

Committee of Adjustment
 Received | Reçu le
 2025-03-12
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

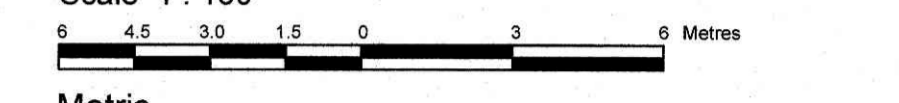
Notes & Legend

- Denotes
- Survey Monument Planted
 - Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - (WIT) Witness
 - Meas. Measured
 - (AOG) Annis, O'Sullivan, Vollebek Ltd.
 - Prop. Proportioned
 - Acc. Accepted
 - N/S North-South
 - (P1) Registered Plan 43586
 - (P2) Plan 4R-31826
 - (P3) Plan 4R-19675
 - (P4) Plan 5R-14111
 - (P5) Plan 5R-14860
 - (P6) Plan 5R-7224
 - (P7) (857) Plan Dated May 10, 1990
 - (PB) (647) Plan Dated October 10, 1979
 - (DI) Instrument No. CR413616
 - M+H Maintenance Hole (Sanitary)
 - M+H Maintenance Hole (Hydro)
 - M+H Maintenance Hole (Unidentified)
 - LS Light Standard
 - CB Catch Basin
 - FH Fire Hydrant
 - WV Water Valve
 - SP Water Stand Post
 - T/G Top of Grate
 - GM Gas Meter
 - △ S Unidentified Terminal Box
 - BF Board Fence
 - CPB Concrete Planter Border
 - WPB Wooden Planter Border
 - EF East Face
 - RWS Stone Retaining Wall
 - RWC Concrete Retaining Wall
 - EOC Edge of Concrete
 - PO-M Metal Pole
 - Diameter
 - + 65.00 Location of Elevations
 - + 66.00 Top of Concrete Curb Elevation and Retaining Wall Elevation
 - Deciduous Tree
 - Coniferous Tree
 - Fdn. Foundation
 - Bdg. Building
 - R/W Right-Of-Way

SURVEYOR'S REAL PROPERTY REPORT
PART 1 Plan of

PART OF LOT 9
SOUTH CLARENCE STREET
REGISTERED PLAN 43586
CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebek Ltd.
 Scale 1 : 150



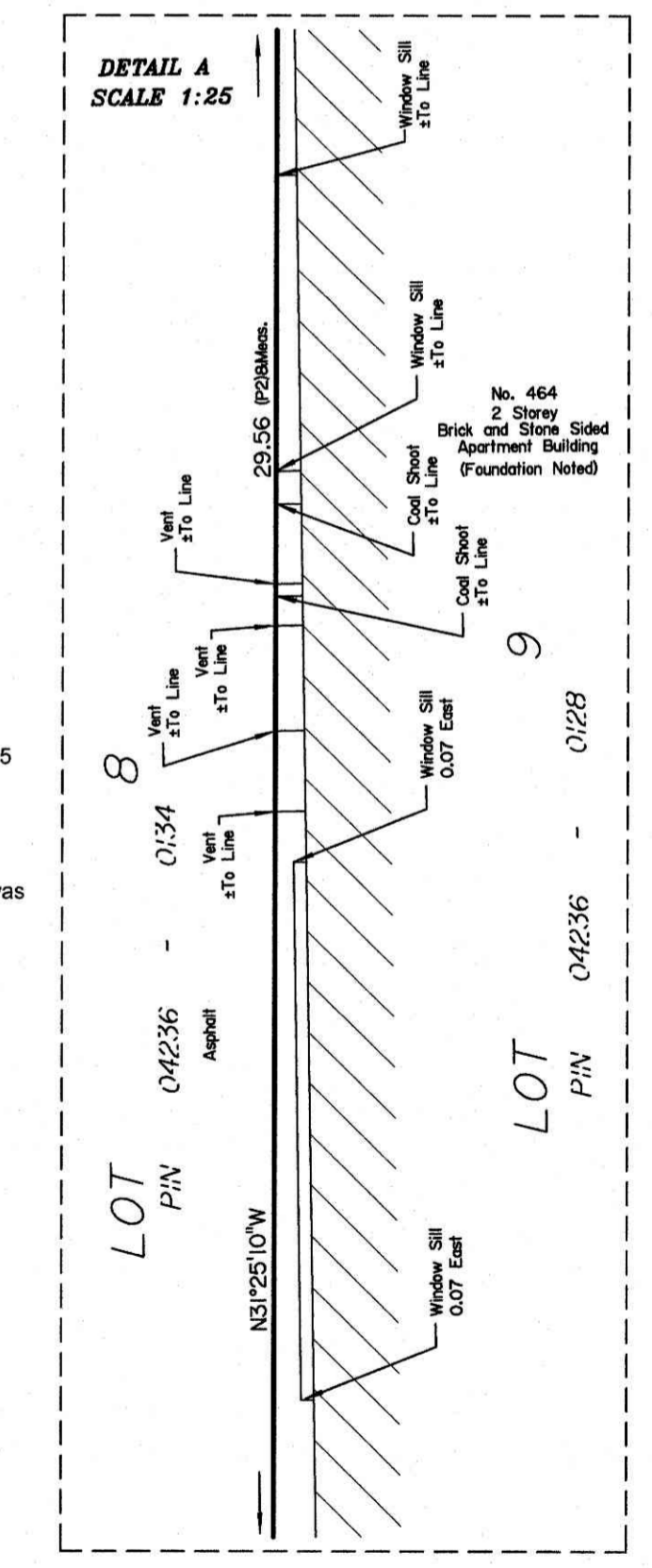
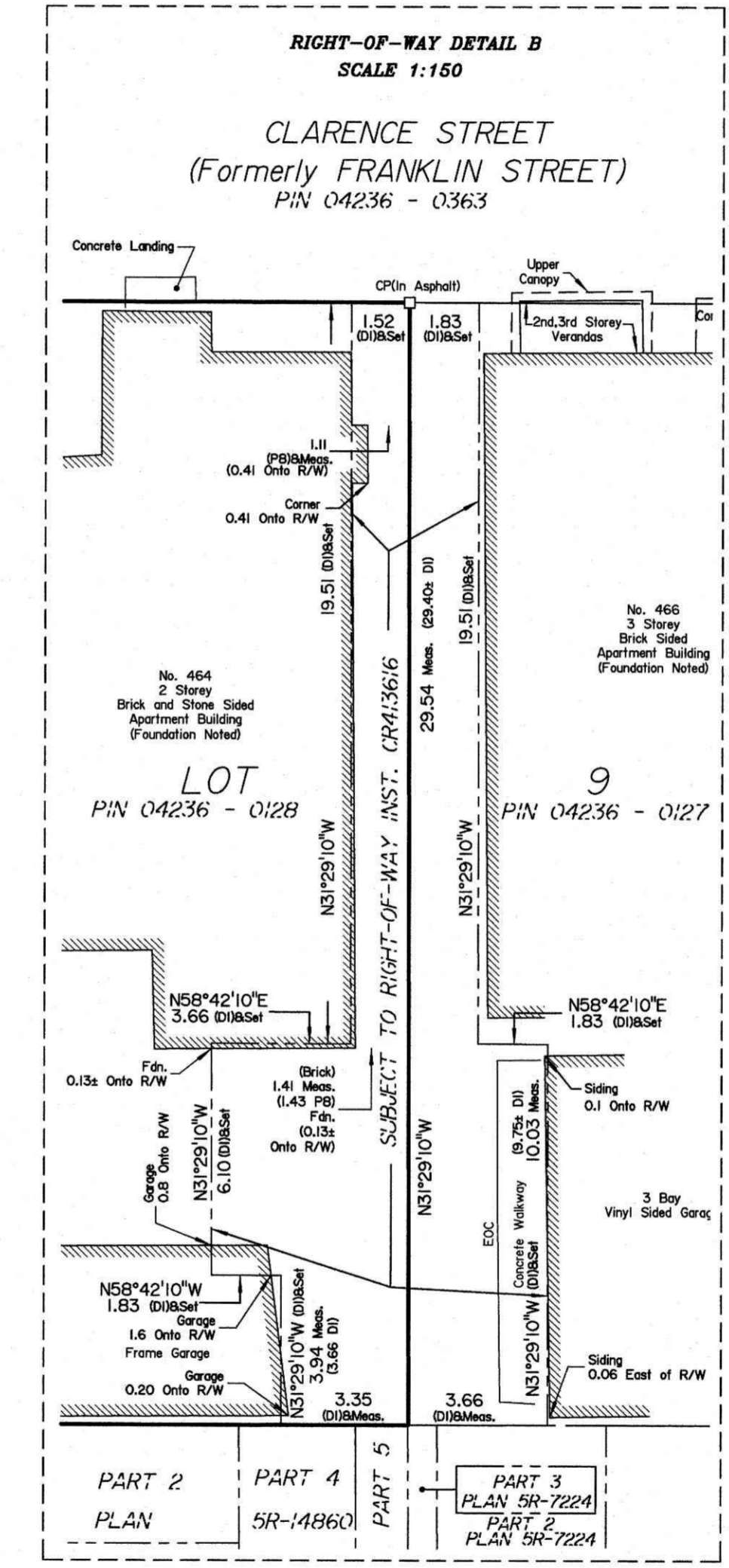
Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Surveyor's Certificate

- I CERTIFY THAT:
- This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the regulations made under them.
 - The survey was completed on the 22nd day of October, 2024.

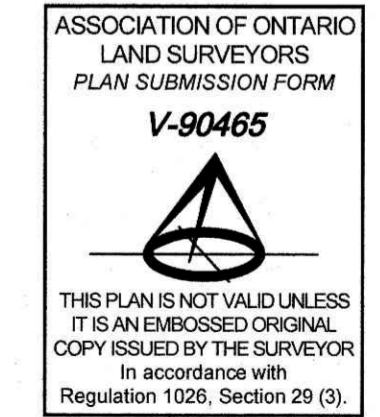
Oct 31 2024
 Date
 T. Hartwick
 Ontario Land Surveyor

PART 2
 THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED: October 31, 2024.



- ELEVATION NOTES**
- Elevations shown are grid, derived from LRT Control Monument 2011-0154, having an elevation of 78.92m.
 - It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

- UTILITY NOTES**
- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
 - Only visible surface utilities were located.
 - A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

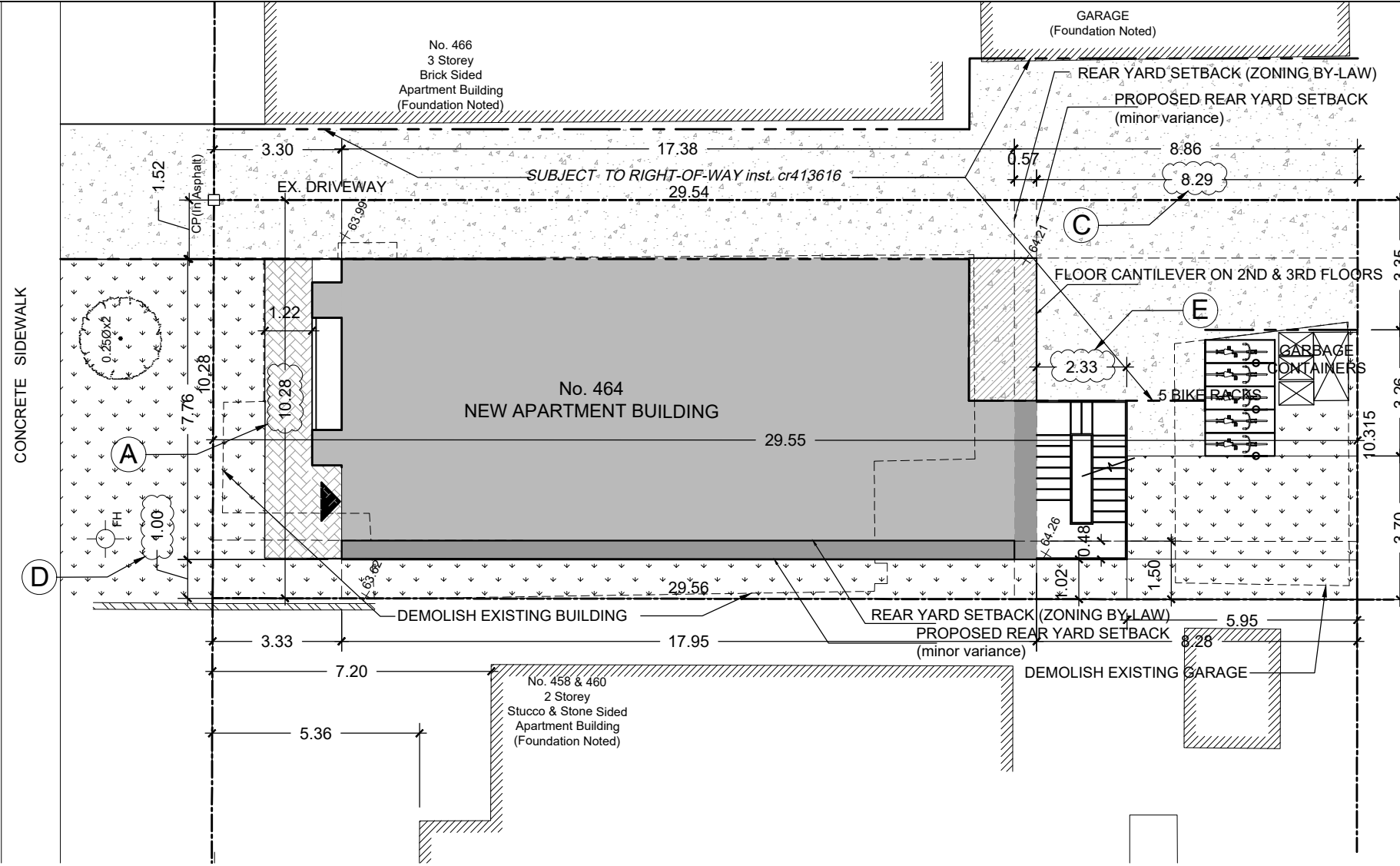


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ANNIS, O'SULLIVAN, VOLLEBEK LTD.
 14 Concourse Gate, Suite 500
 Nepean, Ont. K2E 7S6
 Phone: (613) 727-0850 / Fax: (613) 727-1079
 Email: Nepean@asvld.com

CLARENCE STREET

DEP. CURB

CONCRETE SIDEWALK

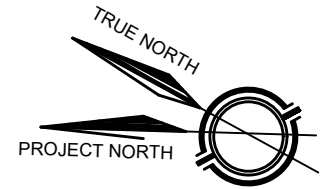


PROPERTY DESCRIPTION:
 Legal Description: PART 1 - Plan of PART OF LOT 9 SOUTH CLARENCE STREET REGISTERED PLAN 43586 CITY OF OTTAWA
 Base on survey prepared by Annis, O'Sullivan, Vollebakk Ltd.

DEVELOPMENT DATA:
 Site Zoning Designation: R4 UD
 Site area: 304.30m²
 Frontage as per survey: 10.28 m.
 Depth as per survey: 29.54 m.
 Proposed building: 10 unit apartment
 Building Area (Footprint): 139.2 m² (46% lot coverage)
 Gross Floor Area : 368 m²

NEW APARTMENT BUILDING
 464 CLARENCE ST.
 OTTAWA, ON

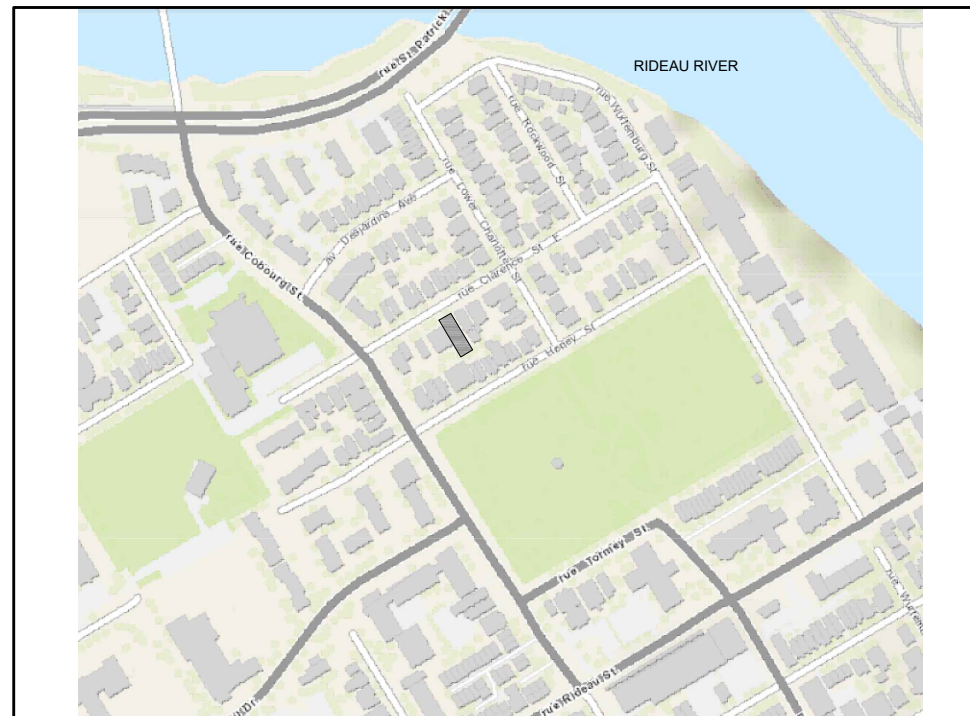
CLIENT:



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 Received | Reçu le
Revised | Modifié le : 2025-03-14
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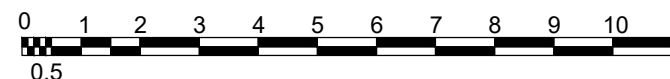
City of Ottawa Zoning By-law No. 2008-250 and Revised By-law No. 2015-228

R4-UD		
LOW RISE APARTMENT 4 STOREY, 10 UNIT	REQUIRED	PROPOSED
MINIMUM LOT WIDTH	15.00m	10.28m (MINOR VARIANCE) (A)
MINIMUM LOT AREA	450m ²	304.30m ² (MINOR VARIANCE) (B)
MAXIMUM BUILDING HEIGHT	11m	11m
MAXIMUM PARAPET PROJECTION	0.3m	0.3m
MINIMUM FRONT YARD SETBACK	AVE. OF NEIGH. BUILDINGS	3.30m
MINIMUM CORNER SIDE YARD SETBACK	3m	N/A
MINIMUM REAR YARD SETBACK	(30% of lot depth) 8.86m	28% (8.29m) (MINOR VARIANCE) (C)
MINIMUM REAR YARD AREA	(25% of lot area)	28% of lot area
MINIMUM INTERIOR SIDE YARD SETBACK	1.5m	1.52m & 1m (MINOR VARIANCE) (D)
MAXIMUM EXTERIOR STAIR SETBACK AT REAR YARD	2.2m	2.33m (MINOR VARIANCE) (E)
MINIMUM SOFT LANDSCAPE AREA: FRONT YARD	35%	51% (F)
REAR YARD	35m ²	27.7m ²
AGGREGATED RECTANGULAR AREA	25m ²	22m ² (G)
Parking Rate		
Motor Vehicle (0.5/unit)	No require	0
Bicycle Parking (0.5/unit)	5 spaces	5 spaces



LEGEND:

- ENTRANCE
- PROPERTY LINE
- SETBACK LINE
- REMOVE EXISTING WALL
- NEW BUILDING
- LANDSCAPE AREA
- INTERLOCKING WALKWAY
- RIVER ROCK



SUSAN D. SMITH ARCHITECT
 941 MERIVALE RD
 Ottawa, Ontario
 613-722-5327
 S.SMITH@SDSARCH.CA

3		
2		
1		
0	ISSUED FOR C.O.A	MAR. 04/25
No.	REVISION	DATE

NOTES:
 1. All dimensions are to be checked on site. Discrepancies or ambiguities should be reported prior to work on site or ordering of materials.
 2. All work to be in accordance with the Ontario Building Code, latest edition.

SITE PLAN

Scale	1:150
Drawn	TD
Checked	SDS
Date	JUL/2024
Job #	2435

SP

NEW APARTMENT BUILDING
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OTTAWA, ON
K1N 5R3

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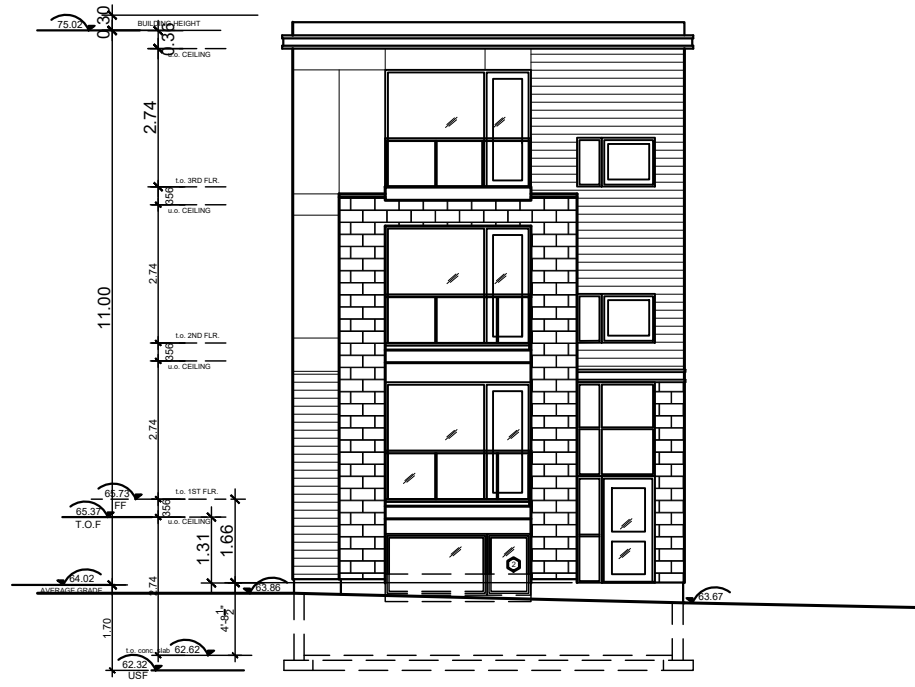
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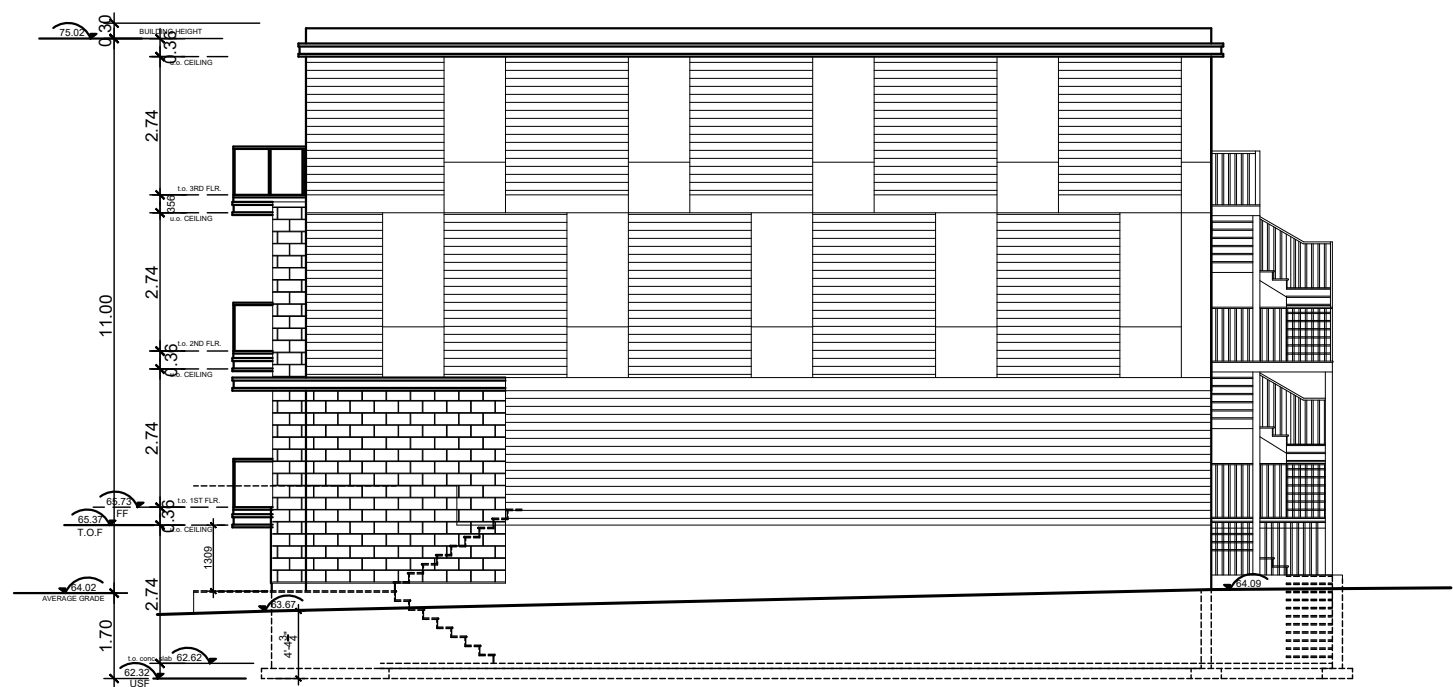
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ELEVATIONS

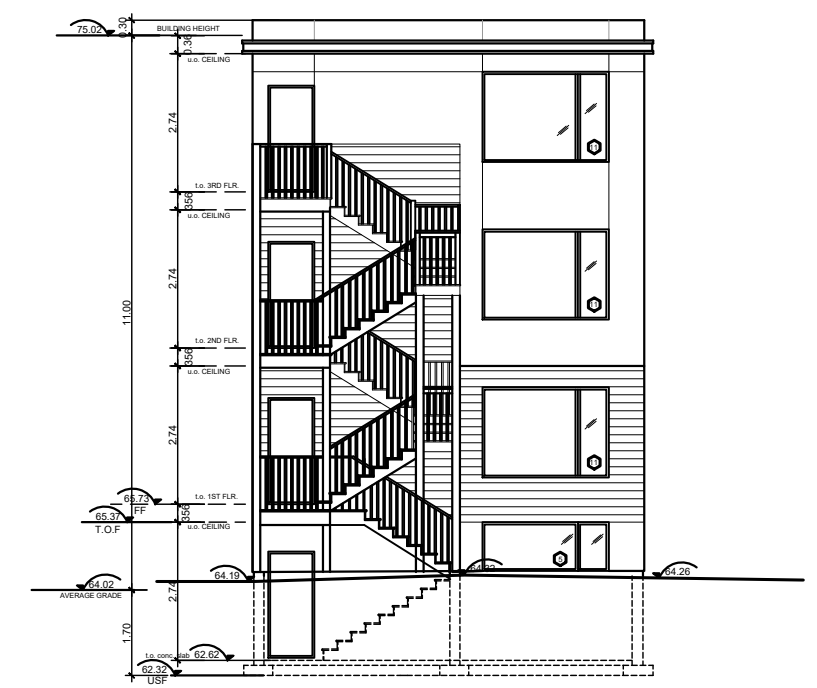
Scale	1:150	SP
Drawn	TD	
Checked	SDS	
Date	MAR/2020	
Job #	2017	



1
EL NORTH ELEVATION
SCALE: 1/150



3
EL EAST ELEVATION
SCALE: 1/150



2
EL SOUTH ELEVATION
SCALE: 1/150



4
EL WEST ELEVATION
SCALE: 1/150