



1 LOCATION MAP
SCALE: N.T.S.

PERFORMANCE STANDARD - R1GG	BY-LAW REQUIREMENT	PROVIDED
MINIMUM LOT DEPTH (LD)	NA	33.00 sq.m
MINIMUM LOT WIDTH	18.0 m	21.44 m
MINIMUM LOT AREA (LA)	665.0 sq.m	707.70 sq.m
MINIMUM LOT FRONTAGE	3.0 m	21.44 m
MAXIMUM BUILDING HEIGHT (i)	8.0 m	EXISTING
MINIMUM FRONT YARD SETBACK (ii)	6.0 m	11.0 m
MINIMUM FRONT YARD AREA (FYA)	NA	235.81 sq.m
MINIMUM FRONT YARD SOFT LANDSCAPE AREA	94.32 sq.m (40% OF FYA)	188.65 sq.m (80.0% FYA)
MINIMUM INTERIOR SIDE YARD SETBACK	1.20 m	5.09 m / 8.80 m
MINIMUM INTERIOR SIDE YARD SETBACK TOTAL	3.60 m	13.89 m
MINIMUM REAR YARD SETBACK	10.0 m (LD - 23.0 m)	14.48 m
MINIMUM REAR YARD AREA	176.93 sq.m (25% OF LA)	310.52 sq.m (43.87% LA)
MINIMUM REAR YARD SOFT LANDSCAPE AREA	46.58 sq.m (15% OF FYA)	263.19 sq.m (84.76% FYA)
MAXIMUM DRIVEWAY WIDTH	6.0 m	5.17 m
MINIMUM GARAGE SETBACK FROM PRINCIPAL ENTRANCE	0.60 m	NA

NOTES:
 i = MINOR VARIANCE REQUIRED
 ii BUILDING HEIGHT CALCULATED FROM THE EXISTING AVERAGE GRADE PRIOR TO ANY SITE ALTERATIONS.
 iii FRONT YARD SETBACK IS THE AVERAGE OF THE ADJACENT LOTS EXISTING SETBACK, BUT NEED NOT EXCEED THE MINIMUM REQUIRED FOR SUBZONE.

EXISTING AVERAGE GRADE CALCULATION - TO BE CONFIRMED BY SURVEYOR OR CIVIL

	LEFT	RIGHT	
FRONT EXISTING GRADE	X m	X m	X m
REAR EXISTING GRADE	X m	X m	X m

PERFORMANCE STANDARD - R1GG	BY-LAW REQUIREMENT	PROVIDED
MINIMUM LOT DEPTH (LD)	NA	72.79 m
MINIMUM LOT WIDTH	18.0 m	6.06 m
MINIMUM LOT AREA (LA)	665.0 sq.m	1267.24 sq.m
MINIMUM LOT FRONTAGE	3.0 m	6.0 m
MAXIMUM BUILDING HEIGHT (i)	8.0 m	5.34 m
MINIMUM FRONT YARD SETBACK (ii)	6.0 m	42.14 m
MINIMUM FRONT YARD AREA (FYA)	NA	252.36 sq.m
MINIMUM FRONT YARD SOFT LANDSCAPE AREA	75.71 sq.m (30% OF FYA)	136.25 sq.m (53.99% FYA)
MINIMUM INTERIOR SIDE YARD SETBACK	1.20 m	9.14 m / 2.76 m / 3.33 m
MINIMUM INTERIOR SIDE YARD SETBACK TOTAL	3.60 m	6.09 m
MINIMUM REAR YARD SETBACK	21.84 m (30% OF LD)	11.81 m (16.22% LD)
MINIMUM REAR YARD AREA	316.81 sq.m (25% OF LA)	323.98 sq.m (25.56% LA)
MINIMUM REAR YARD SOFT LANDSCAPE AREA	49.12 sq.m (15% OF FYA)	321.93 sq.m (99.37% FYA)
MAXIMUM DRIVEWAY WIDTH	2.60 m	7.32 m
MINIMUM GARAGE SETBACK FROM FRONT PORCH	0.60 m	1.07 m
MAXIMUM PRINCIPAL ENTRANCE SETBACK FROM GARAGE	0.60 m	0.46 m

NOTES:
 i = MINOR VARIANCE REQUIRED
 ii BUILDING HEIGHT CALCULATED FROM THE EXISTING AVERAGE GRADE PRIOR TO ANY SITE ALTERATIONS.
 iii FRONT YARD SETBACK IS THE AVERAGE OF THE ADJACENT LOTS EXISTING SETBACK, BUT NEED NOT EXCEED THE MINIMUM REQUIRED FOR SUBZONE.

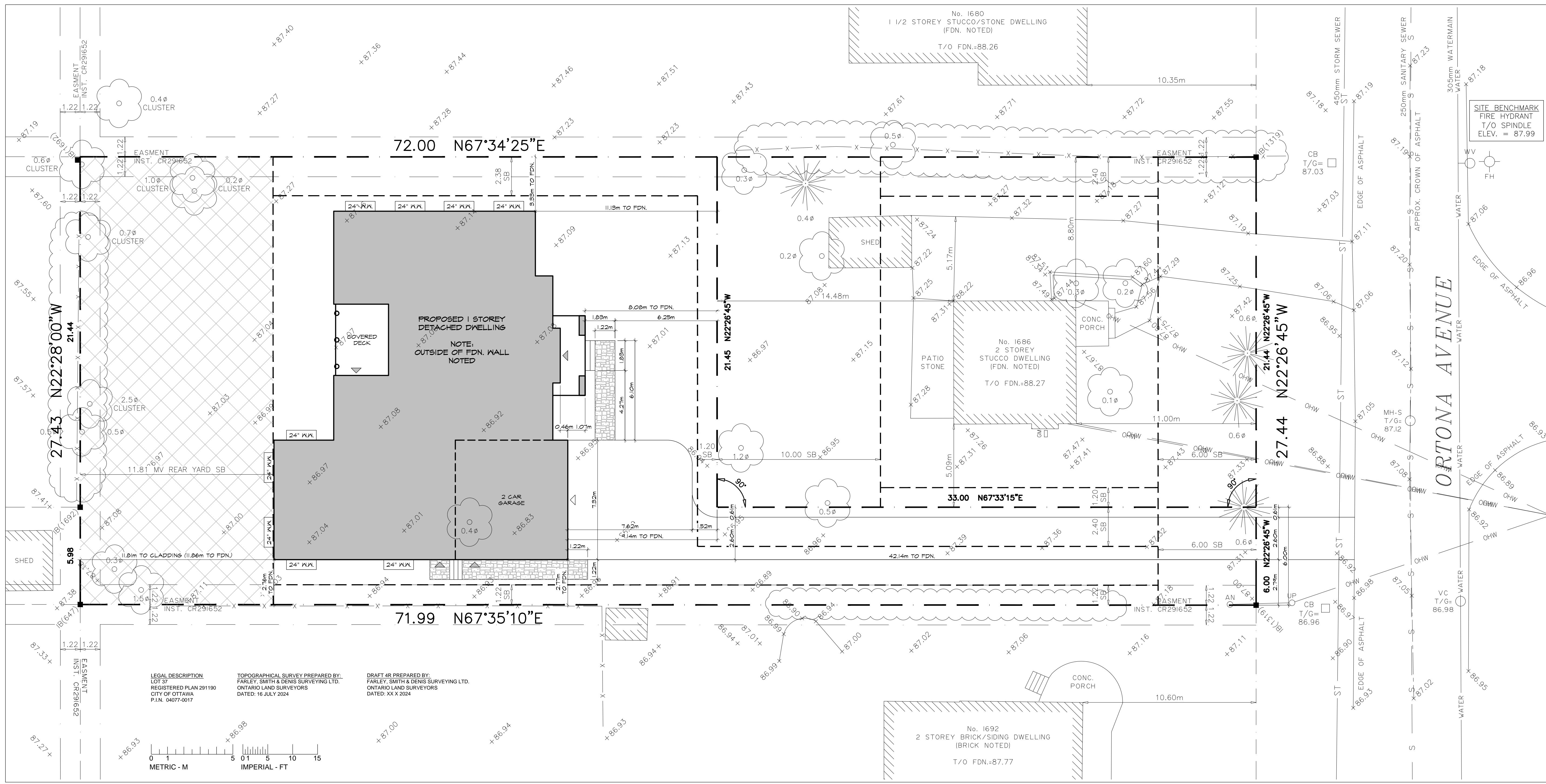
EXISTING AVERAGE GRADE CALCULATION - TO BE CONFIRMED BY SURVEYOR OR CIVIL

	LEFT	RIGHT	
FRONT EXISTING GRADE	X m	X m	X m
REAR EXISTING GRADE	X m	X m	X m

BUILDING AREA	O/S FOUNDATION	O/S FOUNDATION	O/S FOUNDATION
FOOTPRINT	312.76 sq.m	(3366.55 sq.ft)	
FOUNDATION	310.37 sq.m	(3340.83 sq.ft)	
BASEMENT AREA	252.87 sq.m	(2721.86 sq.ft)	
BASEMENT AREA	232.34 sq.m	(2500.94 sq.ft)	
BASEMENT AREA	220.91 sq.m	(2377.88 sq.ft)	
GROUND FLOOR AREA	O/S CLADDING	304.44 sq.m	(3276.94 sq.ft)
GROUND FLOOR AREA	O/S FRAMING	292.44 sq.m	(3147.77 sq.ft)
GROUND FLOOR AREA	O/S FRAMING	280.59 sq.m	(3020.28 sq.ft)
GROUND FLOOR AREA - NO GARAGE	O/S CLADDING	254.68 sq.m	(2741.38 sq.ft)
GROUND FLOOR AREA - NO GARAGE	O/S FRAMING	244.75 sq.m	(2634.53 sq.ft)
GROUND FLOOR AREA - NO GARAGE	O/S FRAMING	233.17 sq.m	(2509.79 sq.ft)
REAR COVERED DECK		13.87 sq.m	(149.34 sq.ft)

ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.
 ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 DO NOT SCALE DRAWINGS.

Committee of Adjustment
 Received | Reçu le
 2025-03-11
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



2 SITE PLAN
SCALE: 1:25

1	ISSUED FOR COORDINATION	2024.12.05
NO.	REVISION	DATE

SEAL: _____ NORTH:

ORTONA CUSTOM
 1686 - 1688 ORTONA AVENUE
 OTTAWA, ONTARIO, K2C 1W7

DRAWING: LOCATION MAP SITE & BUILDING INFORMATION SITE PLANS	
DATE: AUGUST 2024	SHEET NO.:
SCALE: AS NOTED	SP1
DRAWN: PK	
CHECKED: PR	
JOB NO. 0594	

LOT 37
REGISTERED PLAN 291190
CITY OF OTTAWA
FARLEY, SMITH & DENIS SURVEYING LTD. 2024

Scale 1: 200
0 2.5 5 10 15 20 metres

Metric Note
Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note
Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°34'45" counter-clockwise was applied to bearings on P1, P2, P3 & P4.

Elevation Notes
1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928-1978. (Monument No. 19680092)
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

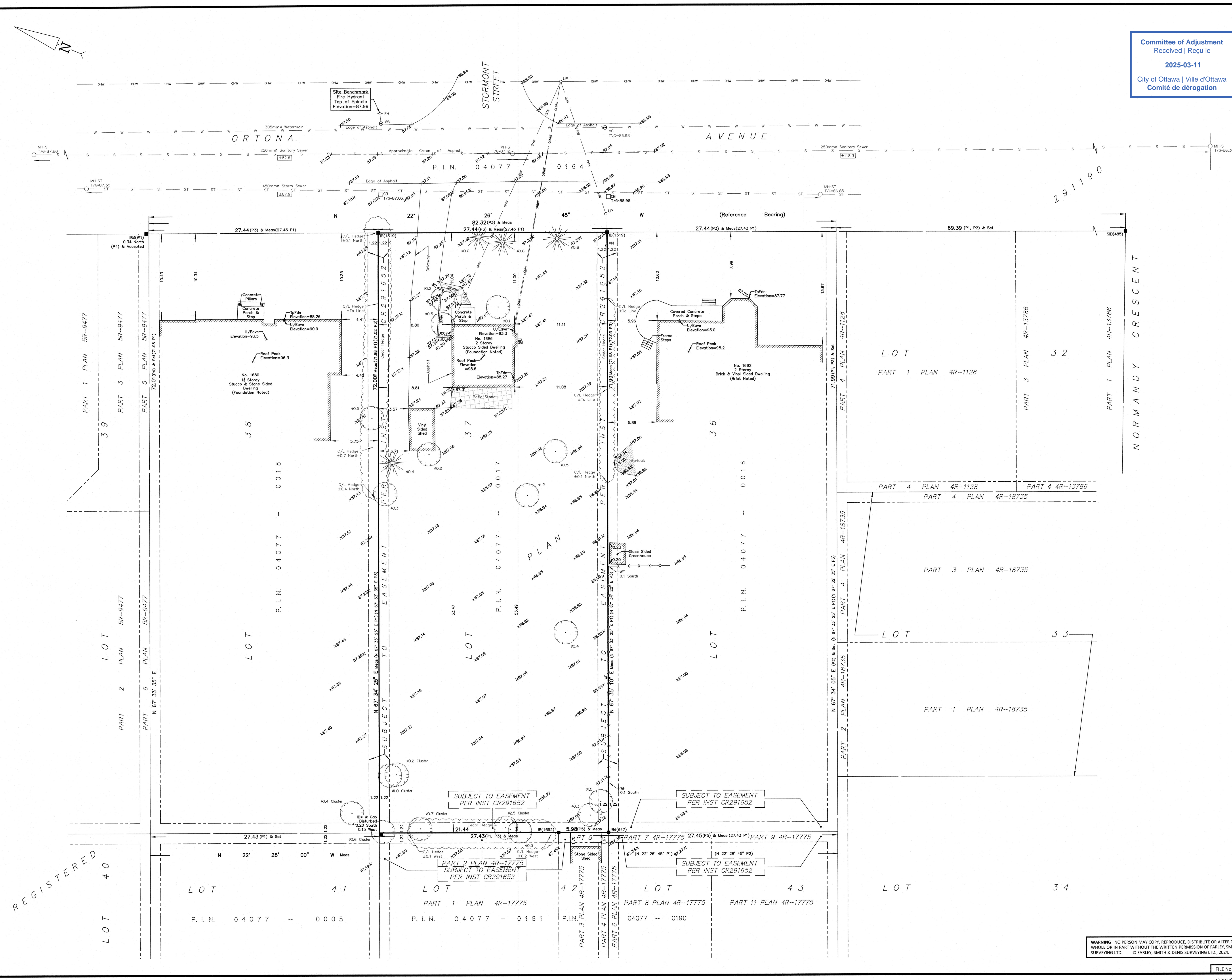
Utility Notes
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating, etc.
4. Not all overhead wires/transformers adjacent to the property have been located, the nearest overhead wire locations are shown on the plan.

Notes & Legend

- Denotes Survey Monument Planted
- Denotes Survey Monument Found
- SIB Standard Iron Bar
- SSIB Short Standard Iron Bar
- IB Iron Bar
- IBØ Round Iron Bar
- (OU) Origin Unknown
- (W) Witness
- Meas Measured
- (P1) Registered Plan 291190
- (P2) Plan 4R-1128
- (P3) Plan by (1319) dated July 28, 1993 (Ref. No. 9-291190)
- (P4) Plan by (857) dated June 7, 1996 (Ref. No. 17-291190)
- (P5) Plan 4R-1775
- M+S Maintenance Hole (Storm)
- M+S Maintenance Hole (Sanitary)
- VC Valve Chamber (Watermain)
- ST Undergound Storm Sewer
- S Undergound Sanitary Sewer
- W Undergound Water
- OW Overhead Wires
- UP Utility Pole
- AN Anchor
- CB Catch Basin
- FB Fire Hydrant
- WF Water Valve
- GM Gas Meter
- Ø Diameter
- WF Wire Fence
- SRW Stone Retaining Wall
- T/G Top of Grate
- T/P Top of Pipe
- U/Eave Underside of Eave
- TpFdn Top of Foundation
- C/L Centreline
- +65.00 Location of Elevations
- +65.00 Top of Retaining Wall Elevation
- Property Line
- Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.
- Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Site Area=1975.0 sq.m.

Committee of Adjustment
Received | Reçu le
2025-03-11
City of Ottawa | Ville d'Ottawa
Comité de dérogation



Surveyor's Certificate
I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
2. The survey was completed on the 16th day of July, 2024.
Date: Jul 31/24
Daniel Robinson
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-80493
FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: fdsurveys@bellnet.ca

WARNING: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF FARLEY, SMITH & DENIS SURVEYING LTD. © FARLEY, SMITH & DENIS SURVEYING LTD., 2024.

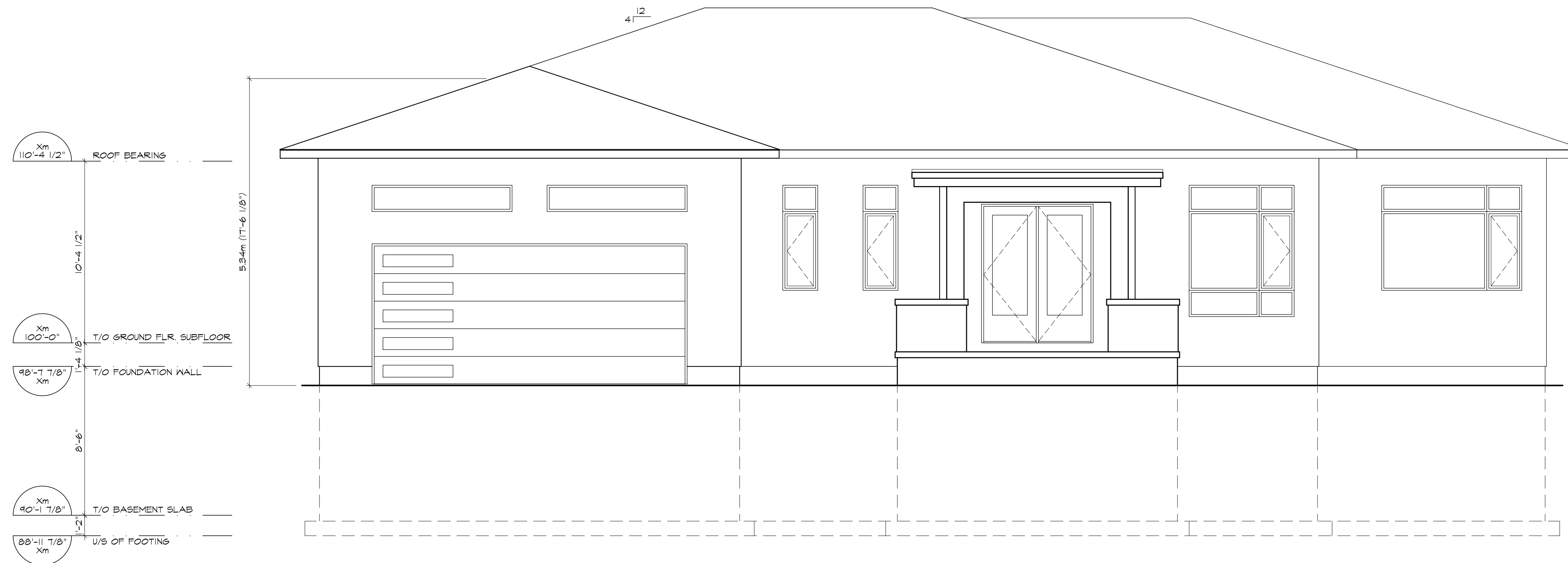
ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

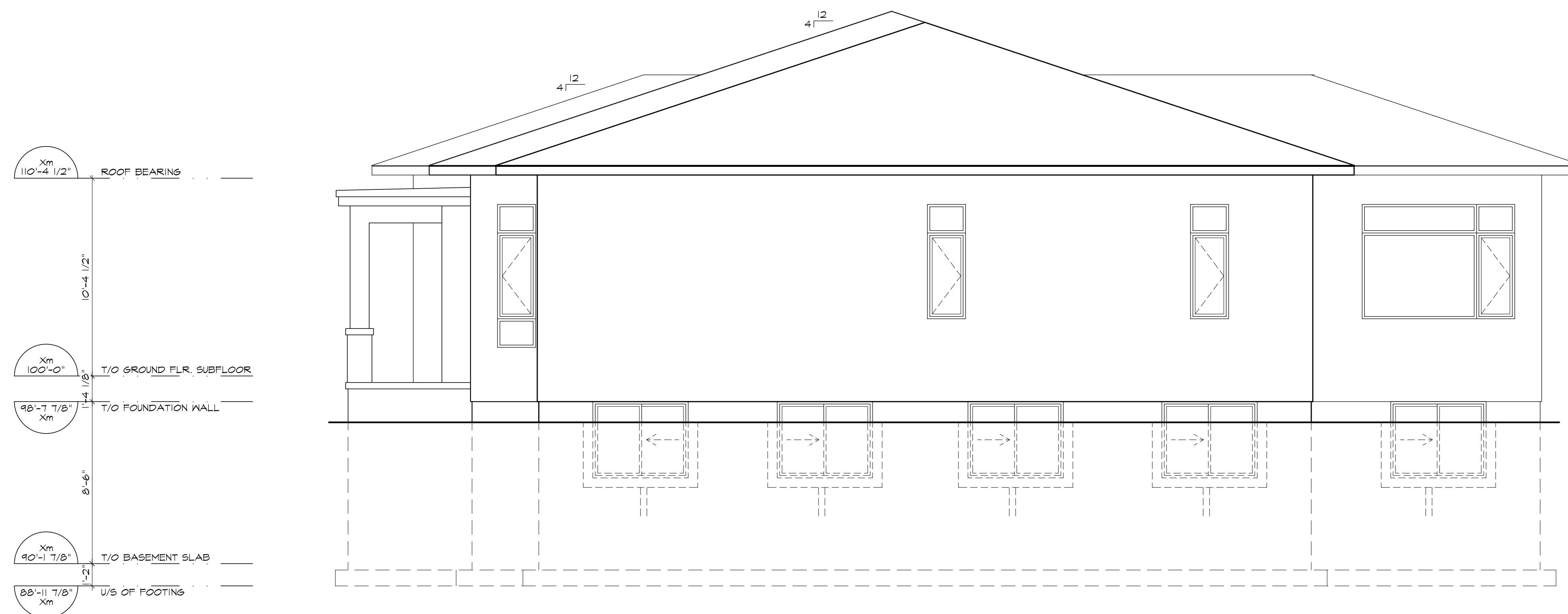
ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE.

DO NOT SCALE DRAWINGS.

Committee of Adjustment
Received | Reçu le
2025-03-11
City of Ottawa | Ville d'Ottawa
Comité de dérogation



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHTSIDE ELEVATION
SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE
2	ISSUED FOR MV APPLICATION	2025.02.19
1	ISSUED FOR COORDINATION	2024.12.05

SEAL:	NORTH:

ORTONA CUSTOM
1688 ORTONA AVENUE
OTTAWA, ONTARIO, K2C 1W7

DRAWING:
ELEVATIONS

DATE:	AUGUST 2024	SHEET NO.:
SCALE:	AS NOTED	EL 1
DRAWN:	PK	
CHECKED:	PR	
JOB NO.	0594	

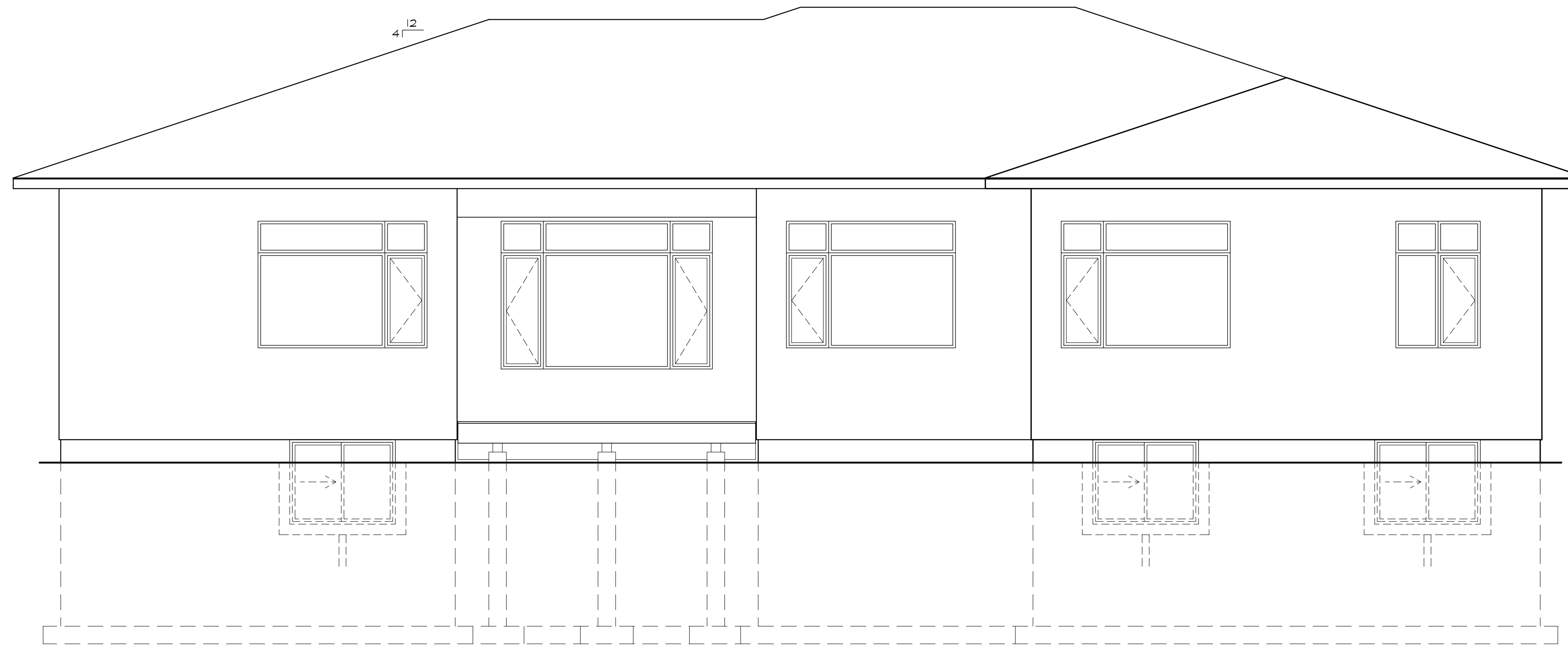
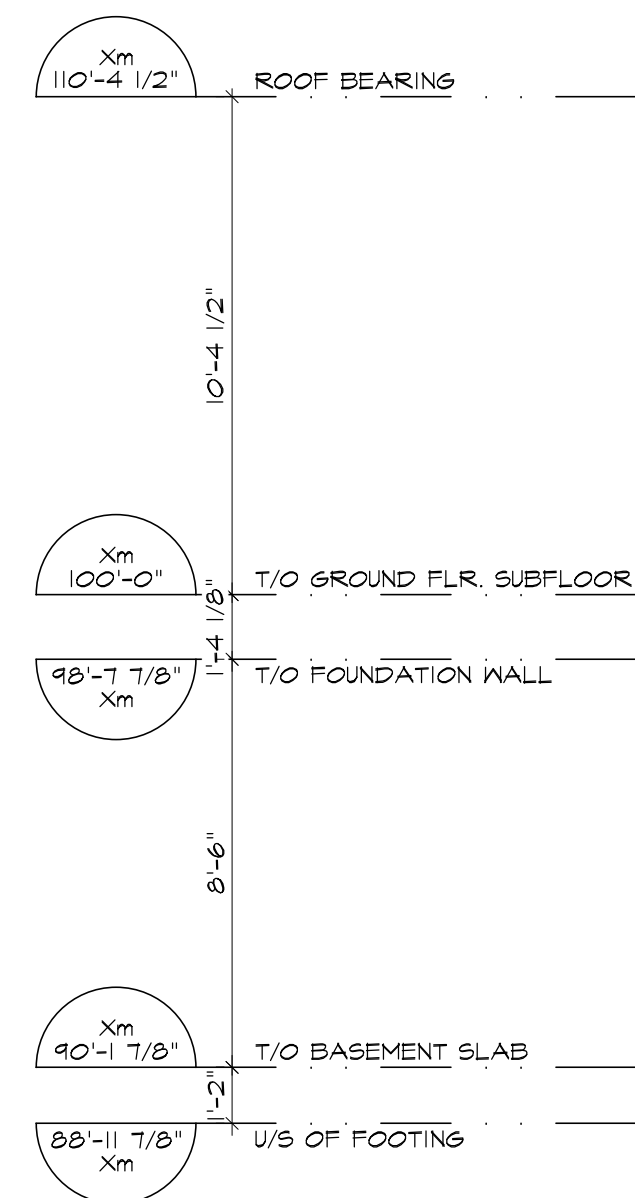
ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE & TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES, BYLAWS & OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

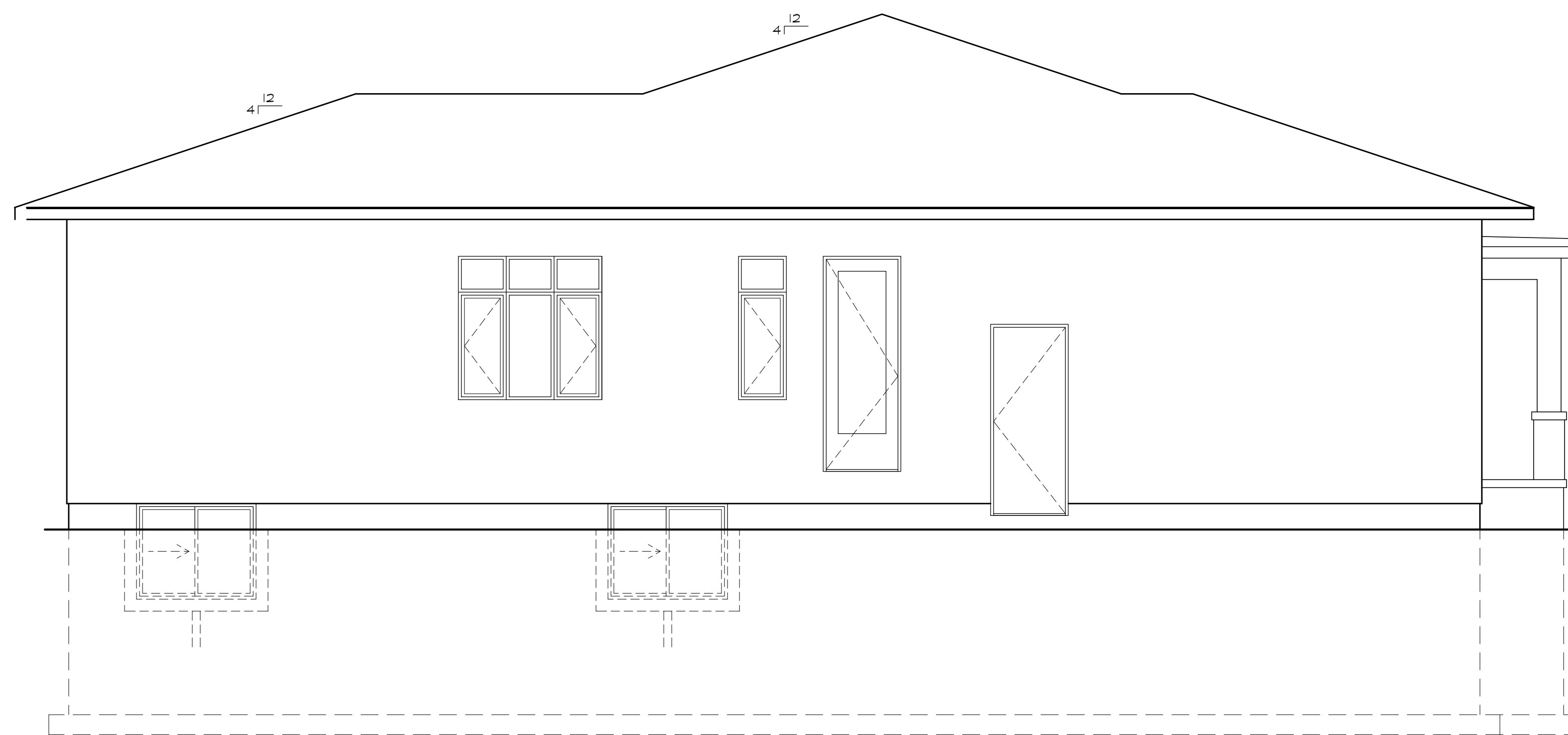
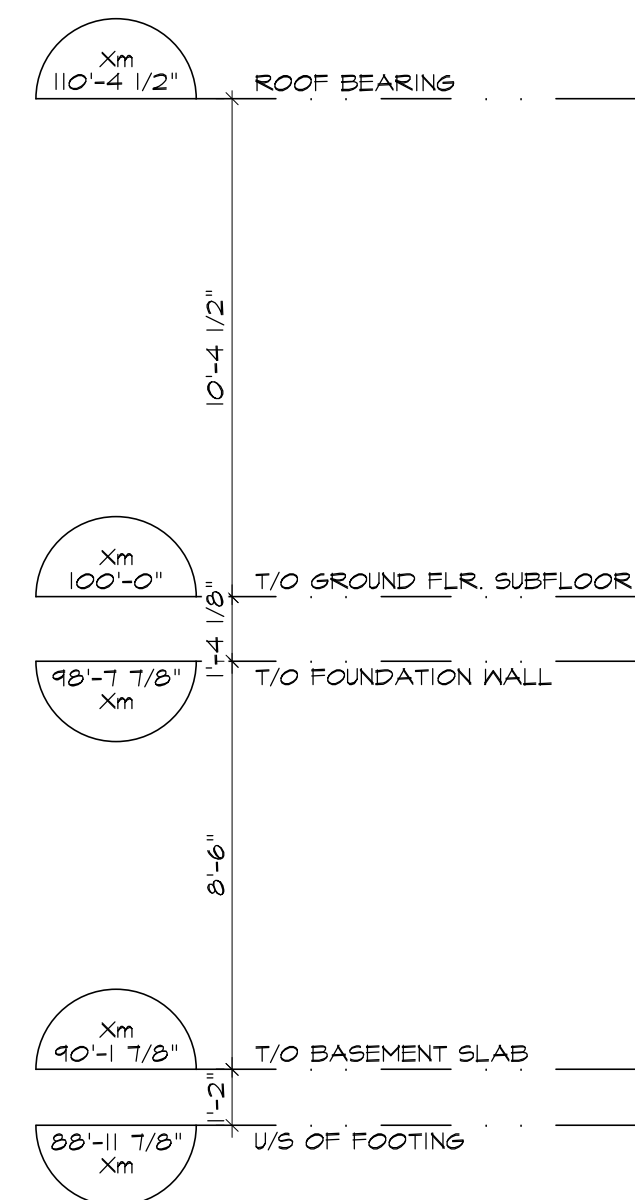
ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALE.

DO NOT SCALE DRAWINGS.

Committee of Adjustment
Received | Reçu le
2025-03-11
City of Ottawa | Ville d'Ottawa
Comité de dérogation



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

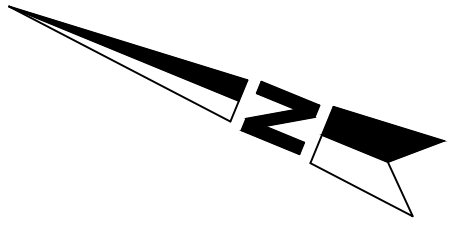
NO.	REVISION	DATE
2	ISSUED FOR MV APPLICATION	2025.02.19
1	ISSUED FOR COORDINATION	2024.12.05

SEAL: _____ NORTH: _____

ORTONA CUSTOM
1688 ORTONA AVENUE
OTTAWA, ONTARIO, K2C 1W7

DRAWING:
ELEVATIONS

DATE:	AUGUST 2024	SHEET NO.:	EL2
SCALE:	AS NOTED		
DRAWN:	PK		
CHECKED:	PR		
JOB NO.	0594		



Committee of Adjustment
Received | Reçu le
Revised | Modifié le : 2025-03-11
City of Ottawa | Ville d'Ottawa
Comité de dérogation

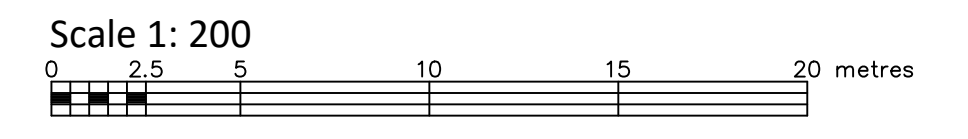
I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: _____
DANIEL ROBINSON
ONTARIO LAND SURVEYOR

PLAN 4R-
RECEIVED AND DEPOSITED
DATE: _____
REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
OTTAWA-CARLETON NO. 4.

SCHEDULE				
PART	LOT	PLAN	PIN	AREA (Sq.m.)
1				667.4
2	ALL OF 37	291190	ALL OF 04077 - 0017	40.3
3				165.9
4				1101.6

PARTS 2 & 3 ARE SUBJECT TO EASEMENT PER INST. No CR291652

PLAN OF SURVEY OF
LOT 37
REGISTERED PLAN 291190
CITY OF OTTAWA
FARLEY, SMITH & DENIS SURVEYING LTD. 2025



Metric Note
Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note
Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note
Bearings hereon are grid bearings derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°34'45" counter-clockwise was applied to bearings on P1, P2, P3 & P4.

CO-ORDINATES WERE DERIVED FROM CAN-NET REAL TIME NETWORK OBSERVATIONS, MTM ZONE 9, N.A.D. 1983 (ORIGINAL).		
POINT ID	NORTHING	EASTING
(A)	5024510.668	366971.179
(B)	5024395.80	367018.63
01919680005	5027191.26	361496.76
01919680105	5024915.16	373971.65

CO-ORDINATES ARE MTM ZONE 9, N.A.D. 1983 (ORIGINAL), TO URBAN ACCURACY PER SEC. 14 (2) OF O. REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

- Notes & Legend**
- Denotes Survey Monument Planted
 - Denotes Survey Monument Found
 - SIB Standard Iron Bar
 - SSIB Short Standard Iron Bar
 - IB Iron Bar
 - IBØ Round Iron Bar
 - (OU) Origin Unknown
 - (Wit) Witness
 - Meas Measured
 - (P1) Registered Plan 291190
 - (P2) Plan 4R-1128
 - (P3) Plan by (1319) dated July 28, 1993 (Ref. No. 9-291190)
 - (P4) Plan by (857) dated June 7, 1996 (Ref. No. 17-291190)
 - (P5) Plan 4R-17775
 - (P6) Plan by (1692) dated July 31, 2024 (Ref. No. 238-24)
 - (D1) Inst. No. CR291652
 - o SP Utility Pole
 - o AN Anchor
 - WF Wire Fence
 - Ø Diameter
 - C/L Centreline
 - Property line
 - Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.
 - Coniferous Tree - The Symbol shown denotes location and trunk diameter only. Size of its root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Surveyor's Certificate

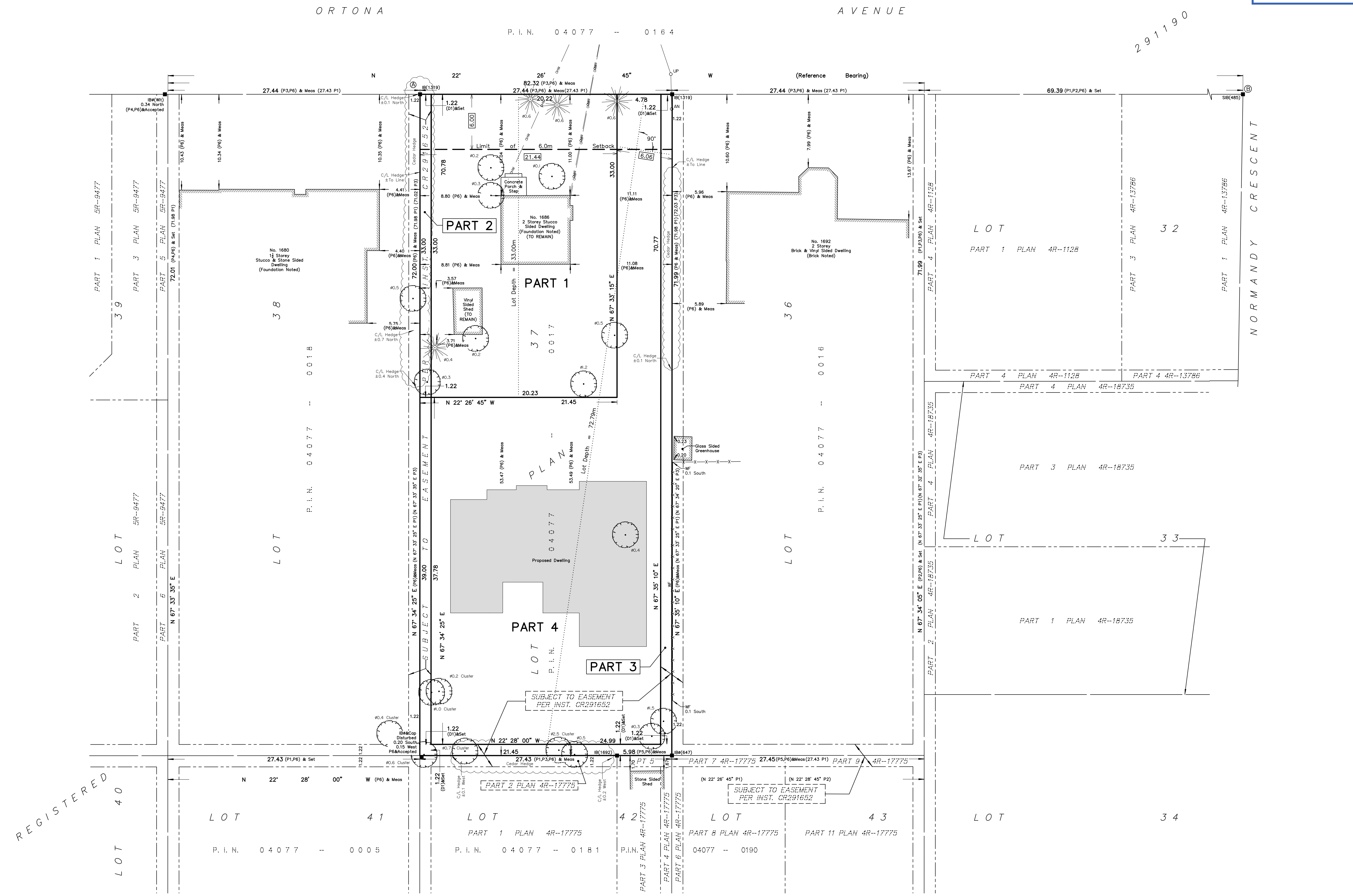
I certify that:
1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Land Titles Act and the Regulations made under them.
2. The survey was completed on the ___ day of _____, 2025.

Date: _____ Daniel Robinson
Ontario Land Surveyor

This plan of survey relates to AOLS Plan Submission Form Number V-XXXXX

FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS
CANADA LAND SURVEYORS
Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6
TEL: (613) 727-8226 E-mail: info@fidsurveys.ca





168





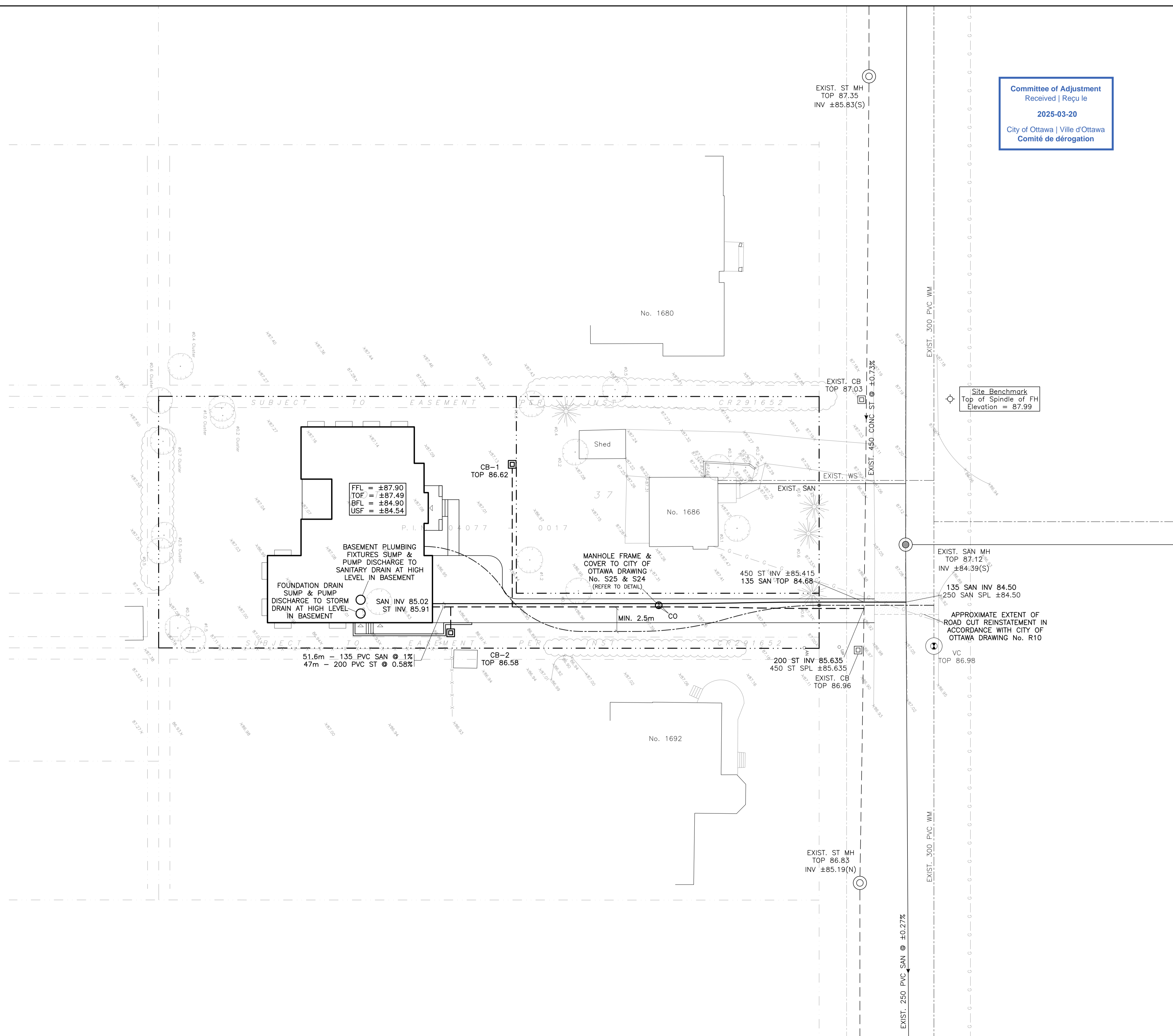












Committee of Adjustment
 Received | Reçu le
2025-03-20
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

LEGEND	
FFL	FINISHED FLOOR ELEVATION
TOF	TOP OF FOUNDATION
BFL	BASEMENT FLOOR ELEVATION
USF	UNDERSIDE OF FOOTING
---	PROPERTY LINE
CB	CATCH-BASIN
MH	STORM MANHOLE
MH	SANITARY MANHOLE
VC	VALVE CHAMBER
FH	FIRE HYDRANT
CO	CLEANOUT
CS&SP	CURB STOP & SERVICE POST
SAN	SANITARY SEWER
ST	STORM SEWER
WS/WM	WATER SERVICE/WATERMAIN
SPL	SPRINGLINE
INV	INVERT
x99.99	EXISTING ELEVATION

KEY PLAN



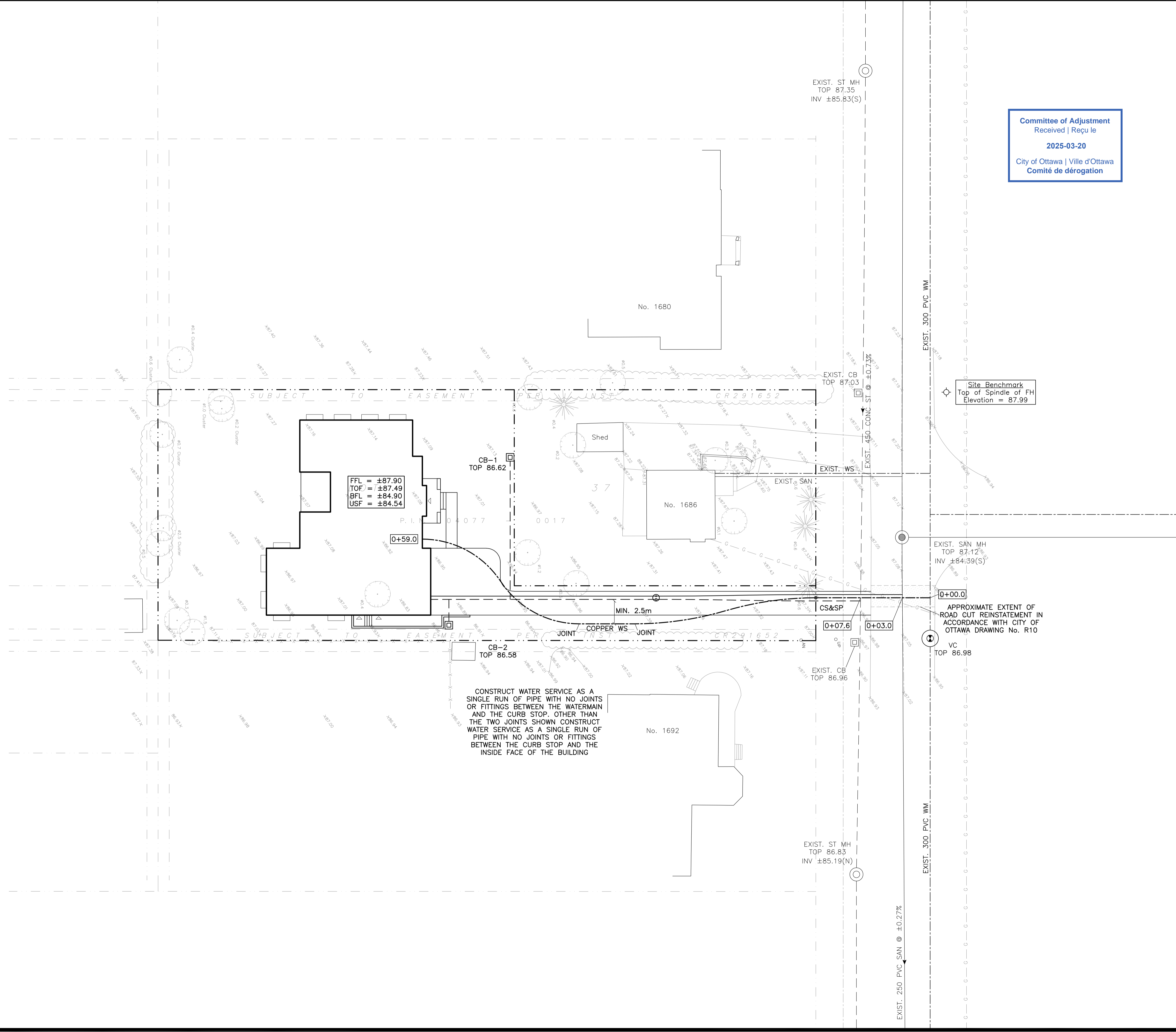
No.	DATE	REVISION
1	MAR 20-25	CONCEPTUAL

D. B. GRAY ENGINEERING INC.
Stormwater Management - Grading & Drainage - Storm & Sanitary Sewers - Watermain
 700 Long Point Circle 613-425-8044
 Ottawa, Ontario d.gray@dbgrayengineering.com

Project
**PROPOSED 1-STORY
 SINGLE FAMILY DWELLING
 1686-1688 ORTONA AVENUE
 OTTAWA, ONTARIO**

Drawing Title
**SITE SERVICING PLAN
 (SANITARY & STORM)**

Engineer's Seal	Drawn	D.B.G.
	H. Scale	1:200
	V. Scale	
	Date	MAR 20-25
	Job No.	24111
	Drawing No.	C-1 of 3

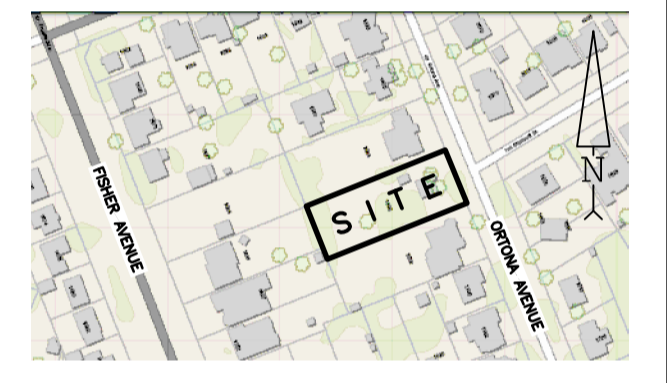


Committee of Adjustment
Received | Reçu le
2025-03-20
City of Ottawa | Ville d'Ottawa
Comité de dérogation

LEGEND

- FFL FINISHED FLOOR ELEVATION
- TOF TOP OF FOUNDATION
- BFL BASEMENT FLOOR ELEVATION
- USF UNDERSIDE OF FOOTING
- - - PROPERTY LINE
- CB CATCH-BASIN
- MH STORM MANHOLE
- MH SANITARY MANHOLE
- VC VALVE CHAMBER
- FH FIRE HYDRANT
- CO • CLEANOUT
- CS&SP • CURB STOP & SERVICE POST
- SAN SANITARY SEWER
- ST STORM SEWER
- WS/WM WATER SERVICE/WATERMAIN
- SPL SPRINGLINE
- INV INVERT
- ×99.99 EXISTING ELEVATION

KEY PLAN



No.	DATE	REVISION
1	MAR 20-25	CONCEPTUAL

D. B. GRAY ENGINEERING INC.
Stormwater Management - Grading & Drainage - Storm & Sanitary Sewers - Watermain
700 Long Point Circle 613-425-8044
Ottawa, Ontario d.gray@dbgrayengineering.com

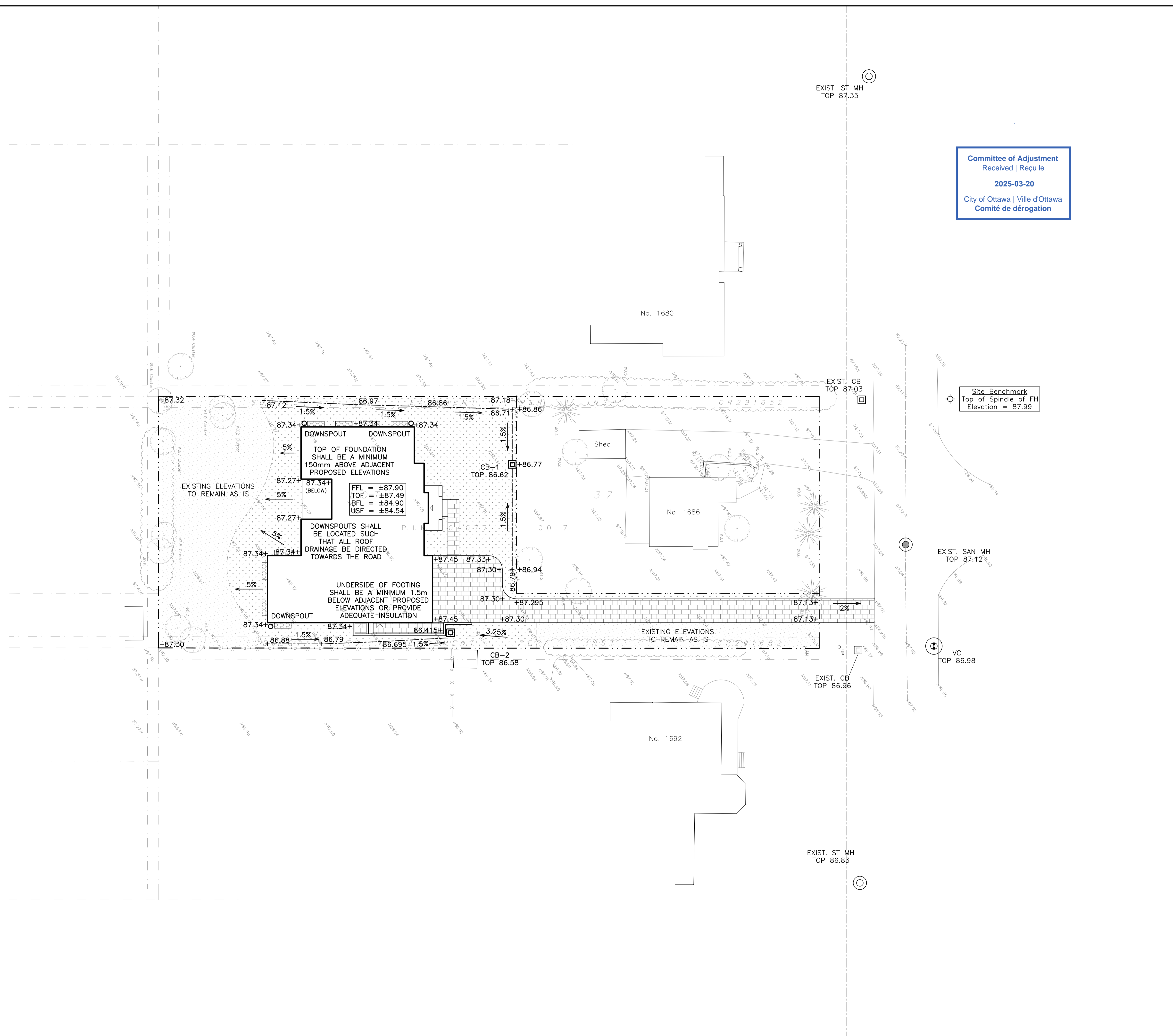
Project
PROPOSED 1-STORY SINGLE FAMILY DWELLING
1686-1688 ORTONA AVENUE
OTTAWA, ONTARIO

Drawing Title
SITE SERVICING PLAN
(WATER)

Engineer's Seal

Drawn D.B.G.
H. Scale 1:200
V. Scale
Date MAR 20-25
Job No. 24111

Drawing No.
C-2
of 3



Committee of Adjustment
 Received | Reçu le
2025-03-20
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

Site Benchmark
 Top of Spindle of FH
 Elevation = 87.99

LEGEND

- FFL FINISHED FLOOR ELEVATION
- TOF TOP OF FOUNDATION
- BFL BASEMENT FLOOR ELEVATION
- USF UNDERSIDE OF FOOTING
- PROPERTY LINE
- CB [Symbol] CATCH-BASIN
- MH [Symbol] STORM MANHOLE
- MH [Symbol] SANITARY MANHOLE
- VC [Symbol] VALVE CHAMBER
- FH [Symbol] FIRE HYDRANT
- ×99.99 EXISTING ELEVATION
- +99.99 PROPOSED ELEVATION
- 2% [Symbol] PROPOSED SLOPE
- CENTERLINE OF SWALE
- [Symbol] PERMEABLE PAVERS
- [Symbol] LANDSCAPE
- [Symbol] WINDOW WELL

KEY PLAN



No.	DATE	REVISION
1	MAR 20-25	CONCEPTUAL

D. B. GRAY ENGINEERING INC.
 Stormwater Management - Grading & Drainage - Storm & Sanitary Sewers - Watermain
 700 Long Point Circle 613-425-8044
 Ottawa, Ontario d.gray@dbgrayengineering.com

Project
PROPOSED 1-STORY SINGLE FAMILY DWELLING
1686-1688 ORTONA AVENUE
OTTAWA, ONTARIO

GRADING PLAN

Engineer's Seal
 Drawn D.B.G.
 H. Scale 1:200
 V. Scale
 Date MAR 20-25
 Job No. 24111

Drawing No.
C-3
 of 3