

METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES
 BEARINGS ARE MTM GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD 83, (CSRS) (2010.0).
 FOR BEARING COMPARISONS, A COUNTER-CLOCKWISE ROTATION OF 0°40'00" WAS APPLIED TO PLANS P1 AND P7.
 DISTANCES ARE GROUND.
 COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.

PART 2 - SURVEY REPORT
 - DESCRIPTION
 PART OF LOT 15 CONCESSION 3 (OTTAWA FRONT), BEING ALL OF PIN 04403-0349 (LT), IN THE CITY OF OTTAWA
 - REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
 NONE
 - BOUNDARY FEATURES
 NOTE LOCATION OF THE BOARD FENCE, THE CHAIN LINK FENCE, THE CURB, THE HYDRO PEDESTAL AND THE TELEPHONE JUNCTION BOXES ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF THE BOARD FENCE, THE CHAIN LINK FENCE AND THE METAL SHED ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF THE CHAIN LINK FENCE, THE EDGE OF ASPHALT AND THE CONCRETE CURB ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY
 NOTE LOCATION OF CURBS, THE PLANTERS AND THE LIGHT STANDARD ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY

LEGEND
 ■ DENOTES SURVEY MONUMENT FOUND
 □ DENOTES SURVEY MONUMENT SET
 SIB DENOTES STANDARD IRON BAR
 SSB DENOTES SHORT STANDARD IRON BAR
 IB DENOTES IRON BAR
 PB DENOTES PLASTIC BAR
 MEAS DENOTES MEASURED
 UN DENOTES ORIGIN UNKNOWN
 WT DENOTES WITNESS
 P1 DENOTES PLAN SR-7225
 P2 DENOTES PLAN SR-2814
 P3 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY ANNIS, O'SULLIVAN, VOLLEBERG LTD., DATED OCTOBER 23, 2002
 P4 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY FARLEY, SMITH & DENIS SURVEYING LTD., DATED JULY 18, 2017
 P5 DENOTES REGISTERED PLAN 860
 P6 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY ANNIS, O'SULLIVAN, VOLLEBERG LTD., DATED JUNE 27, 2022
 P7 DENOTES PLAN AR-18546
 647 DENOTES H.R. FARLEY, O.L.S.
 857 DENOTES FARHALL, MOFFATT & WOODLAND SURVEYING LTD.
 1692 DENOTES FARLEY, SMITH & DENIS SURVEYING LTD.
 RMOC DENOTES REGIONAL MUNICIPALITY OF OTTAWA-CARLETON
 N=NORTH / S=SOUTH / E=EAST / W=WEST

TOPOGRAPHIC LEGEND
 FDN DENOTES FOUNDATION
 CONC DENOTES CONCRETE
 C/L DENOTES CENTERLINE
 E DENOTES EDGE OF ASPHALT
 TOW DENOTES TOP OF WALL
 OC DENOTES OVERHEAD CABLE
 CLF DENOTES CHAIN LINK FENCE
 BF DENOTES BOARD FENCE
 BOL DENOTES BOLLARD
 HP DENOTES HYDRO POLE
 LS DENOTES LIGHT STANDARD
 E_TRANS DENOTES HYDRO TRANSFORMER
 E_PED DENOTES HYDRO PEDESTAL
 T_IB DENOTES TELECOM PEDESTAL
 GM DENOTES GAS METER
 MH_STM DENOTES STORM MANHOLE
 MH_SAN DENOTES SANITARY MANHOLE
 E DENOTES OVERHEAD HYDRO CABLE
 T DENOTES OVERHEAD TELEPHONE CABLE
 STM DENOTES UNDERGROUND STORM SEWER
 SAN DENOTES UNDERGROUND SANITARY SEWER
 ○ DENOTES DECIDUOUS TREE
 ● DENOTES CONIFEROUS TREE

ELEVATION NOTE:
 1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARKS HAVE NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.
 2. ELEVATIONS ARE GEODETIC AND ARE REFERRED TO N.C.C. BENCHMARK 001196530217 HAVING A PUBLISHED ELEVATION OF 85.001 METRES (CGVD28-78).

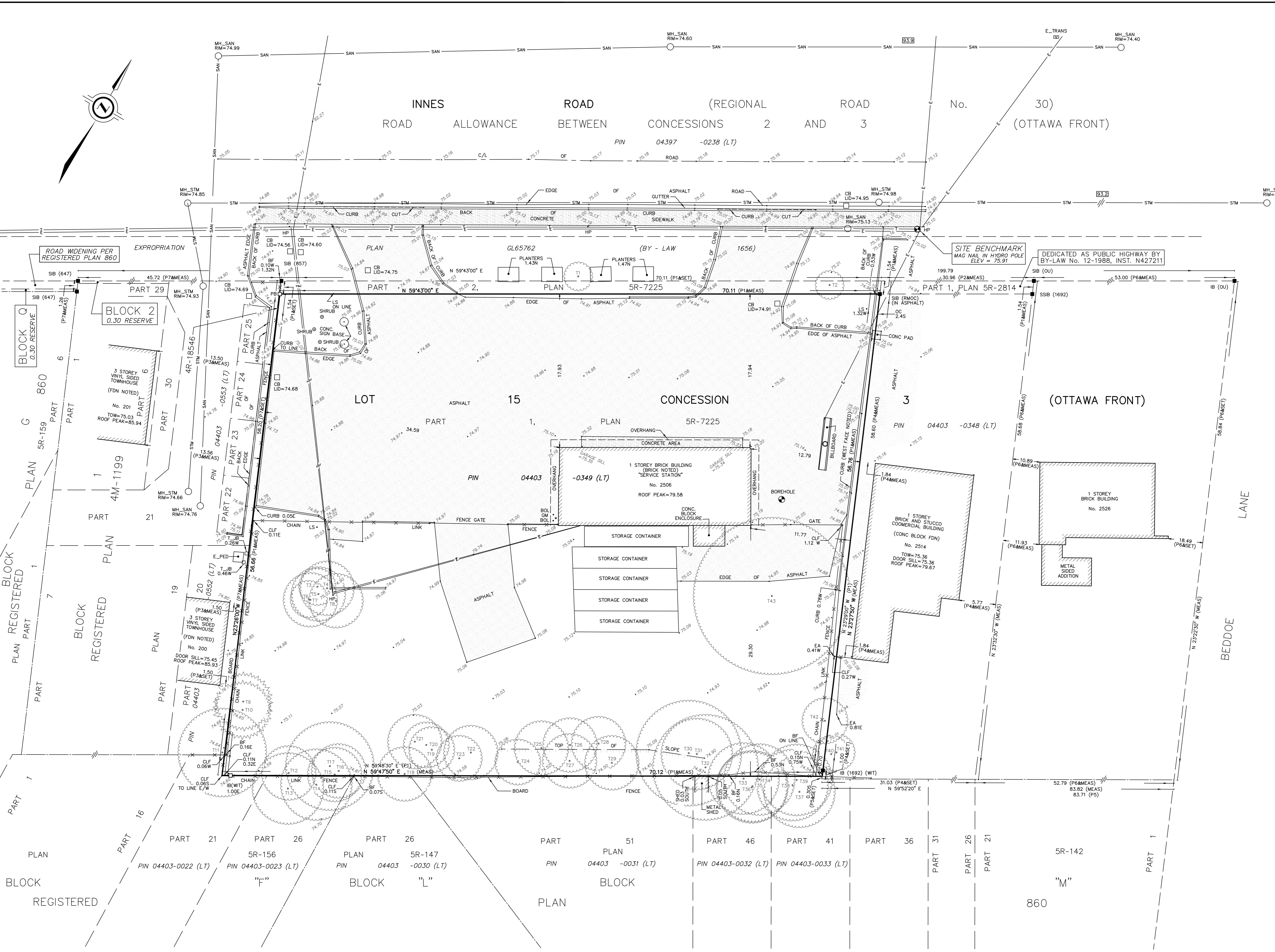
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 2025-03-19
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON OCTOBER 13, 2023.
 OCTOBER 26, 2023
 DATE SHAWN LEROUX
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-42317

J.D. BARNES SURVEYING MAPPING GIS
 LAND INFORMATION SPECIALISTS
 62 STACIE DRIVE, SUITE 103, KANATA, ON K2K 2A9
 T: (613) 731-7244 F: (613) 254-8659 www.jdbarnes.com

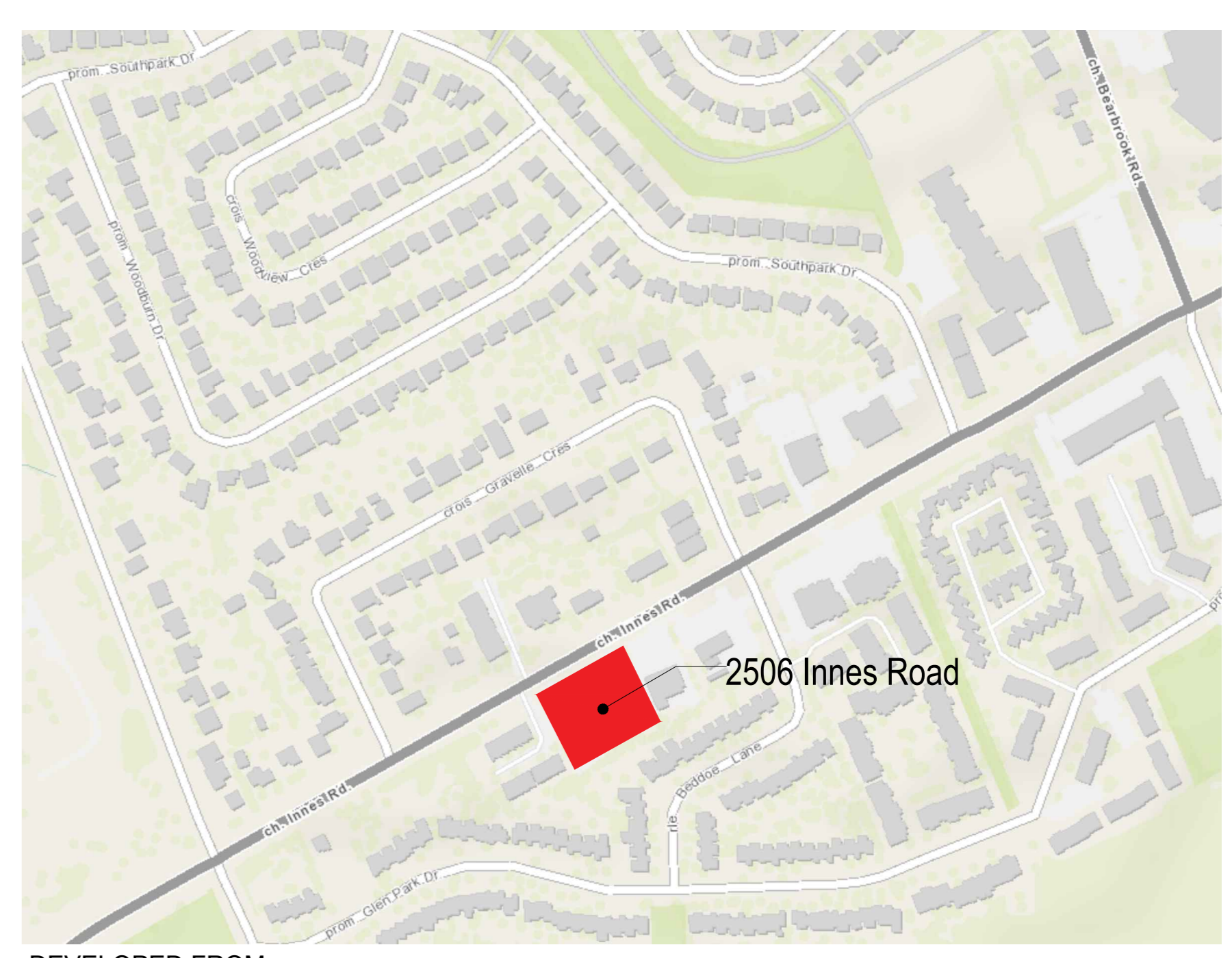
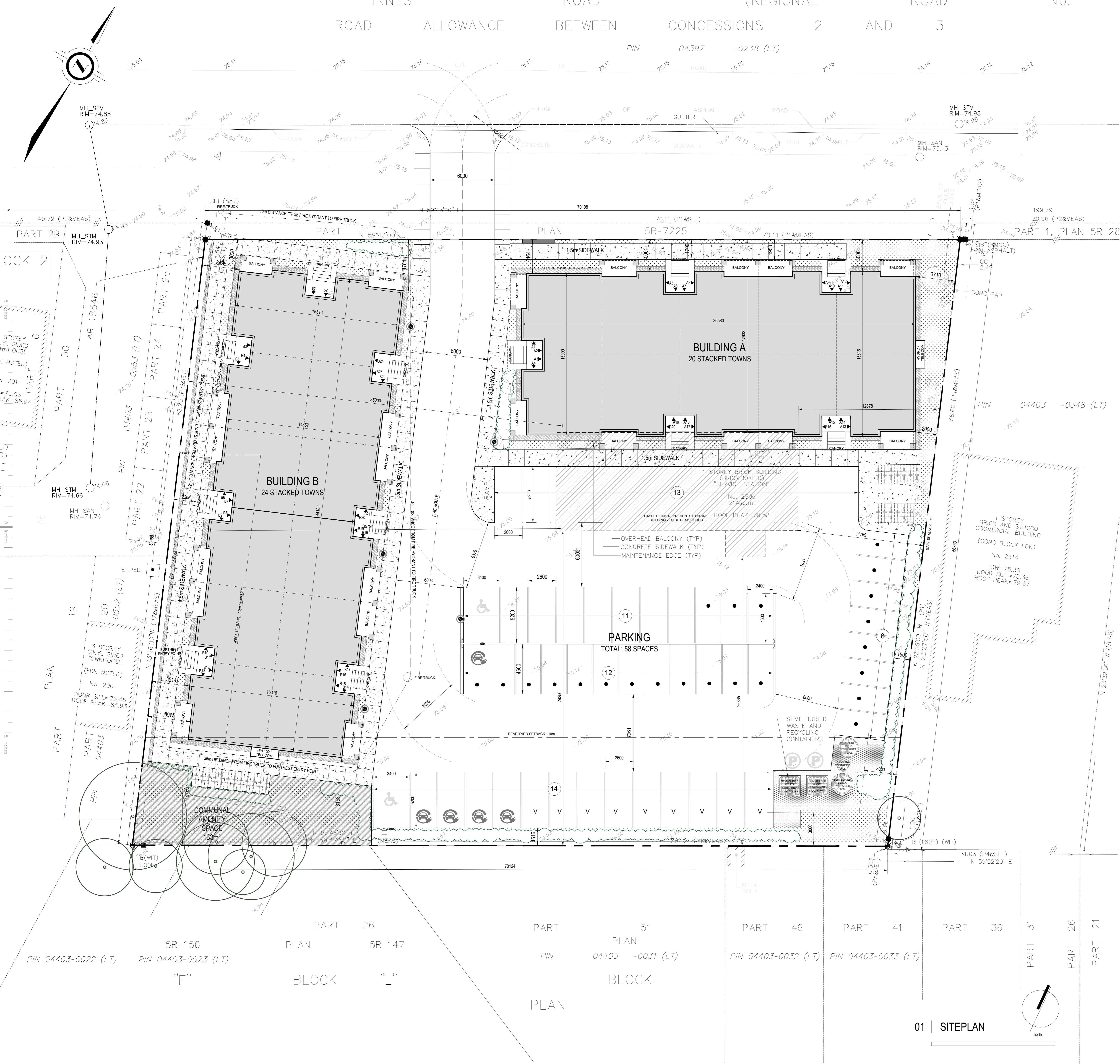
DRAWN BY: RP/SM CHECKED BY: SL REFERENCE NO.: 23-10-085-00
 PLOTTED: 10/26/2023 DATED: 10/26/23



TREE SCHEDULE

TREE No.	TRUNK DIAMETER (m)	CROWN RADIUS (m)	DISTANCE FROM C/L TRUNK TO PROPERTY LINE	TREE No.	TRUNK DIAMETER (m)	CROWN RADIUS (m)	DISTANCE FROM C/L TRUNK TO PROPERTY LINE
T1	0.1	1.5	2.1 N	T23	0.2	2.5	2.0 N
T2	0.1	1.5	1.1 N, 6.0 W	T24	0.2	2.5	1.6 N
T3	0.15	2	8.4 E	T25	0.3	3	3.3 N
T4	0.25	3	9.6 E	T26	0.3	3	3.6 N
T5	0.25	3	8.6 E	T27	0.3	3	1.8 N
T6	0.15	2	7.6 E	T28	0.3	3	3.8 N
T7	0.25	3	7.8 E	T29	0.3	3	1.5 N
T8	0.25	3	10.8 E	T30	0.4	6	2.7 N
T9	0.2	3	1.4 E	T31	0.2	4	2.6 N
T10	0.2	3	1.5 E	T32	0.35	6	1.0 N
T11	0.5	5	0.3 W, 2.7 N	T33	0.25	4	0.3 S
T12	0.15	3	7.7 E, 0.3 N	T34	0.25	4	0.4 S
T13	0.35	4	7.8 E, 1.5 S	T35	0.25	4	1.2 S
T14	0.35	4	1.1 S	T36	0.25	4	1.3 S
T15	0.15	3	0.1 N	T37	0.25	4	2.4 W, 1.8 S
T16	0.15	3	0.5 N	T38	0.25	4	3.3 W, 1.0 S
T17	0.2	5	1.1 N	T39	0.25	4	2.9 W, 0.4 S
T18	0.25	3	0.2 N	T40	0.15	2	0.7 E, 2.6 N
T19	0.2	2.5	3.0 N	T41	0.2	2	1.3 E, 2.8 N
T20	0.2	2.5	3.6 N	T42	0.25	2.5	0.5 W, 6.5 N
T21	0.3	3	4.0 N	T43	0.6	9	8.3 W, 21.1 N
T22	0.3	3	2.7 N				

TRUNK DIAMETER MEASURED AT 1.2 METRES ABOVE GRADE
 TREE POSITION IS CALCULATED OFFSET TO ESTIMATED CENTER OF TREE



DEVELOPER/APPLICANT

Committee of Adjustment
Received / Reçu le
2025-03-19
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DEVELOPED FROM KEY MAP

SURVEYOR'S REAL PROPERTY REPORT
PART OF LOT 15 CONCESSION 3 (OTTAWA FRONT)
2506 INNES ROAD
CITY OF OTTAWA

DESCRIPTION
PART OF LOT 15 CONCESSION 3 (OTTAWA FRONT), BEING ALL OF
PIN 04403-0349 (LT), IN THE CITY OF OTTAWA



GRAPHIC SCALE FOR REFERENCE ONLY
ALL MEASUREMENTS ARE METRIC (MM)

ZONING: AM11[2208] - Proposed Use: STACKED RESIDENTIAL DWELLINGS

ZONING MECHANISM	REQUIRED	PROVIDED	COMMENTS
A) MINIMUM LOT AREA		3948m ²	
B) MINIMUM LOT WIDTH		70.11m	along Innes Rd
C) MINIMUM LOT DEPTH		56.76m	
D) MINIMUM FRONT YARD SETBACK		3.0m	
E) MINIMUM INTERIOR SIDE YARD SETBACK	ALONG WEST SIDE ALONG EAST SIDE	3.0m & 7.5m 0.0m	3.5m 3.0m
F) MINIMUM CORNER SETBACK		3.0m	N/A
H) MAXIMUM BUILDING HEIGHT		varies	refer to elevations and siteplan
J) VEHICLE PARKING	12 Spaces per d.u. - 0.2 per d.u. (MIN)	53 + 9 visitor	49 + 9 visitor
K) BICYCLE STORAGE	0.5 PER UNIT	22	25

PROPOSED SITE DEVELOPMENT INFO	COMMENTS
LOT AREA	3948m ²
BUILDING HEIGHT	12.5m
PARKING SPACES	58 (6 VISITOR)
NUMBER OF STOREYS	3
NUMBER OF UNITS	44
- TWO-BEDROOM UNITS	44
- THREE-BEDROOM UNITS	0
LOT COVERAGE	30.3%
LANDSCAPING COVERAGE	1125m ² (28.5%)
PARKING LOT	1625m ²
MINIMUM WIDTH OF PRIVATE WAY ENTRY	6m
SEPARATION BETWEEN BUILDINGS	11.2m
AMENITY SPACE PROVIDED	AMENITY SPACE REQUIRED @ 6.0m ² /UNIT (STACKED DWELLING) = 44x6 = 254m ²
- COMMUNAL	133m ²
- PRIVATE (BALCONIES)	220m ²

GARBAGE MANAGEMENT REQUIREMENT	REQUIRED	PROVIDED
GARBAGE	0.231 cubic yards per unit: 44x0.231=10.16	2- 6 cubic yard garbage semi-buried container
RECYCLING	for every 6 units provide 1 360L blue cart and 1 360L black cart	1-3000L Blue & 1-3000L Black semi-buried containers
ORGANICS	container for each unit and 1 communal 240L green container per 50 units	container for each unit and 1 communal 250L green container for the winter

BUILDING AREAS (gross areas)	BUILDING A	BUILDING B	TOTAL
BASEMENT	524.5m ²	629.4m ²	1153.9m ²
GROUND FLOOR	524.5m ²	629.4m ²	1153.9m ²
SECOND FLOOR	547.5m ²	657.0m ²	1204.5m ²
THIRD FLOOR	547.5m ²	657.0m ²	1204.5m ²
TOTAL AREAS	2144m ²	2572.8m ²	4716.8m ²

SITE PLAN LEGEND:
USE THE SURVEYOR'S REAL PROPERTY REPORT FOR OTHER SYMBOLS

- ▼ DENOTES UNIT ENTRY POINT
- DENOTES PROPOSED FIRE HYDRANT LOCATION
- PARKING SPACES HAVE A WIDTH OF 2.4m, A LENGTH OF 4.6m
- DENOTES NO PARKING
- DENOTES NO STOPPING SIGN (FIRE ROUTE)
- DENOTES EV CHARGING SPACE
- DENOTES SINGLE BICYCLE RACK
- DENOTES VISITOR PARKING SPACE
- DENOTES PARKING LIGHT POLE
- DENOTES NUMBER OF PARKING SPACES WITHIN A ROW
- REPRESENTS EXISTING BUILDING - TO BE DEMOLISHED
- DENOTES PROPOSED LOCATION FOR COMMUNITY SIGN
- D.C. DEPRESSED CURB
- ACCESSIBLE PARKING SPACE (TYPE A)
- DENOTES ACCESSIBLE PARKING SIGN

ARCHITECTURE

PLANNING

ENGINEERING

LANDSCAPING

FORESTRY

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Issue	description	date
K	Submitted for Minor Variations	2025.01.17
J	Re-Submitted for Site Plan Control	2024.12.14
I	Re-Submitted for Site Plan Control	2024.09.12
H	Re-Submitted for Site Plan Control	2024.05.16
G	REVISED SITE DESIGN Option B	2024.04.25
F	REVISED SITE DESIGN Option B	2024.03.18
E	REVISED SITE DESIGN Option B	2024.02.19
D	SITE PLAN CONTROL	2023.12.22
C	REVISED SITE DESIGN LIMITING DISTANCE ADJUSTMENT	2023.11.13
B	REVISED SITE DESIGN LIMITING DISTANCE ADJUSTMENT	2023.11.13
A	PRELIMINARY SITE DESIGN	2023.11.02

2506 INNES ROAD
Ottawa, ON

SITEPLAN

drawing title

drawn by P.A.

scale 1:125

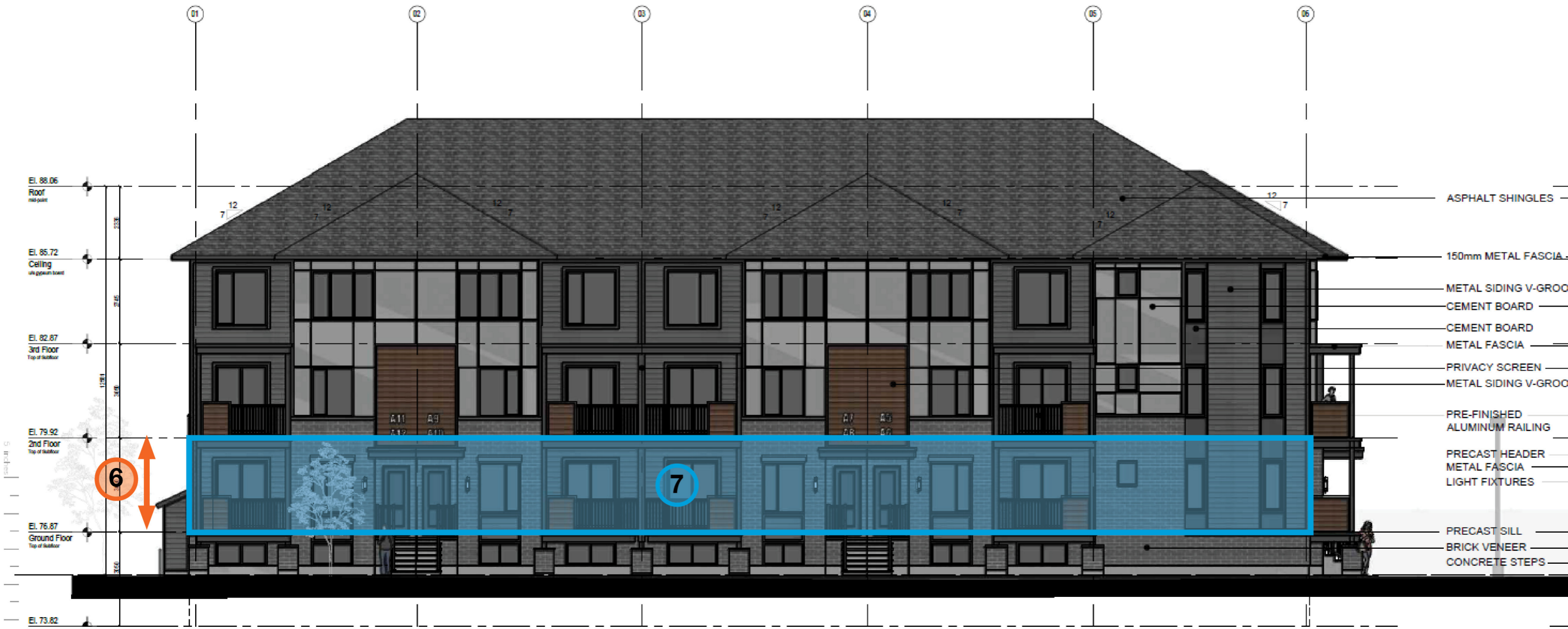
date 2023-10

project number

drawing number

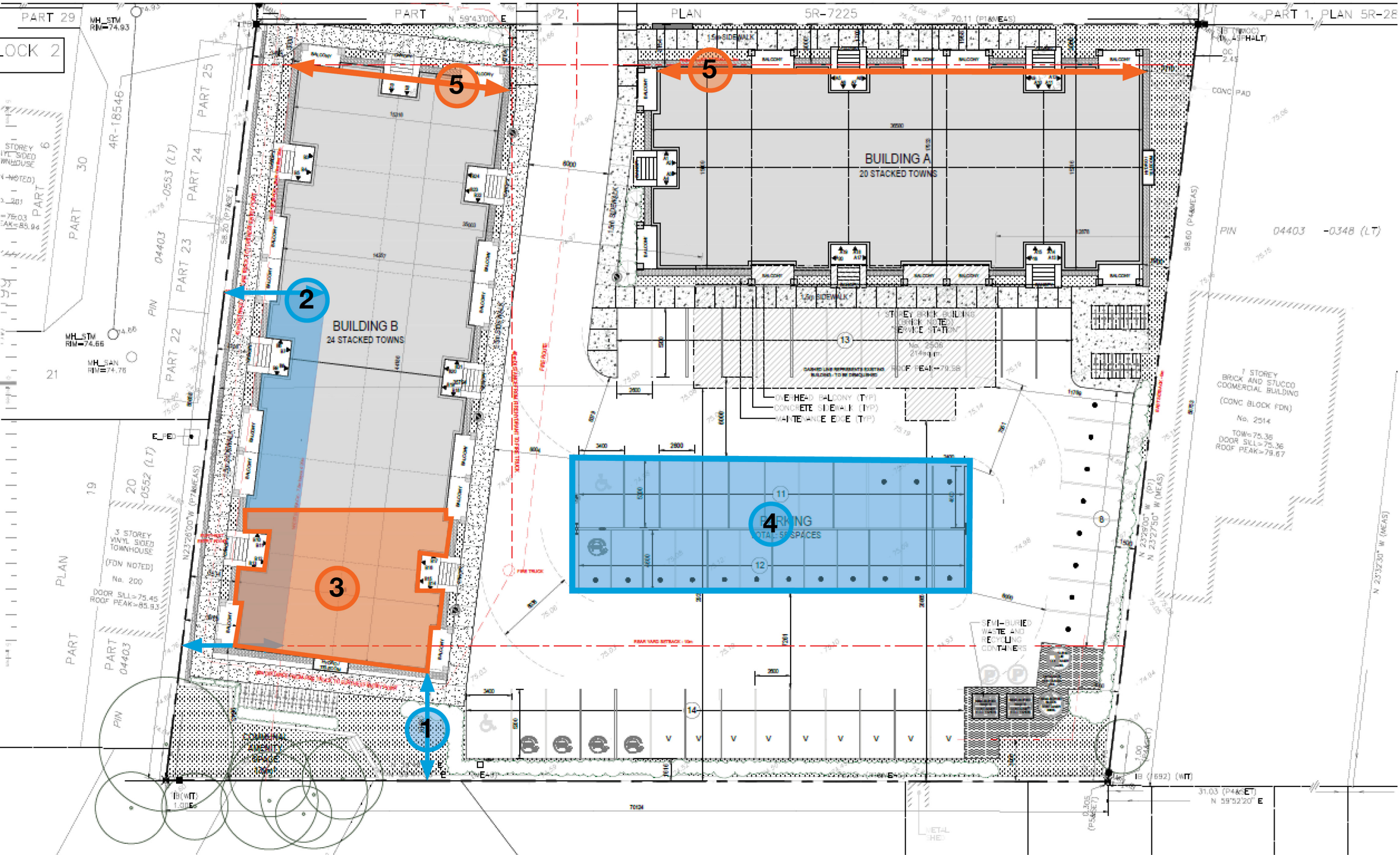
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6 Minimum height of first floor

7 Glazing



- 1** Rear yard setback
- 2** Interior side yard setback
- 3** Building height
- 4** Resident parking ratio
- 5** Front yard frontage

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