utility Pole  
Elevation=62.45

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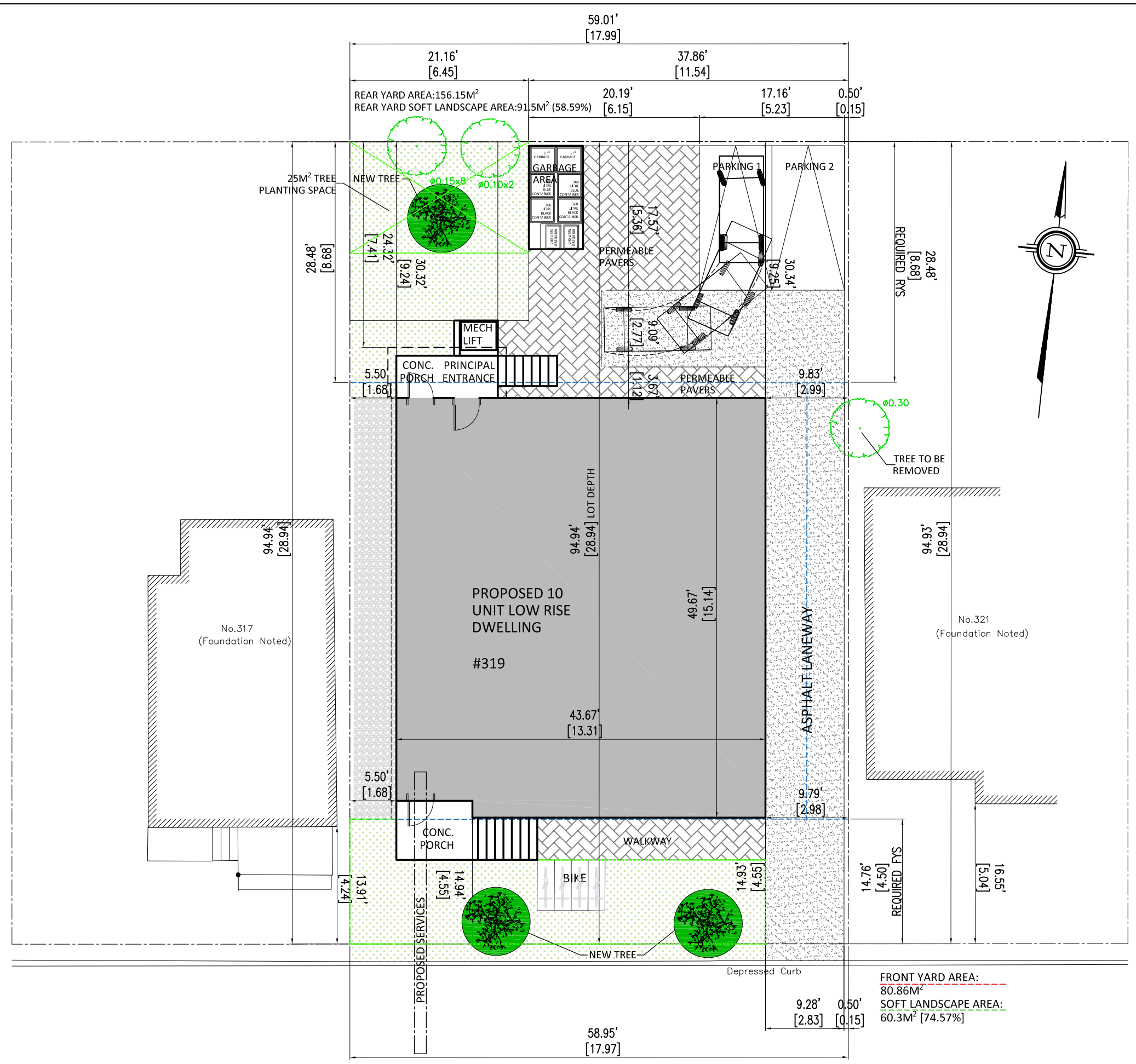
**ANNIS, O'SULLIVAN, VOLLEBEK LTD.**  
14 Concourse Gate, Suite 500  
Nepean, Ont. K2E 7S6  
Phone: (613) 727-0850 / Fax: (613) 727-1079  
Email: Nepean@aovltd.com

Ontario  
Land Surveyors



LEGEND			
PROPOSED BUILDING		SOFT LANDSCAPING AREA	
RIVER WASH		LINE OF REQUIRED SETBACK	
WALKWAY		OVERHEAD WIRES	
SOD		EXISTING TO BE DEMOLISHED	
		LANEWAY	

**Committee of Adjustment**  
Received | Reçu le  
  
**2025-03-03**  
  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



- GENERAL NOTES:**
1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT.
  2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
  3. FIDITHNESS DESIGNED FOR 2000 P.S.F. ASSUMED BEARING. BEARING STRATA, GRANULAR MATERIAL AND COMPACTION TO BE INSPECTED AND APPROVED BY SOILS CONSULTANT PRIOR TO POURING CONCRETE.
  4. DO NOT SCALE THE DRAWINGS.

NO.	DESCRIPTION & DATE	REVISIONS
1		

JOB TITLE:  
**PROPOSED  
THREE STOREY 10  
UNIT LOW RISE  
319 SHAKESPEARE ST  
CITY OF OTTAWA**

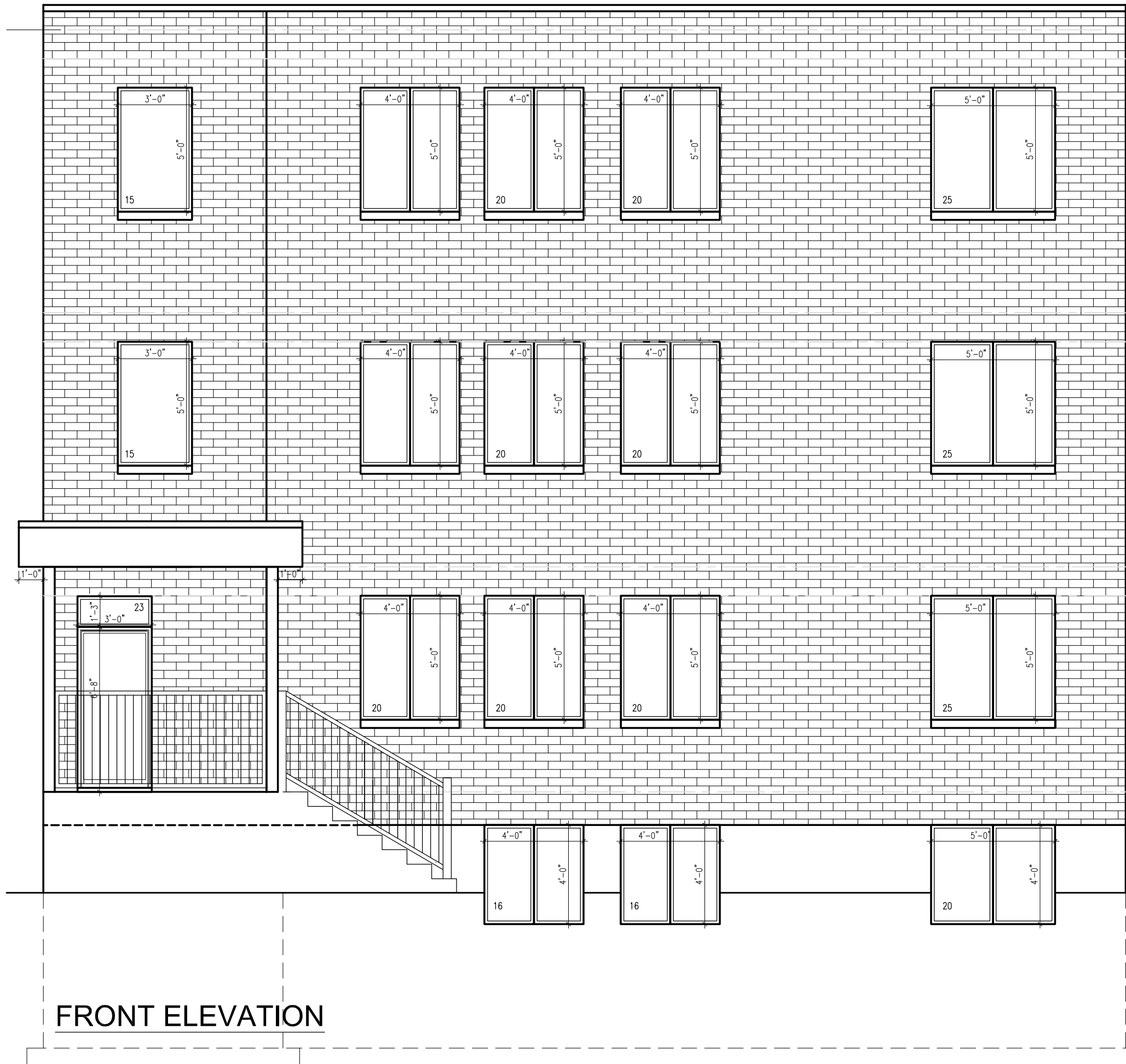
SHEET TITLE:  
**SITE/LANDSCAPE PLAN**

SCALE: AS SHOWN	DWG NO.
DRAWN: C.S.	<b>S1.1</b>
CHECKED:	
DATE: FEB 2025	
PRINT DATE:	

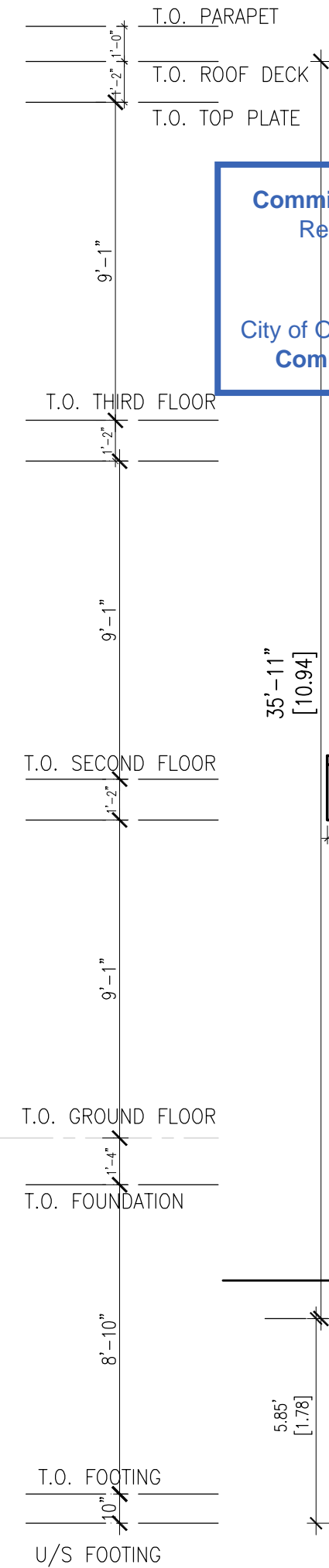
**SITE PLAN**  
SCALE 1:150

SHAKESPEARE STREET

FRONT YARD AREA:  
80.86M<sup>2</sup>  
SOFT LANDSCAPE AREA:  
60.3M<sup>2</sup> [74.57%]



**FRONT ELEVATION**



**Committee of Adjustment**  
 Received | Reçu le  
**2025-03-03**  
 City of Ottawa | Ville d'Ottawa  
 Comité de dérogation

35'-11"  
[10.94]

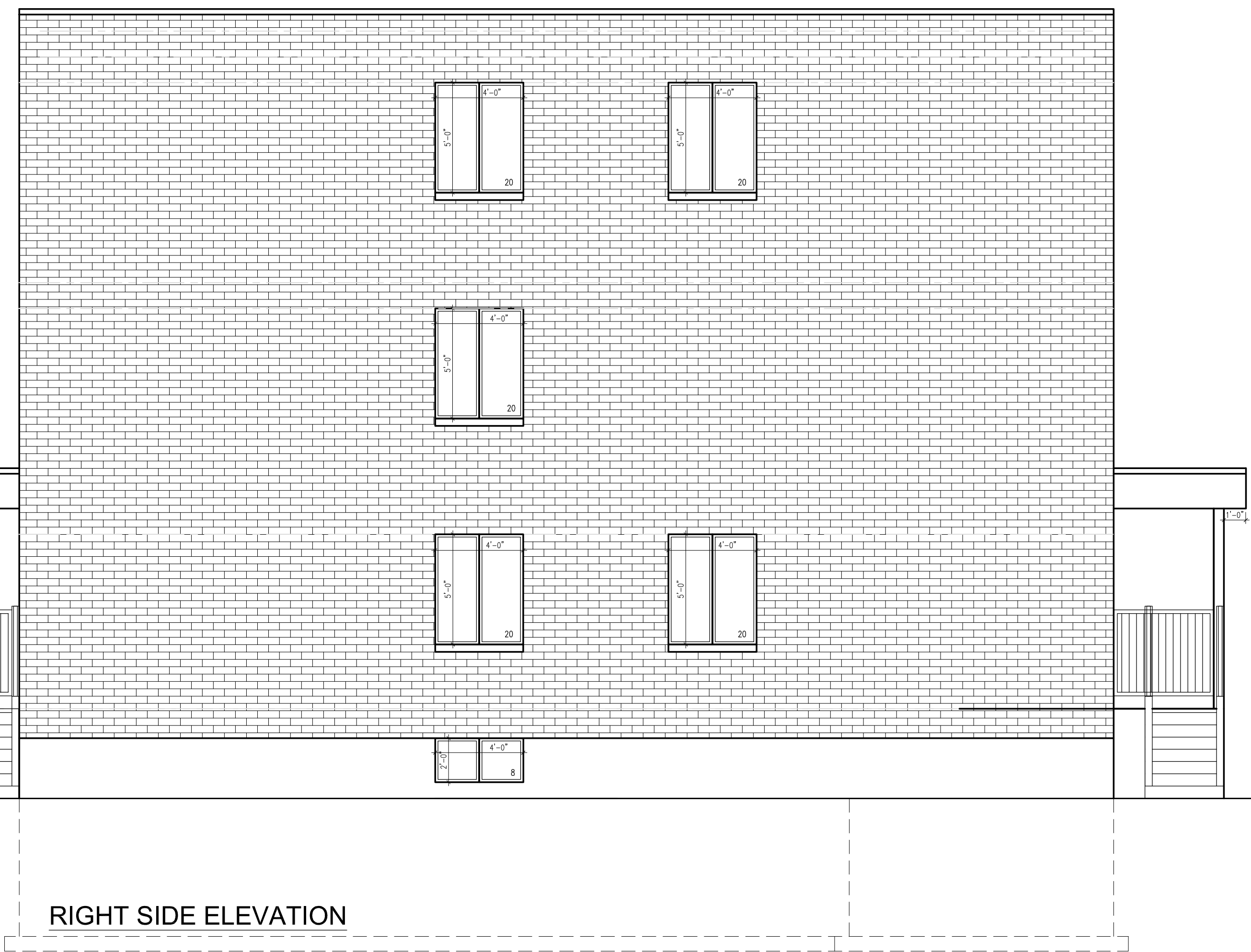
5.85'  
[1.78]



REAR ELEVATION

T.O. PARAPET  
 T.O. ROOF DECK  
 T.O. TOP PLATE  
 9'-1"  
 T.O. THIRD FLOOR  
 9'-1"  
 T.O. SECOND FLOOR  
 9'-1"  
 T.O. GROUND FLOOR  
 T.O. FOUNDATION  
 8'-10"  
 T.O. FOOTING  
 U/S FOOTING

PARAPET  
TOP OF DECK  
TOP OF PLATE  
9'-1"  
T.O. THIRD FLOOR  
9'-1"  
T.O. SECOND FLOOR  
9'-1"  
T.O. GROUND FLOOR  
1'-4"  
T.O. FOUNDATION  
8'-10"  
T.O. FOOTING  
10"  
U/S FOOTING



**RIGHT SIDE ELEVATION**

T.O. PARAPET  
T.O. ROOF DECK  
T.O. TOP PLATE

9'-1"

T.O. THIRD FLOOR

9'-1"

T.O. SECOND FLOOR

9'-1"

T.O. GROUND FLOOR

T.O. FOUNDATION

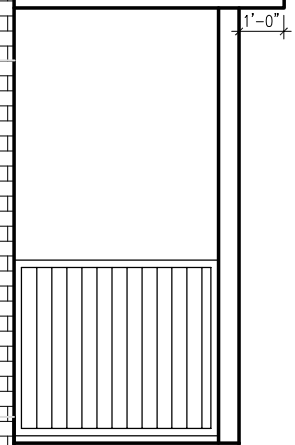
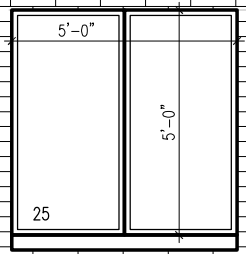
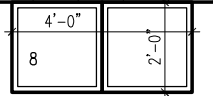
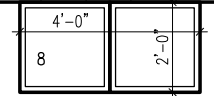
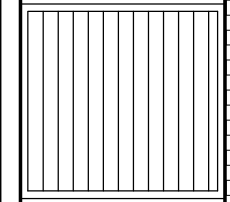
8'-10"

T.O. FOOTING

U/S FOOTING

35'-11"  
[10.94]

1'-0"



1'-0"

**LEFT SIDE ELEVATION**

5.85'  
[1.78]