

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

COORDINATES WERE DERIVED FROM REAL TIME NETWORK OBSERVATIONS (SMARTNET) MTM ZONE 9, NAD83 ORIGINAL.

COORDINATES HAVE BEEN DETERMINED TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF O.REG 216/10.

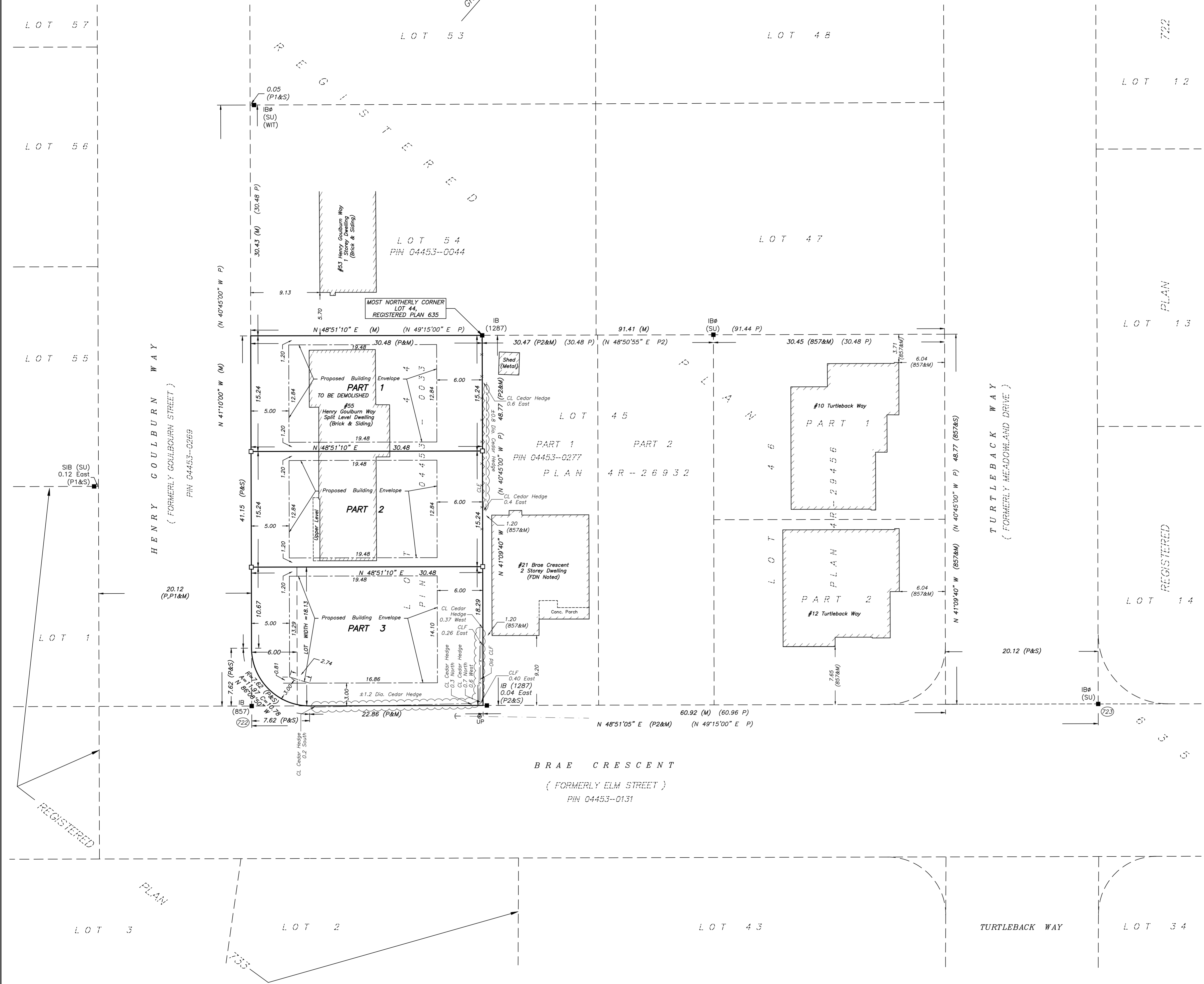
POINT ID	NORTHING	EASTING
722	5012391.04	350583.06
723	5012464.42	350667.04

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

PLAN PREPARED FOR COMMITTEE OF ADJUSTMENT PURPOSES
JANUARY 16, 2025

SCHEDULE			
PART	LOT	PLAN	PIN
1			
2	ALL OF 44	635	ALL OF 04453-0033
3			

Committee of Adjustment
Received | Reçu le
2025-02-26
City of Ottawa | Ville d'Ottawa
Comité de dérogation



PLAN OF SURVEY OF
LOT 44
REGISTERED PLAN 635
CITY OF OTTAWA

SCALE 1 : 250
0 5 10 20 25 metres
THE INTENDED PLOT SIZE OF THIS PLAN IS 813mm IN WIDTH BY 610mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:250.
FAIRHALL, MOFFATT & WOODLAND LIMITED
ONTARIO LAND SURVEYORS

- NOTES**
- BEARINGS ARE GRID, DERIVED FROM OBSERVED REFERENCE POINTS (22) AND (23) BY REAL TIME NETWORK OBSERVATIONS AND ARE REFERRED TO THE CENTRAL MERIDIAN, 76°30'W LONGITUDE MTM ZONE 9, NAD83 ORIGINAL.
 - DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR 0.999912.

- LEGEND**
- - SURVEY MONUMENT SET
 - - SURVEY MONUMENT FOUND
 - IB - IRON BAR
 - SIB - STANDARD IRON BAR
 - CP - CONCRETE PIN
 - ⊙ - ROUND
 - (P) - REGISTERED PLAN 635
 - (P1) - PLAN 5R-9883
 - (P2) - PLAN 4R-26932
 - (S) - SET
 - (M) - MEASURED
 - (SU) - SOURCE UNKNOWN
 - PIN - PROPERTY IDENTIFIER NUMBER
 - (857) - FAIRHALL, MOFFATT & WOODLAND LTD., O.L.S. (REF. 21-635 GOULBOURN 22-635 GOULBOURN)
 - (1287) - FARLEY, SMITH & DENIS SURVEYING LTD., O.L.S.
 - DIA. - DIAMETER
 - CLF - CHAIN LINK FENCE
 - ⊕ UP - UTILITY POLE
 - ← - GUY WIRE AND ANCHOR

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON

DATE _____ JOHN H. CUTRI
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER

Fairhall Moffatt & Woodland LIMITED ONTARIO LAND SURVEYORS Surveying and Land Information Services 100-600 TERRY FOX DRIVE, KANATA, ONTARIO K2L 4B6 TEL: (613) 591-2580 FAX: (613) 591-1495 www.fmw.com	JOB No. A E 2 3 0 0 0
	E 350578 , N 5012421
	REFERENCE No. 25(a)-635 GOULBOURN
	S:\J085\A023000\DWG\16 JAN 2025 rp_oe230.dwg (ss/cnr)

Committee of Adjustment
Received | Reçu le
2025-02-26
City of Ottawa / Ville d'Ottawa
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PART 2

PLAN 4R-26932

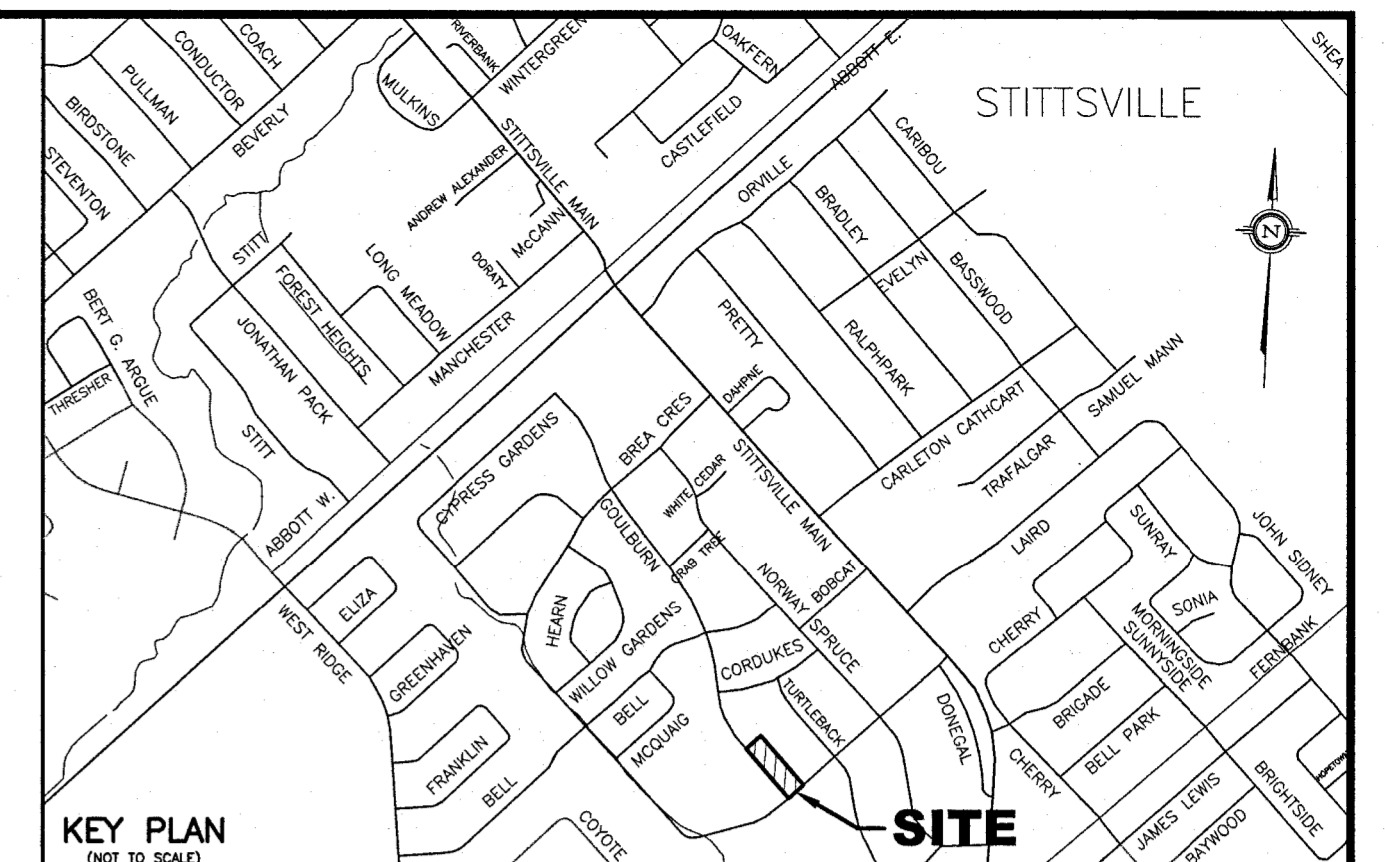
LOT 4 5

PART 1

PIN 04453-0277

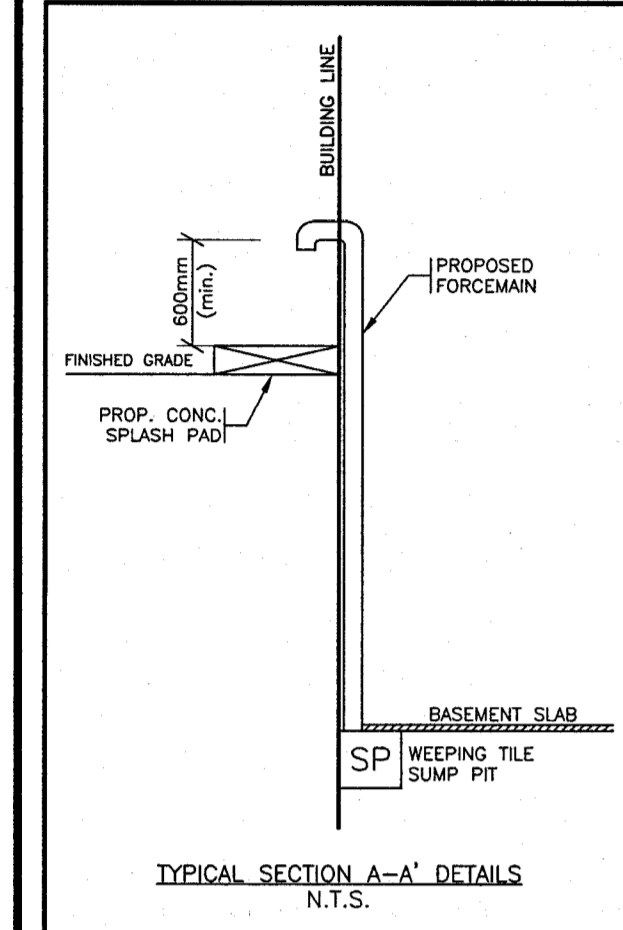
Job Benchmark #3
Spike in Hydro Pole
Elev=121.145

- LEGEND**
- PROPOSED ELEVATION
 - EXISTING ELEVATION
 - F.F. PROPOSED TOP OF FLOOR ELEVATION
 - T.O.F. PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
 - U.S.F. PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION
 - D/W PROPOSED DRIVEWAY
 - EXISTING SANITARY SEWER
 - EXISTING WATERMAIN
 - PROPOSED 135mm PVC SANITARY LATERAL SERVICE @ 1% (MIN.) SLOPE
 - PROPOSED 25mm WATER SERVICE (COPPER TYPE "K")
 - EXISTING SANITARY MANHOLE
 - EXISTING CATCH BASIN
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING OVERHEAD WIRES
 - PROPOSED VALVE AND VALVE BOX (V&VB)
 - PROPOSED GENERAL DIRECTION OF LOT GRADING AND SURFACE FLOW
 - PROPOSED TERRACING 3:1 (MAX.) TO 1 V
 - PROPOSED RETAINING WALL
 - PROPOSED TOP OF RETAINING WALL ELEVATION
 - PROPOSED BOTTOM OF RETAINING WALL ELEVATION
 - PROPOSED CONCRETE SPLASH PAD LOCATION FOR WEeping TILE WATER DISCHARGE
 - PROPOSED WEeping TILE SUMP PIT LOCATION
 - C/W DUPLEX SHUT PUMPS (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)
 - PROPOSED RIGID STYROFOAM INSULATION 50mm THICK (MIN.)
 - DENOTES LIMIT OF ROAD CUT AND REINSTATEMENT
 - PROPOSED REGRADED ROADWAY DITCH AND FLOW DIRECTION

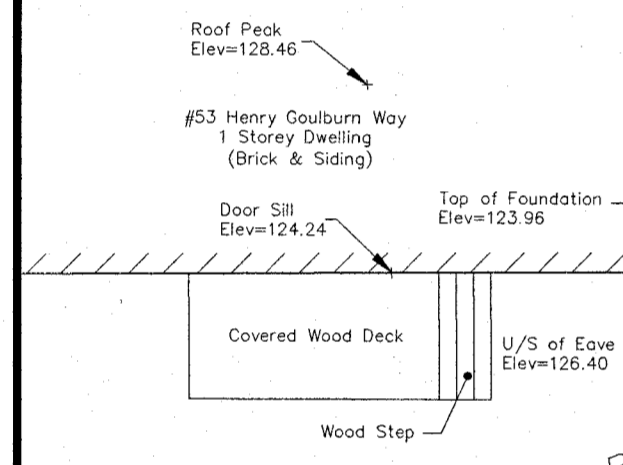


NOTES

- EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS, BUT ARE INCOMPLETE. CONTRACTOR IS REQUIRED TO CHECK IN THE FIELD FOR LOCATION AND ELEVATION OF PIPES, UNDERGROUND STRUCTURES, ETC. AND CHECK WITH AUTHORITIES AND UTILITIES TO HIS SATISFACTION BEFORE DIGGING.
- CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY BEFORE POURING OF CONCRETE FOOTING AND FOUNDATION. THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SUBGRADE ON THIS LOT IS SUFFICIENT TO SUPPORT PROPOSED RESIDENTIAL BUILDING.
- SITING DETAILS FOR THE PROPOSED NEW SINGLE-DETACHED DWELLINGS WERE PREPARED BY THE DEVELOPER - METRIC HOMES AS SHOWN ON THEIR SITE PLAN DETAILS RECEIVED ON JANUARY 31, 2025. FOR THE TOP OF FINISHED FLOOR, TOP OF CONCRETE FOUNDATION, TOP OF FOOTING, AND UNDERSIDE OF FOOTING OF THE PROPOSED BUILDINGS, THE BUILDING SECTION IS A 7 FT. - 10 INCHES FOUNDATION FOUR AS REQUIRED BY THE DEVELOPER AS PER E-MAIL OF JANUARY 17, 2025.
- EXISTING HORIZONTAL AND VERTICAL SURVEY DATA SHOWN ON THIS PLAN INCLUDING SITE BENCHMARK, ROAD ELEVATIONS, SEWER INVERT ELEVATION, SEWER LOCATIONS, AND TOPOGRAPHICAL INFORMATION OF THE LOT WERE PROVIDED BY FAIRHALL MOFFATT AND WOODLAND LIMITED AS DEPICTED ON THEIR TOPOGRAPHICAL SURVEY PLAN (JOB No. AE23000 [REF. No. 28-635 GOULBURN] COMPLETED ON DECEMBER 12, 2024) RECEIVED ON DECEMBER 16, 2024. T.L. MAK ENGINEERING CONSULTANTS LTD. DOES NOT TAKE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN HERE. FOR INFORMATION ABOUT THE SANITARY INVERT ELEVATION AT MANHOLES, AND SEWER AND WATERMAIN LOCATION AND SIZE, THE CONTRACTOR SHALL ALSO REFER TO CITY OF OTTAWA'S PLAN AND PROFILE DRAWING ENTITLED "GOULBURN STREET" STA. 0+000 TO 0+350 DWG. NO. 28 REV. 8 DATED APRIL 30, 1981 FOR ADDITIONAL DETAILS.
- ALL GRADING SHALL BE DONE TO THE SATISFACTION OF THE CITY OF OTTAWA.
- ALL GRADES SHOWN ARE GEODETIC AND METRIC.
- SANITARY SERVICE BENDS AND RISERS USED MUST BE CONSTRUCTED TO CITY OF OTTAWA'S SATISFACTION.
- CONSTRUCT ALL SANITARY AND STORM PIPES IN ACCORDANCE WITH CITY OF OTTAWA'S LATEST REVISED STANDARD, OTHERWISE AS PER OPSS AND OPD SPECIFICATIONS.
- ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND AS PER CITY OF OTTAWA'S REQUIREMENTS.
- CONTRACTOR SHALL CONSTRUCT AND ENSURE THAT THE 25mm WATERMAIN SERVICE ON THIS LOT SHALL BE APPROPRIATE TO THE RECEIVING WATERMAIN AND SUCH REINSTATEMENT SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE SOILS ENGINEER'S REQUIREMENTS AND AS PER CITY DETAIL W22. WATER SERVICE INSTALLATION SHALL BE COPPER TYPE "K" AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF OTTAWA STANDARDS.
- THIS LOT GRADING DESIGN PLAN WAS PREPARED FOR THE OWNERS FOR BUILDING PERMIT ISSUANCE. ALL WORKS CONSTRUCTED BY THE CONTRACTOR SHALL MEET CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS AND PER CITY OF OTTAWA'S REQUIREMENTS. THIS GRADING PLAN SHALL NOT BE USED FOR BUILDING CONSTRUCTION PURPOSES. REFER TO HOUSE DESIGNER'S APPROVED SITE PLAN FOR EXACT DIMENSIONS REGARDING BUILDING LAYOUT.
- WHERE ROOF EAVESTROUGHS ARE INSTALLED, ROOF DOWNSPOUTS SHALL BE DIRECTED TO OUTLET DISCHARGE TO THE FRONT AND REAR YARD ONLY, WHERE POSSIBLE AND NOT TO THE SIDE YARDS.
- ALL WATERMAIN SERVICE AND FITTINGS SHALL CONFORM TO APPROVED AWWA AND/OR CSA STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS TO COMPLETE THE WORKS.
- EXISTING LOCATION OF HENRY GOULBURN WAY WATERMAIN AND SANITARY SEWER SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY IN THE FIELD TO CONFIRM ITS EXACT LOCATION BEFORE EXCAVATION. (SEE ALSO NOTE #24).
- PROPOSED SURFACE GRADE SHALL BE 7% MAXIMUM, WHERE THE GROUND DROPS OFF STEEPLY, TERRACE THE GROUND AT 3H MAXIMUM TO 1V AS NECESSARY TO MEET CITY OF OTTAWA'S GRADING REQUIREMENTS.
- WATER SERVICE CONNECTION ON HENRY GOULBURN WAY SHALL BE DONE BY THE CITY OF OTTAWA. ALL CONNECTIONS AND OTHER RELATED WORKS TO WATERMAIN SHALL BE MADE BY THE CITY. EXCAVATION, BACKFILLING, AND REINSTATEMENTS BY CONTRACTOR. ALL WATERWORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION.
- IF WATER SERVICE IS LESS THAN 2.4m FROM SEWER, MANHOLE, OR CATCHBASIN, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEM WITH 50mm RIGID INSULATION (AS PER CITY DETAIL W22 AND W23).
- PIPE SIZES SHOWN ON THIS PLAN ARE METRIC.
- WATER SERVICE AND WATERMAIN TRENCH DETAILS AS PER CITY W17 DETAIL.
- PROPOSED SANITARY SERVICE LATERALS SHALL BE PVC DR-28 OR EQUIVALENT.
- IT IS REQUIRED THAT A FULL PORT BACKWATER VALVE BE INSTALLED FOR THE NEW SANITARY LATERAL SERVICE UNDER THE CURRENT REGULATION OF THE OTTAWA PLUMBING CODE, AND AS PER CITY DETAIL S14, S14.1 AND S14.2.
- BEDDING FOR SEWERS AND WATERMAIN INSTALLATION SHALL BE TYPE "B" COMPACTED TO 95% DRY PROCTOR DENSITY. FOR THE SEWER LATERALS USE 300mm THICK APPROVED GRANULAR COVER MATERIAL COMPACT TO 95% DRY PROCTOR DENSITY. TRENCH BACKFILL WITH NATIVE MATERIAL AND COMPACT TO 95% DRY PROCTOR DENSITY MINIMUM. NO FROZEN MATERIALS ARE TO BE USED AS BACKFILL IN THE SERVING TRENCHES.
- DETAILS OF EXISTING SEWERS AND WATERMAIN SHOWN ON HENRY GOULBURN WAY FROM THE CITY OF OTTAWA MAY NOT BE CURRENT. CONTRACTOR SHALL REFER TO THE CITY OF OTTAWA'S SEWER AND WATERMAIN DRAWINGS FOR DETAILS BEFORE DIGGING. THE CONTRACTOR IS ADVISED TO EXCAVATE AND INVESTIGATE THE SEWER ELEVATIONS IN FRONT OF THIS PROPERTY FIRST TO ENSURE THAT 1% (MIN.) PIPE SLOPE OF THE SANITARY AND STORM LATERALS CAN BE ACHIEVED USING THE PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF 1% (MIN.) SLOPE IS NOT POSSIBLE FROM THE BUILDING TO THE SEWER, THEN THE CONTRACTOR SHOULD INFORM THE OWNER'S PROJECT MANAGER AND THE CITY ACCORDINGLY FOR FURTHER DIRECTION.
- FOR DEVELOPMENT OF THIS SITE, THE CONTRACTOR MUST FIRST CONSTRUCT THE UNDERGROUND SANITARY, STORM, AND WATER SERVICES FROM THE SEWER AND WATERMAIN TO THE PROPERTY. PRIOR TO BUILDING CONCRETE FOUNDATION POURING THE CONTRACTOR SHALL VERIFY SEWER DEPTHS TO ENSURE THAT SEWER LATERALS CAN ACHIEVE A SLOPE OF 1% (MINIMUM) AND STILL BE BELOW PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF THIS IS FOUND NOT POSSIBLE, THE CONTRACTOR SHALL CONTACT THE OWNER AND HIS OR HER PROJECT MANAGER TO REPORT THE FINDING IN ORDER TO ADJUST THE BUILDING FOUNDATION GRADES PRIOR TO CONCRETE POURING.
- INSULATE HOUSE SERVICE LATERALS WITHIN PRIVATE PROPERTY AND ROAD RIGHT OF WAY WHERE GROUND COVER FOR FROST PROTECTION IS LESS THAN 2.4m. FOR WATER SERVICE AND 2.4m FOR SANITARY AND STORM GRAVITY SEWERS. MINIMUM GROUND COVER OVER HOUSE SERVICE PIPES SHALL NOT BE LESS THAN 2.4m. EXACT INSULATION THICKNESS SHALL BE DETERMINED BY THE CITY INSPECTOR ON SITE AND/OR OWNERS' SOILS ENGINEER. ALL INSULATION WORKS SHALL BE CARRIED OUT AS PER CITY OF OTTAWA'S CURRENT ENGINEERING STANDARDS.
- WHERE FROST COVER FROM UNDERSIDE OF HOUSE CONCRETE FOOTING TO PROPOSED FINISHED GROUND ELEVATION IS LESS THAN 1.5m, IT IS RECOMMENDED THAT INSULATION (50mm) THICK MINIMUM BE INSTALLED AT BUILDING FOOTING AND FOUNDATION TO PROVIDE SUFFICIENT FROST COVER FOR FOUNDATION STRUCTURES. INSULATION REQUIREMENTS SHALL BE DETERMINED BY OWNER'S SOILS ENGINEER. EXACT INSULATION REQUIREMENTS SHALL BE CONFIRMED BY OWNER'S HOUSE DESIGNER AND SITE SOILS ENGINEER TO CONTRACTOR BEFORE INSTALLATION.



PROPOSED RETAINING WALL SHALL HAVE A 150mm (MIN) CLEARANCE BETWEEN BASE OF WALL AND PROPERTY LINE



PROPOSED WEeping TILE SUMP PIT LOCATION

PROPOSED CONCRETE SPLASH PAD LOCATION FOR WEeping TILE WATER DISCHARGE (SEE SECTION A-A' FOR DETAILS)

PROPOSED WEeping TILE SUMP PIT LOCATION

PROPOSED CONCRETE SPLASH PAD LOCATION FOR WEeping TILE WATER DISCHARGE (SEE SECTION A-A' FOR DETAILS)

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PROPOSED WEeping TILE SUMP PIT LOCATION

PROPOSED CONCRETE SPLASH PAD LOCATION FOR WEeping TILE WATER DISCHARGE (SEE SECTION A-A' FOR DETAILS)

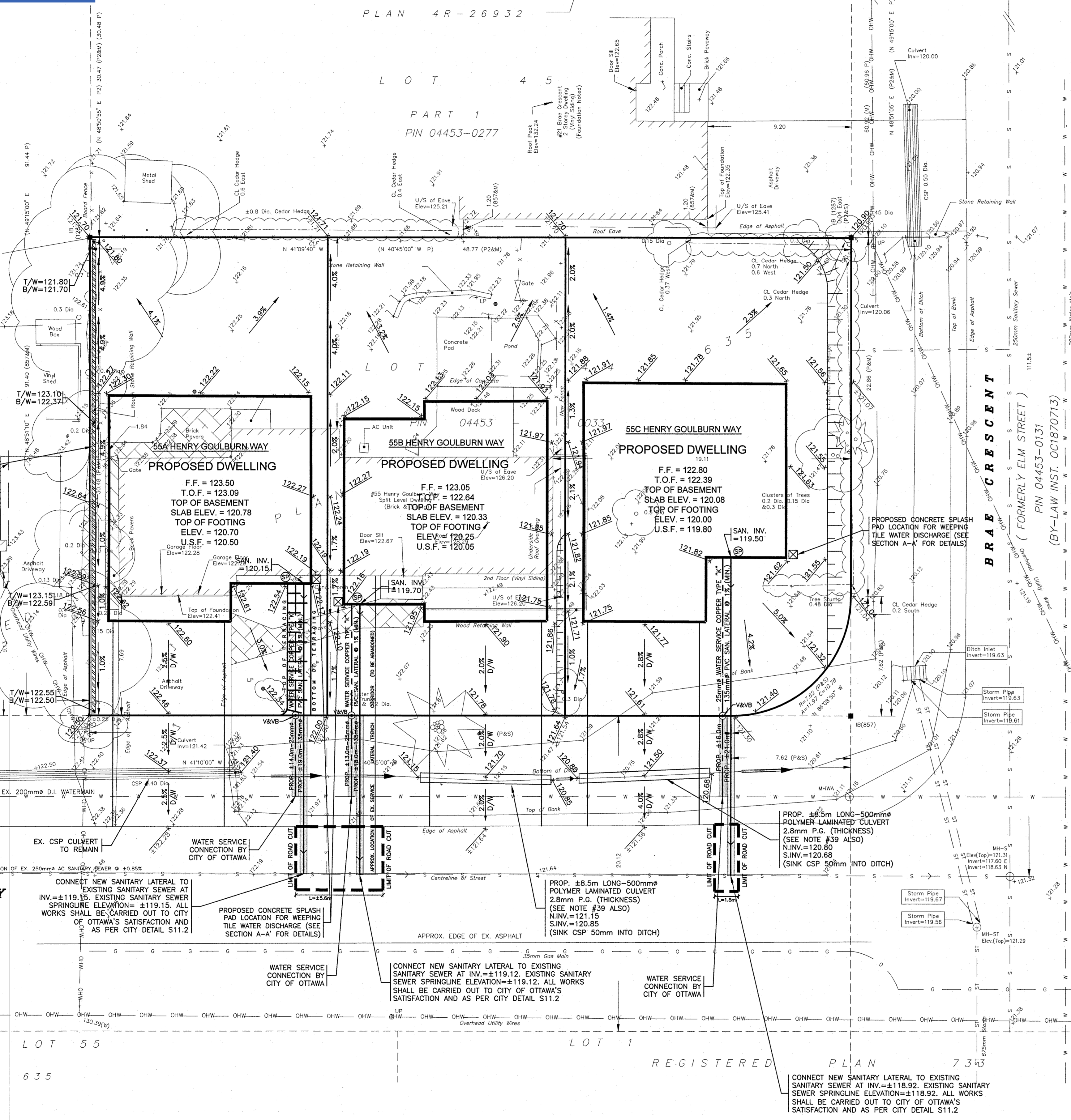
PROPOSED WEeping TILE SUMP PIT LOCATION

PROPOSED CONCRETE SPLASH PAD LOCATION FOR WEeping TILE WATER DISCHARGE (SEE SECTION A-A' FOR DETAILS)

PROPOSED WEeping TILE SUMP PIT LOCATION

PROPOSED CONCRETE SPLASH PAD LOCATION FOR WEeping TILE WATER DISCHARGE (SEE SECTION A-A' FOR DETAILS)

PROPOSED WEeping TILE SUMP PIT LOCATION



HENRY GOULBURN WAY
(FORMERLY GOULBURN STREET)
PIN 04453-0269
(BY-LAW INST. OC1870713)

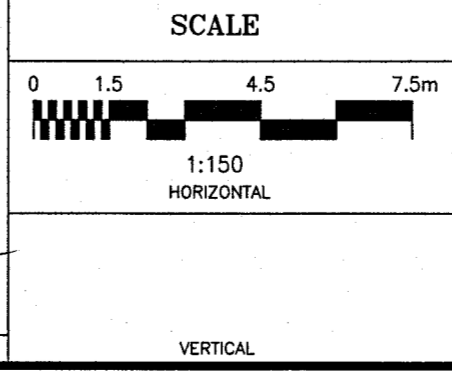
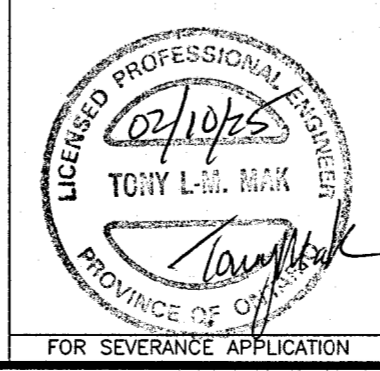
LOT 56
REGISTERED PLAN 635

LOT 55
REGISTERED PLAN 7353

CONNECT NEW SANITARY LATERAL TO EXISTING SANITARY SEWER AT INV.=±118.92. EXISTING SANITARY SEWER SPRINGLINE ELEVATION=±118.92. ALL WORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION AND AS PER CITY DETAIL S11.2

CONNECT NEW SANITARY LATERAL TO EXISTING SANITARY SEWER AT INV.=±118.92. EXISTING SANITARY SEWER SPRINGLINE ELEVATION=±118.92. ALL WORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION AND AS PER CITY DETAIL S11.2

No.	REVISION	DATE	BY
3	REVISIONS AS PER DEVELOPER'S AND DEVELOPER'S REPRESENTATIVE'S REVIEW COMMENTS OF FEB. 8, 2025 AND FEB. 10, 2025	02/10/25	TLM
2	REVISIONS AS PER DEVELOPER'S REVISED SITE PLAN OF JANUARY 31, 2025	02/06/25	TLM
1	REVISIONS AS PER DEVELOPER'S REVIEW COMMENTS OF JANUARY 16, 2025 AND JANUARY 17, 2025	01/17/25	TLM



DESIGN	T.L.M.
CHECKED	T.L.M.
DRAWN BY	P.M.
CHECKED	T.L.M.
APPROVED	T.L.M.

PROJECT
55 HENRY GOULBURN WAY
LOT 44
REGISTERED PLAN 635
CITY OF OTTAWA

DRAWING TITLE
PROPOSED LOT GRADING AND SERVICING PLAN

T.L. MAK ENGINEERING CONSULTANTS LTD.
CONSULTING ENGINEERS

PROJECT No. 824-124
DATE DECEMBER 2024
DRAWING No. G-1

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

COORDINATES WERE DERIVED FROM REAL TIME NETWORK OBSERVATIONS (SMARTNET) MTM ZONE 9, NAD83 ORIGINAL.

COORDINATES HAVE BEEN DETERMINED TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF O.REG 216/10.

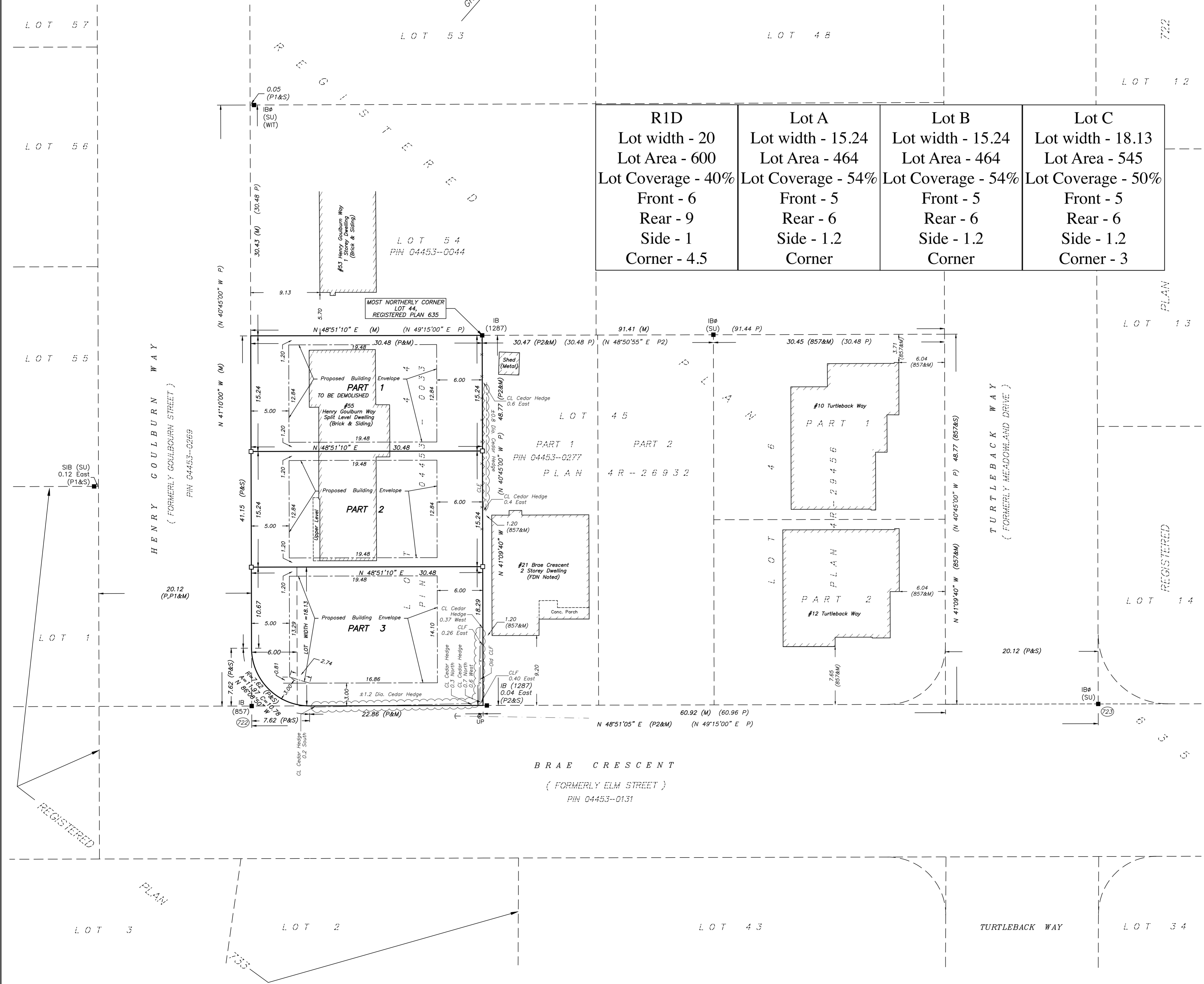
POINT ID	NORTHING	EASTING
722	5012391.04	350583.06
723	5012464.42	350667.04

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PLAN PREPARED FOR COMMITTEE OF ADJUSTMENT PURPOSES
JANUARY 16, 2025

SCHEDULE				AREA (m ²)
PART	LOT	PLAN	PIN	
1				464
2	ALL OF 44	635	ALL OF 04453-0033	464
3				545

Committee of Adjustment
Received | Reçu le
2025-02-26
City of Ottawa | Ville d'Ottawa
Comité de dérogation



PLAN OF SURVEY OF
LOT 44
REGISTERED PLAN 635
CITY OF OTTAWA
SCALE 1 : 250
THE INTENDED PLOT SIZE OF THIS PLAN IS 813mm IN WIDTH BY 610mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:250.
FAIRHALL, MOFFATT & WOODLAND LIMITED
ONTARIO LAND SURVEYORS

NOTES

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LEGEND

- - SURVEY MONUMENT SET
- - SURVEY MONUMENT FOUND
- IB - IRON BAR
- SIB - STANDARD IRON BAR
- CP - CONCRETE PIN
- ⊙ - ROUND
- (P) - REGISTERED PLAN 635
- (P1) - PLAN 5R-9883
- (P2) - PLAN 4R-26932
- (S) - SET
- (M) - MEASURED
- (SU) - SOURCE UNKNOWN
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- (857) - FAIRHALL, MOFFATT & WOODLAND LTD., O.L.S. (REF. 21-635 GOULBOURN 22-635 GOULBOURN)
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- DIA. - DIAMETER
- CLF - CHAIN LINK FENCE
- ⊕ UP - UTILITY POLE
- ← - GUY WIRE AND ANCHOR

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON




DATE _____

JOHN H. CUTRI
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER

Fairhall Moffatt & Woodland LIMITED ONTARIO LAND SURVEYORS Surveying and Land Information Services 100-600 TERRY FOX DRIVE, KANATA, ONTARIO K2L 4B6 TEL: (613) 591-2580 FAX: (613) 591-1495 www.fmw.on.ca	JOB No. A E 2 3 0 0 0 E 350578 , N 5012421 REFERENCE No. 25(a)-635 GOULBOURN S:\J085\A23000\DWG\16 JAN 2025 rp_oe230.dwg (ss/cnr)
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EXTERIOR FINISH SCHEDULE

-  JAMES HARDIE LAP SIDING
-  JAMES HARDIE BOARD & BATTEN
-  STONE VENEER

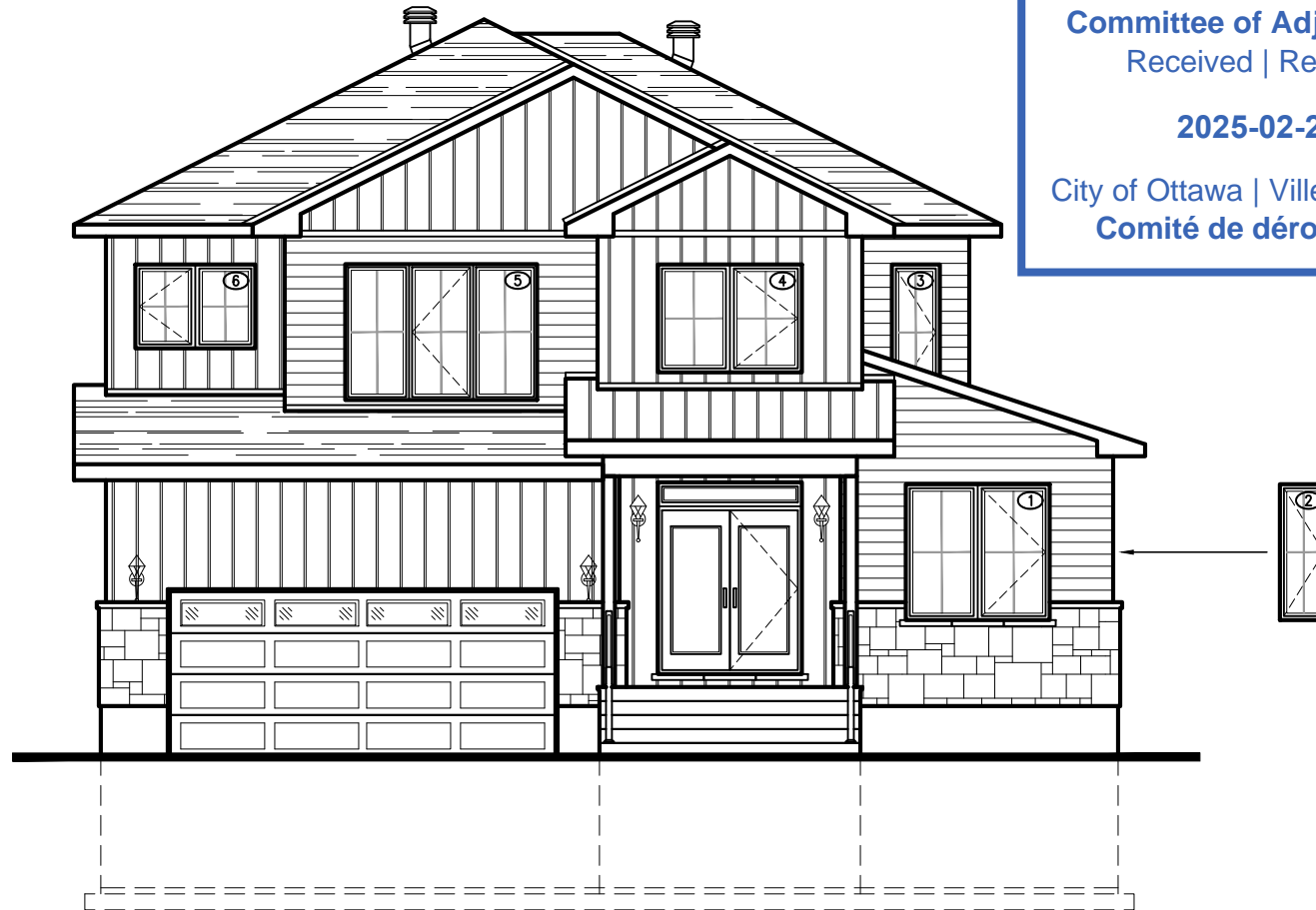
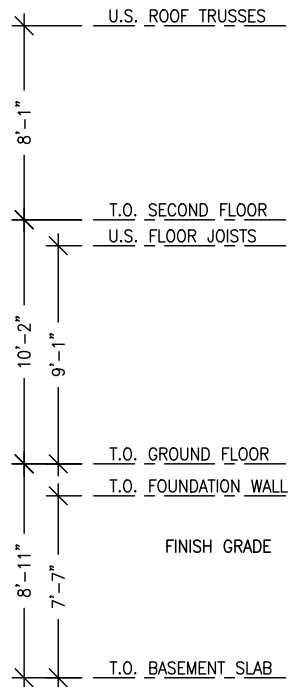
WINDOW SCHEDULE

WINDOW #	WIDTH	HEIGHT
①	72"	68"
②	24"	68"
③	24"	68"
④	72"	54"
⑤	96"	68"
⑥	60"	42"

Committee of Adjustment
Received | Reçu le

2025-02-27

City of Ottawa | Ville d'Ottawa
Comité de dérogation

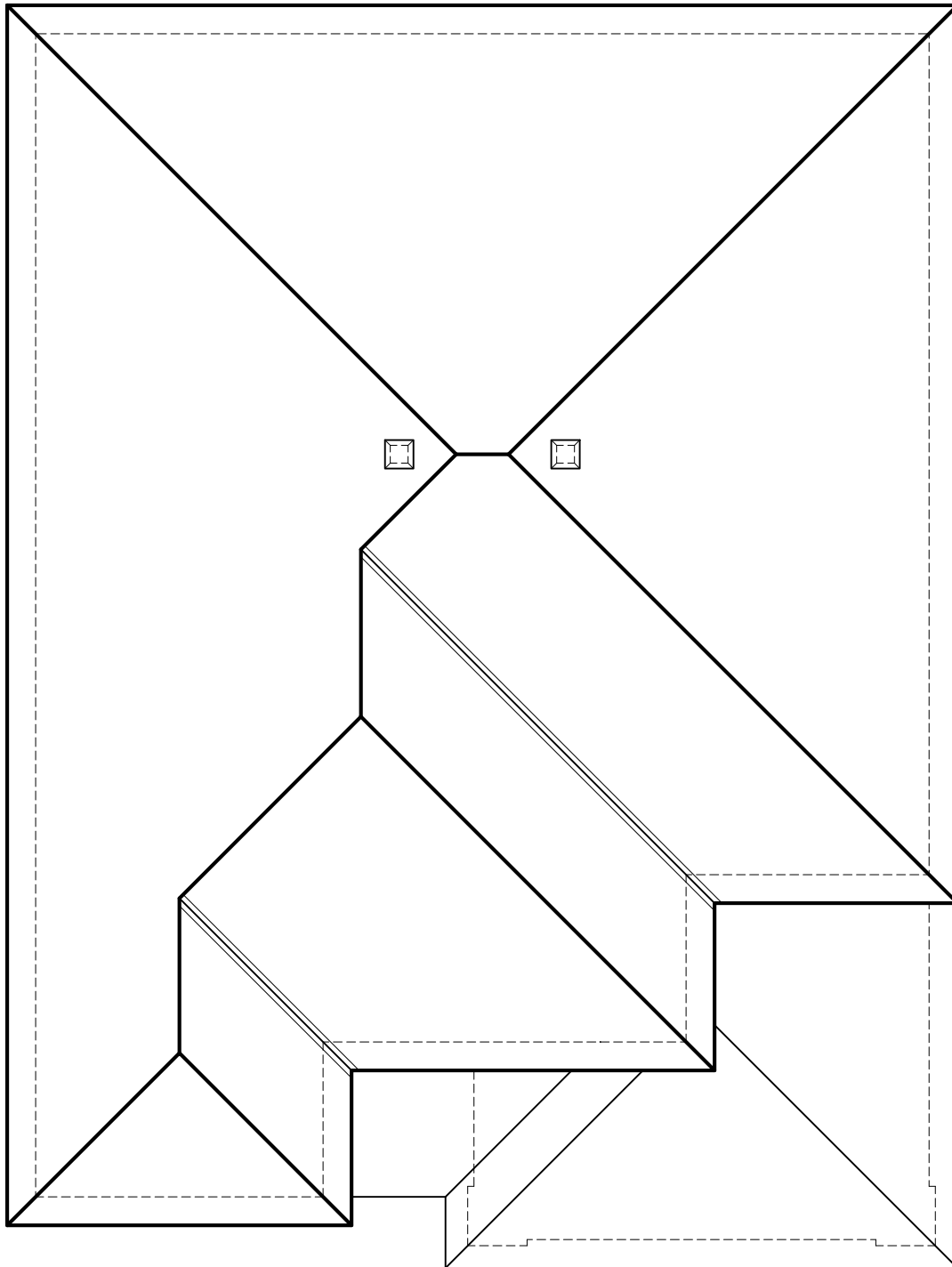


NOTE: CONCEPTUAL PLAN
(DETAILS TO BE FINALIZED)



FRONT ELEVATION (2)

**BELL, HG55A 3,055 SQ.FT.
Brochure Plan - February 10, 2025**







ROOF PLAN

3,590 SQ.FT.

Brochure Plan - January 8, 2023

EXTERIOR FINISH SCHEDULE

-  JAMES HARDIE LAP SIDING
-  JAMES HARDIE 2-TONE LAP SIDING
-  JAMES HARDIE PANEL
-  BRICK VENEER

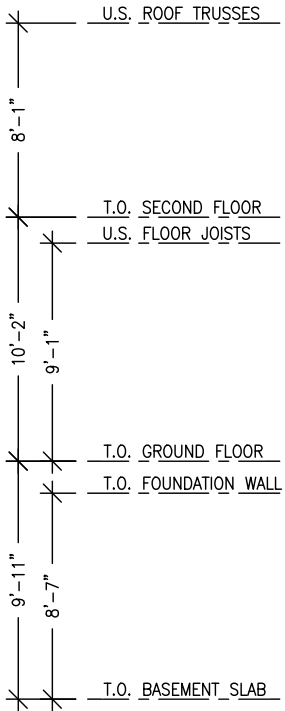
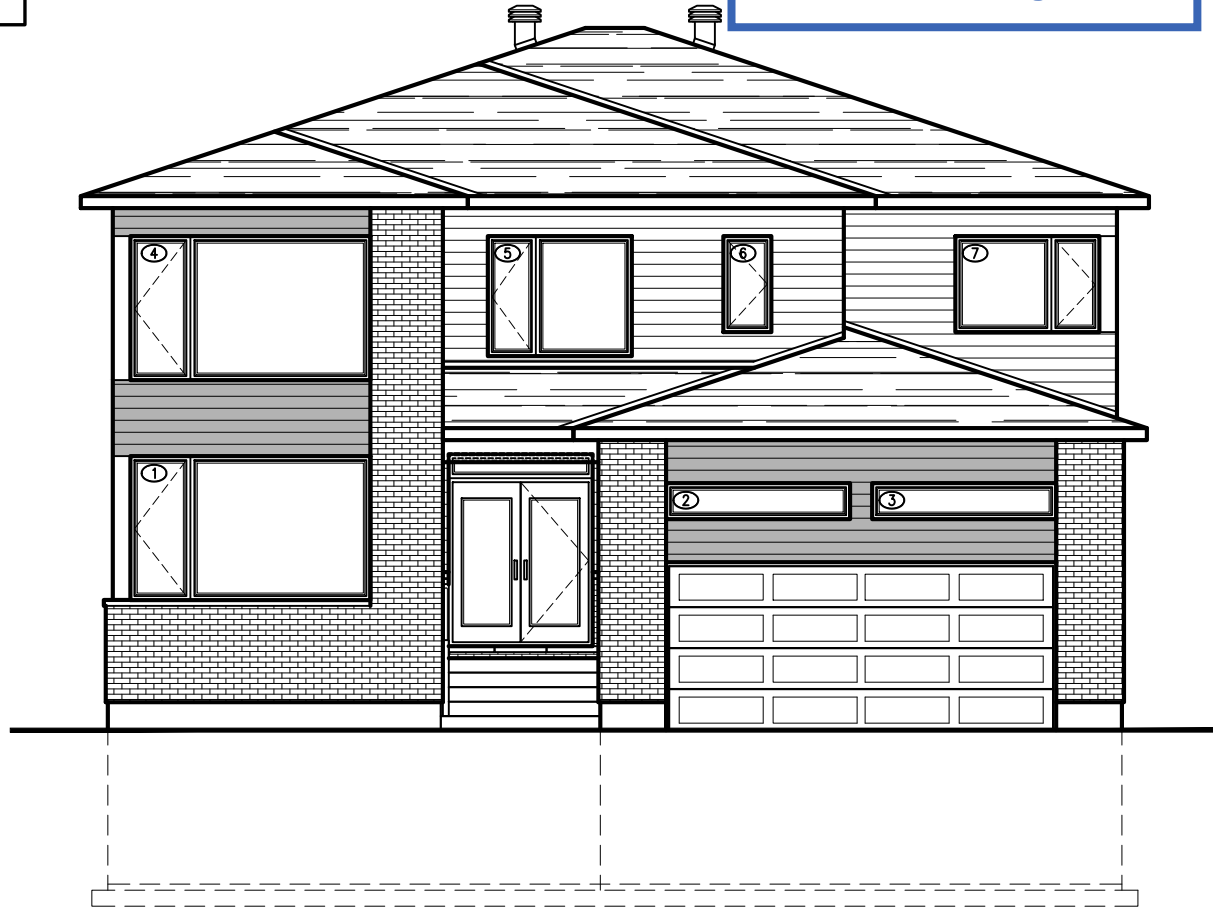
Committee of Adjustment
Received | Reçu le

2025-03-05

City of Ottawa | Ville d'Ottawa
Comité de dérogation

WINDOW SCHEDULE




WINDOW #	WIDTH	HEIGHT
①	120"	72"
②	92"	18"
③	92"	18"
④	120"	72"
⑤	72"	60"
⑥	24"	48"
⑦	72"	48"



FRONT ELEVATION

3,590 SQ.FT.
Brochure Plan - January 8, 2023

EXTERIOR FINISH SCHEDULE

	JAMES HARDIE LAP SIDING
	JAMES HARDIE 2-TONE LAP SIDING
	BRICK VENEER

WINDOW SCHEDULE




WINDOW #	WIDTH	HEIGHT
⑧	24"	48"



RIGHT ELEVATION

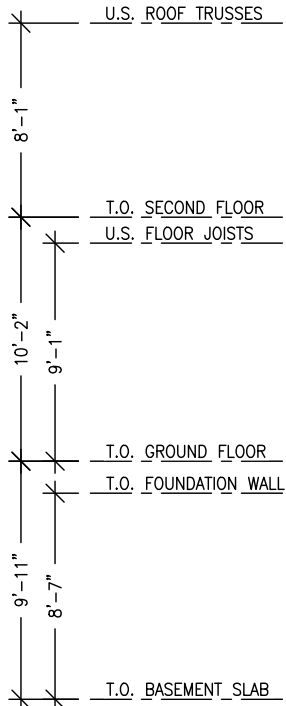
3,590 SQ.FT.
Brochure Plan - January 8, 2023

EXTERIOR FINISH SCHEDULE

	JAMES HARDIE LAP SIDING
	JAMES HARDIE 2-TONE LAP SIDING
	BRICK VENEER

WINDOW SCHEDULE




WINDOW #	WIDTH	HEIGHT
⑨	96"	68"
⑩	48"	48"
⑪	96"	68"
⑫	48"	48"
⑬	56"	32"
⑭	56"	32"



REAR ELEVATION

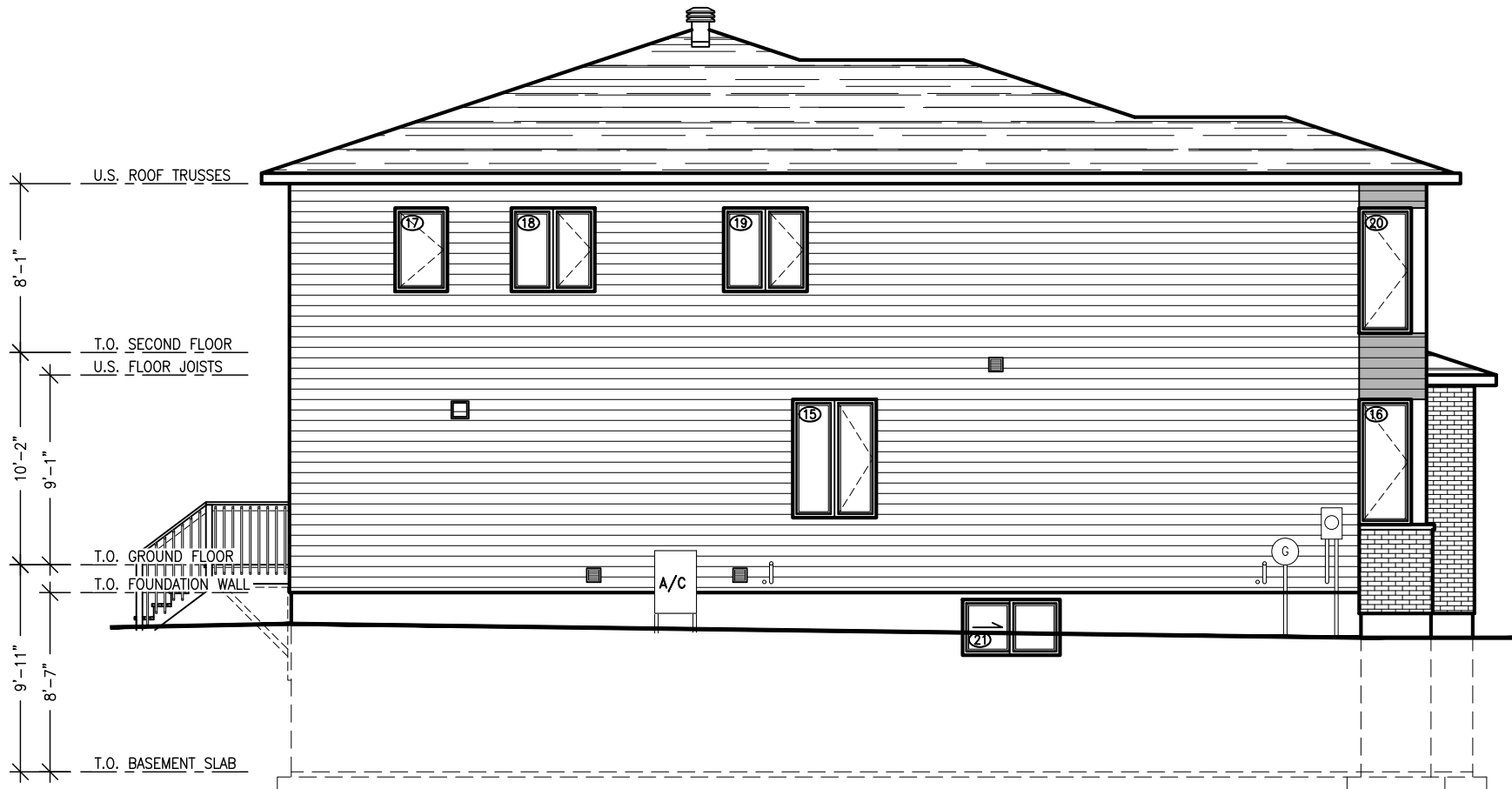
3,590 SQ.FT.
Brochure Plan - January 8, 2023

EXTERIOR FINISH SCHEDULE

	JAMES HARDIE LAP SIDING
	JAMES HARDIE 2-TONE LAP SIDING
	BRICK VENEER

WINDOW SCHEDULE

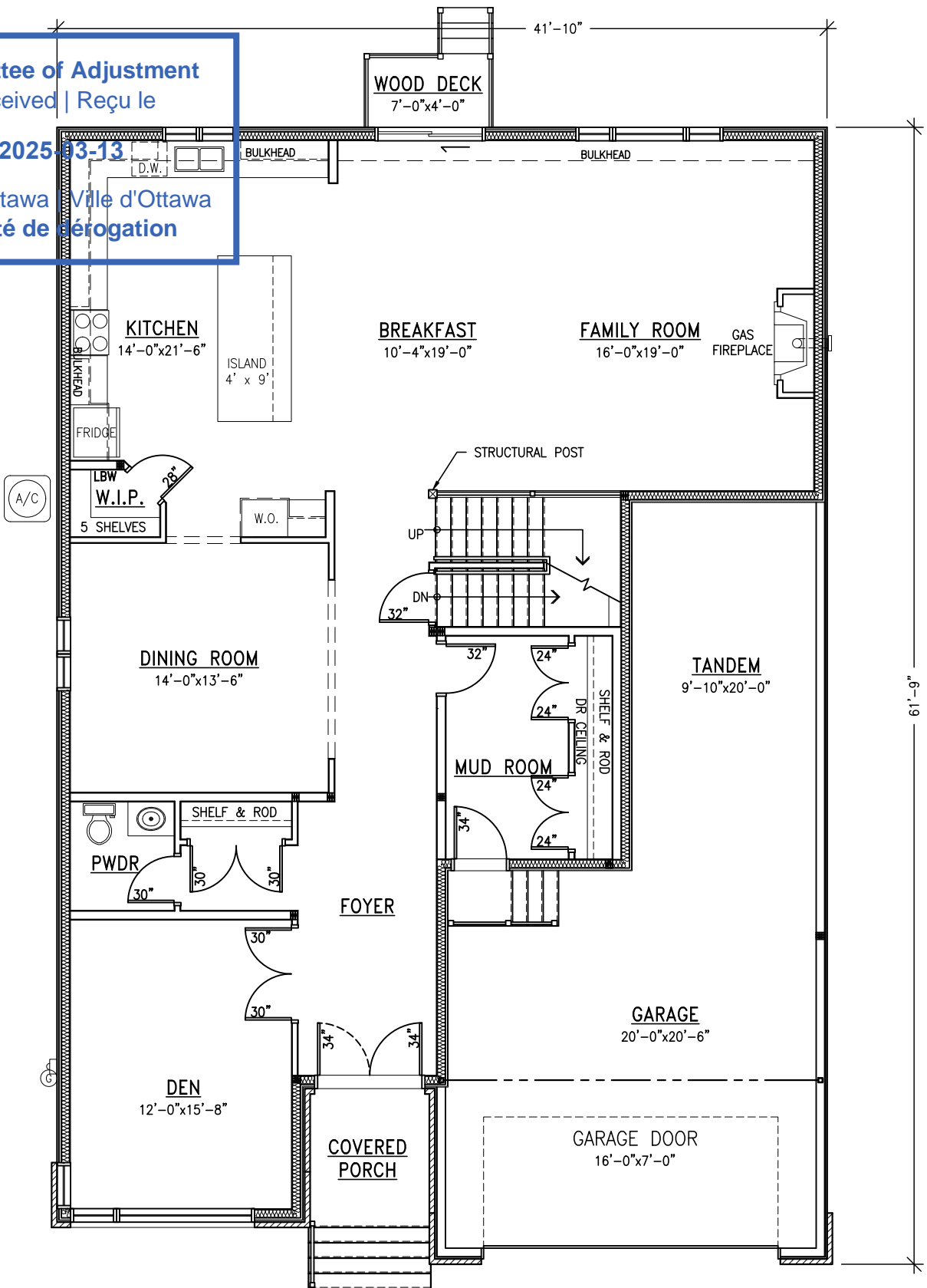
WINDOW #	WIDTH	HEIGHT
⑮	48"	68"
⑯	30"	72"
⑰	30"	48"
⑱	48"	48"
⑳	30"	72"
㉑	56"	32"



LEFT ELEVATION

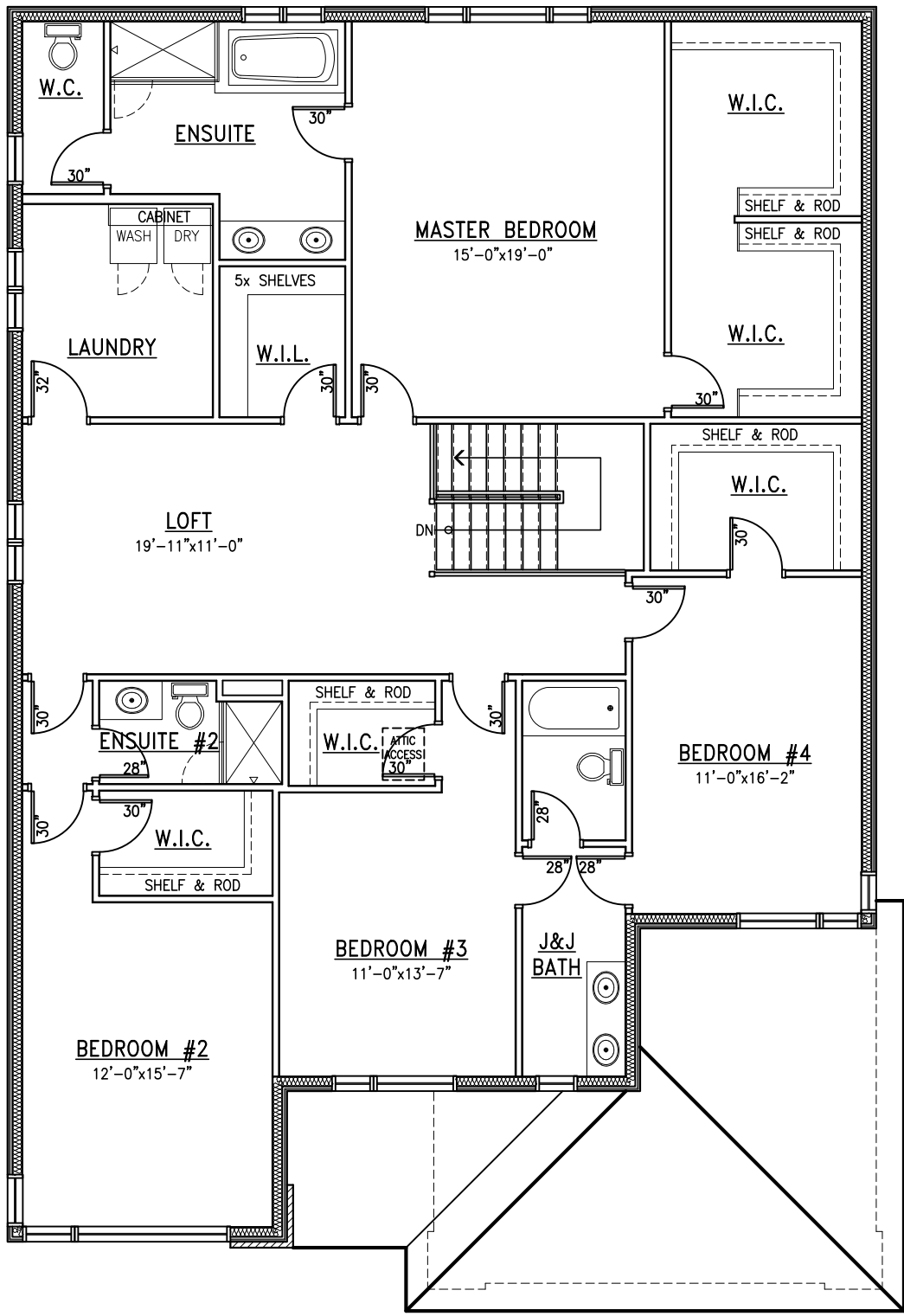
3,590 SQ.FT.
Brochure Plan - January 8, 2023

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 2025-03-13
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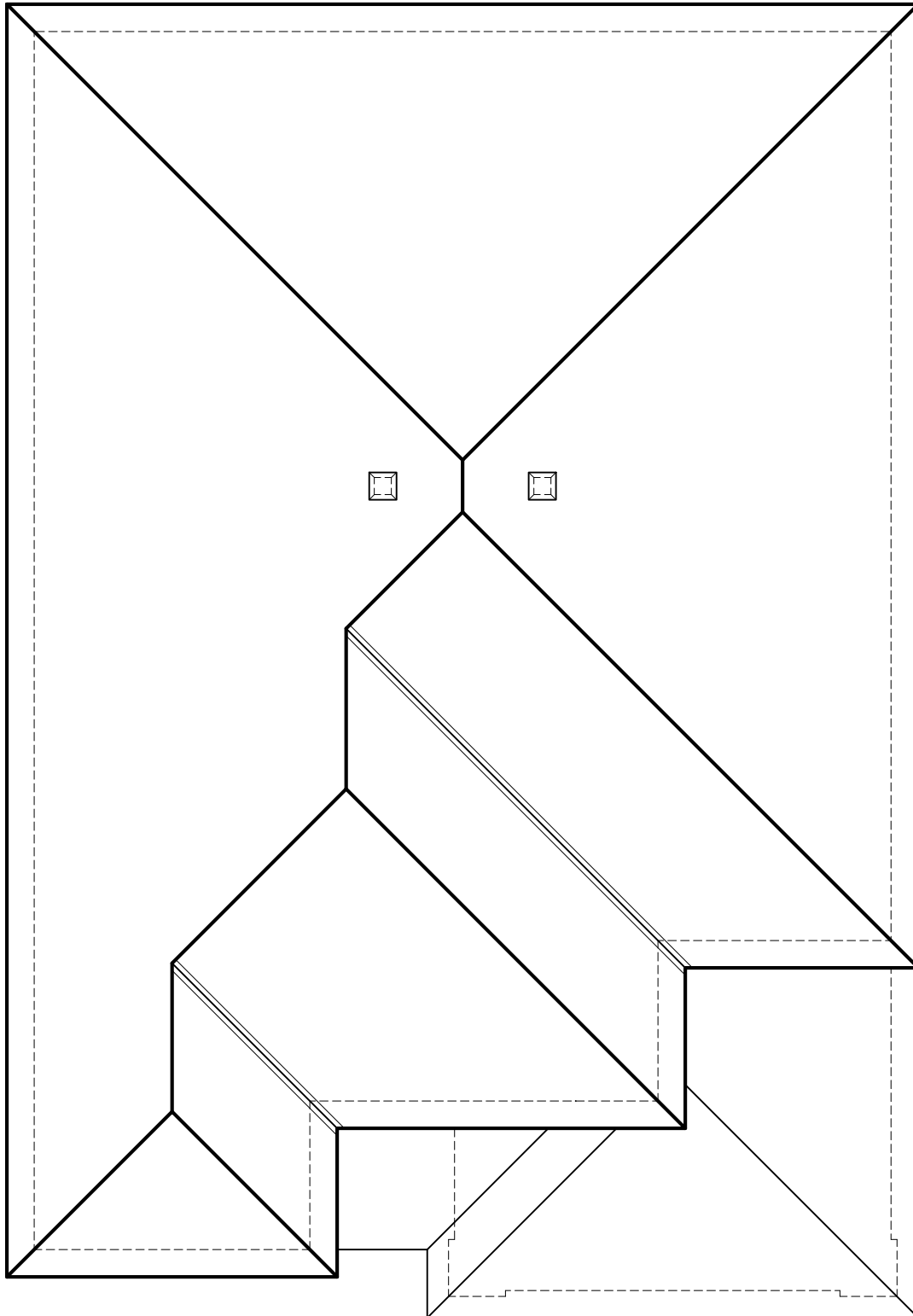
MAIN FLOOR PLAN

HG PART 2 PROPOSAL - 3,990 SQ.FT.
 Brochure Plan - March 11, 2025



SECOND FLOOR PLAN





HG PART 2 PROPOSAL - 3,990 SQ.FT.
Brochure Plan - March 11, 2025



ROOF PLAN

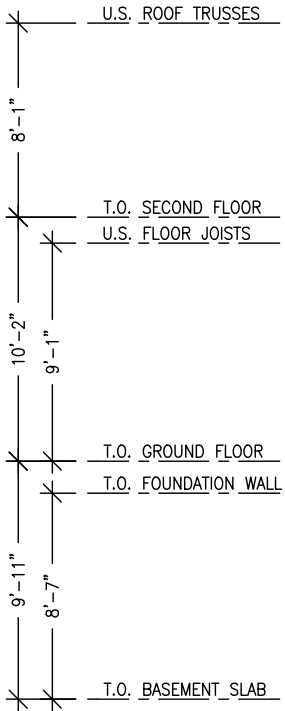
HG PART 2 PROPOSAL - 3,990 SQ.FT.
Brochure Plan - March 11, 2025

EXTERIOR FINISH SCHEDULE

	JAMES HARDIE LAP SIDING
	JAMES HARDIE 2-TONE LAP SIDING
	JAMES HARDIE PANEL
	BRICK VENEER

WINDOW SCHEDULE




WINDOW #	WIDTH	HEIGHT
①	120"	72"
②	92"	18"
③	92"	18"
④	120"	72"
⑤	72"	60"
⑥	24"	48"
⑦	72"	48"



FRONT ELEVATION

**HG PART 2 PROPOSAL - 3,990 SQ.FT.
Brochure Plan - March 11, 2025**

EXTERIOR FINISH SCHEDULE

-  JAMES HARDIE LAP SIDING
-  JAMES HARDIE 2-TONE LAP SIDING
-  BRICK VENEER

WINDOW SCHEDULE




WINDOW #	WIDTH	HEIGHT
⑧	24"	48"



RIGHT ELEVATION

**HG PART 2 PROPOSAL - 3,990 SQ.FT.
Brochure Plan - March 11, 2025**

EXTERIOR FINISH SCHEDULE

	JAMES HARDIE LAP SIDING
	JAMES HARDIE 2-TONE LAP SIDING
	BRICK VENEER

WINDOW SCHEDULE

WINDOW #	WIDTH	HEIGHT
⑨	96"	68"
⑩	48"	48"
⑪	96"	68"
⑫	48"	48"
⑬	56"	32"
⑭	56"	32"



U.S. ROOF TRUSSES
8'-1"

T.O. SECOND FLOOR
U.S. FLOOR JOISTS
10'-2"
9'-1"

T.O. GROUND FLOOR
T.O. FOUNDATION WALL
9'-11"
8'-7"




T.O. BASEMENT SLAB



REAR ELEVATION

**HG PART 2 PROPOSAL - 3,990 SQ.FT.
Brochure Plan - March 11, 2025**

EXTERIOR FINISH SCHEDULE

	JAMES HARDIE LAP SIDING
	JAMES HARDIE 2-TONE LAP SIDING
	BRICK VENEER

WINDOW SCHEDULE

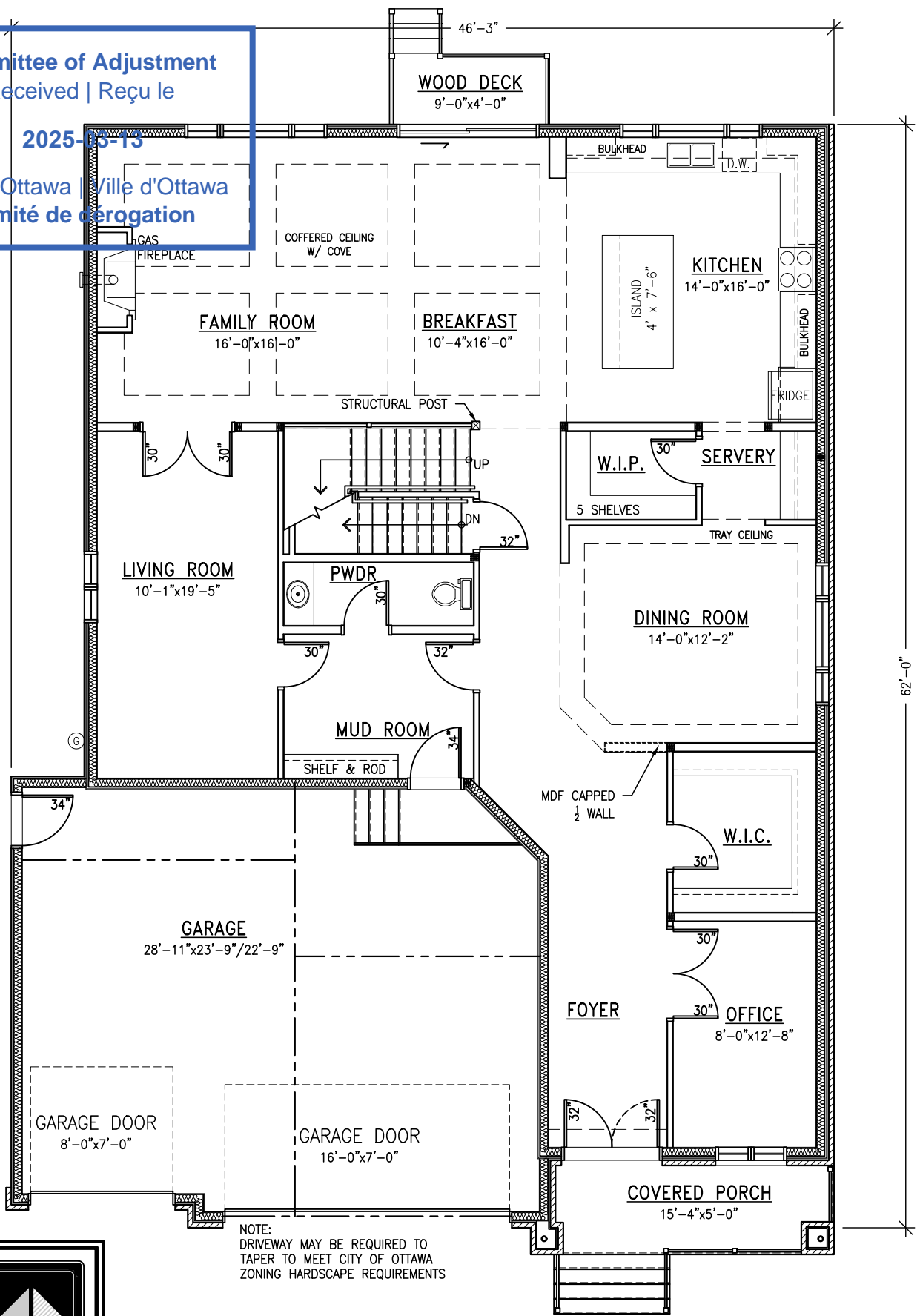
WINDOW #	WIDTH	HEIGHT
⑮	48"	68"
⑯	30"	72"
⑰	30"	48"
⑱	48"	48"
⑳	30"	72"
㉑	56"	32"



LEFT ELEVATION

**HG PART 2 PROPOSAL - 3,990 SQ.FT.
Brochure Plan - March 11, 2025**

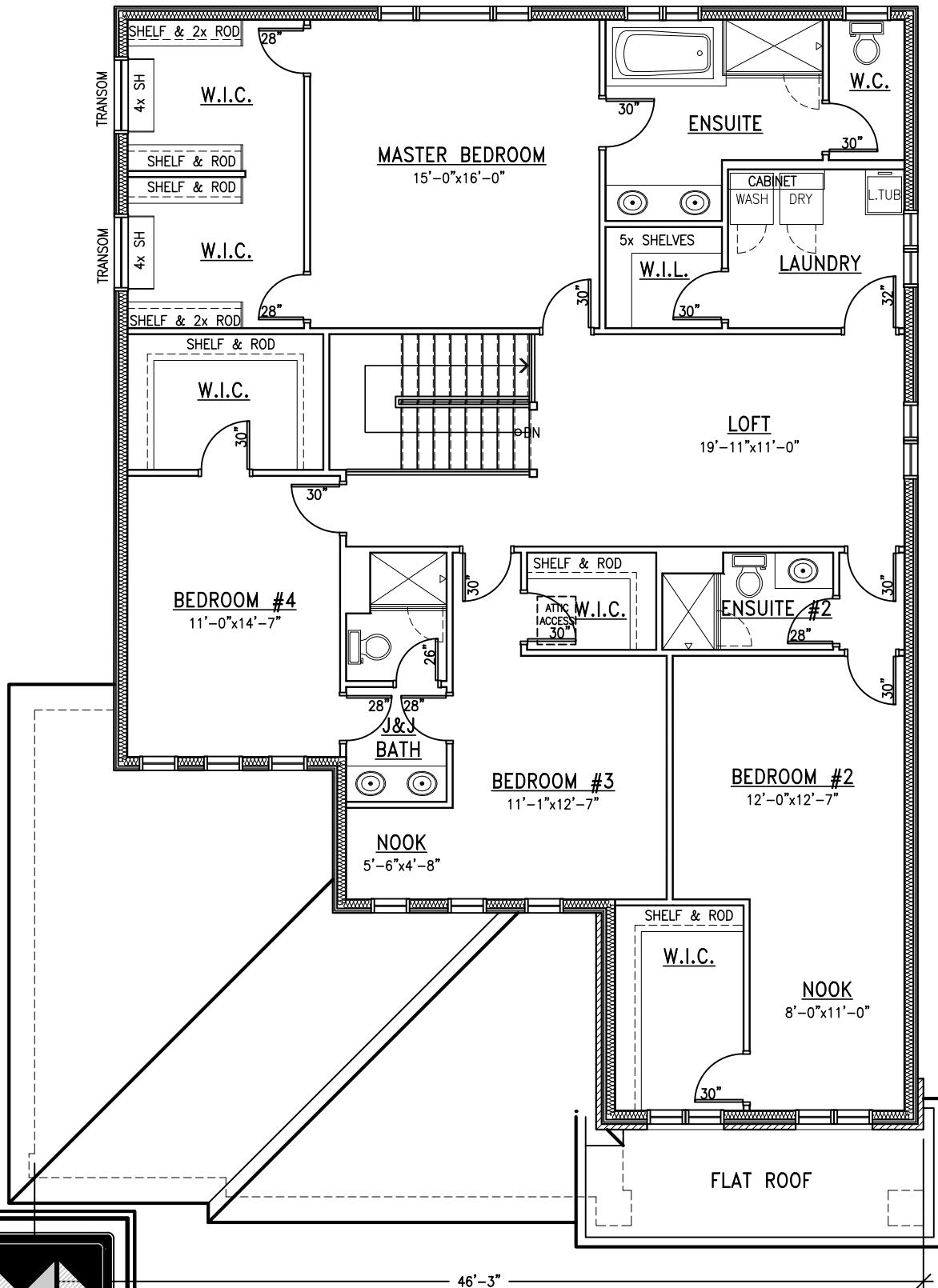
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 2025-03-13
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 Comité de dérogation



NOTE:
 DRIVEWAY MAY BE REQUIRED TO
 TAPER TO MEET CITY OF OTTAWA
 ZONING HARDSCAPE REQUIREMENTS

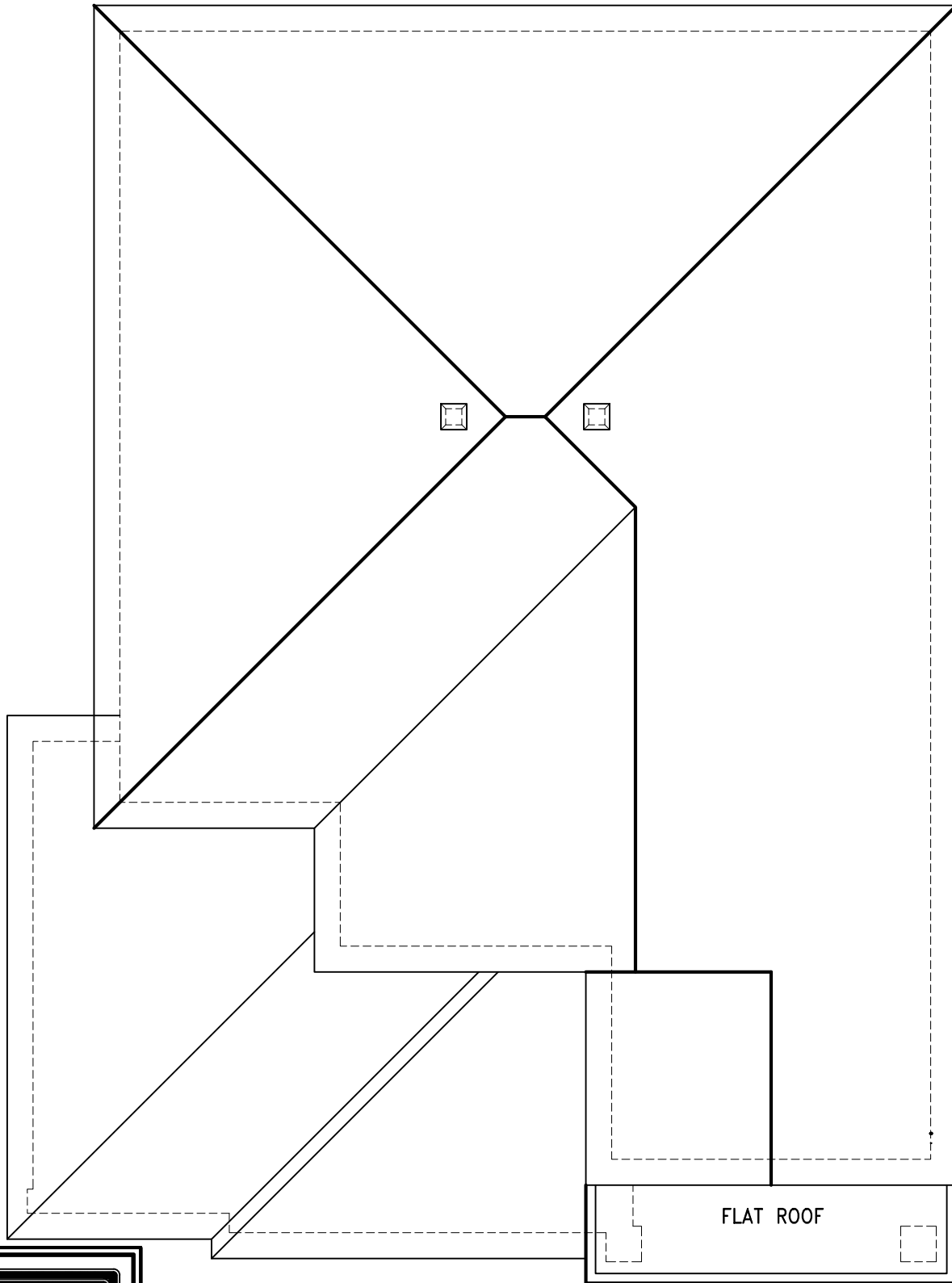


MAIN FLOOR PLAN
HG PART 3 PROPOSAL 3,955 SQ.FT.
Brochure - March 11, 2025



SECOND FLOOR PLAN





**HG PART 3 PROPOSAL 3,955 SQ.FT.
Brochure - March 11, 2025**



ROOF PLAN

HG PART 3 PROPOSAL 3,955 SQ.FT.
Brochure - March 11, 2025

EXTERIOR FINISH SCHEDULE

-  JAMES HARDIE LAP SIDING
-  STUCCO - COLOUR 1
-  STUCCO - COLOUR 2
-  STONE VENEER

WINDOW SCHEDULE





WINDOW #	WIDTH	HEIGHT
①	99"	18"
②	92"	18"
③	92"	18"
④	48"	80"
⑤	24"	68"
⑥	24"	48"
⑦	24"	18"
⑧	24"	60"
⑨	24"	80"
⑩	24"	80"
⑪	48"	80"
⑫	48"	80"



FRONT ELEVATION

**HG PART 3 PROPOSAL 3,955 SQ.FT.
Brochure - March 11, 2025**

EXTERIOR FINISH SCHEDULE

-  JAMES HARDIE LAP SIDING
-  STUCCO - COLOUR 1
-  STUCCO - COLOUR 2
-  STONE VENEER

WINDOW SCHEDULE

WINDOW #	WIDTH	HEIGHT
⑬	30"	80"
⑭	48"	60"
⑮	48"	60"



RIGHT ELEVATION

**HG PART 3 PROPOSAL 3,955 SQ.FT.
Brochure - March 11, 2025**





WINDOW SCHEDULE		
WINDOW #	WIDTH	HEIGHT
①⑥	96"	80"
①⑦	96"	80"
①⑧	30"	54"
①⑨	48"	60"
②⑩	96"	68"
②①	56"	32"
②②	56"	32"
②③	56"	32"



REAR ELEVATION

**HG PART 3 PROPOSAL 3,955 SQ.FT.
Brochure - March 11, 2025**

EXTERIOR FINISH SCHEDULE

-  JAMES HARDIE LAP SIDING
-  STUCCO - COLOUR 1
-  STUCCO - COLOUR 2
-  STONE VENEER

WINDOW SCHEDULE

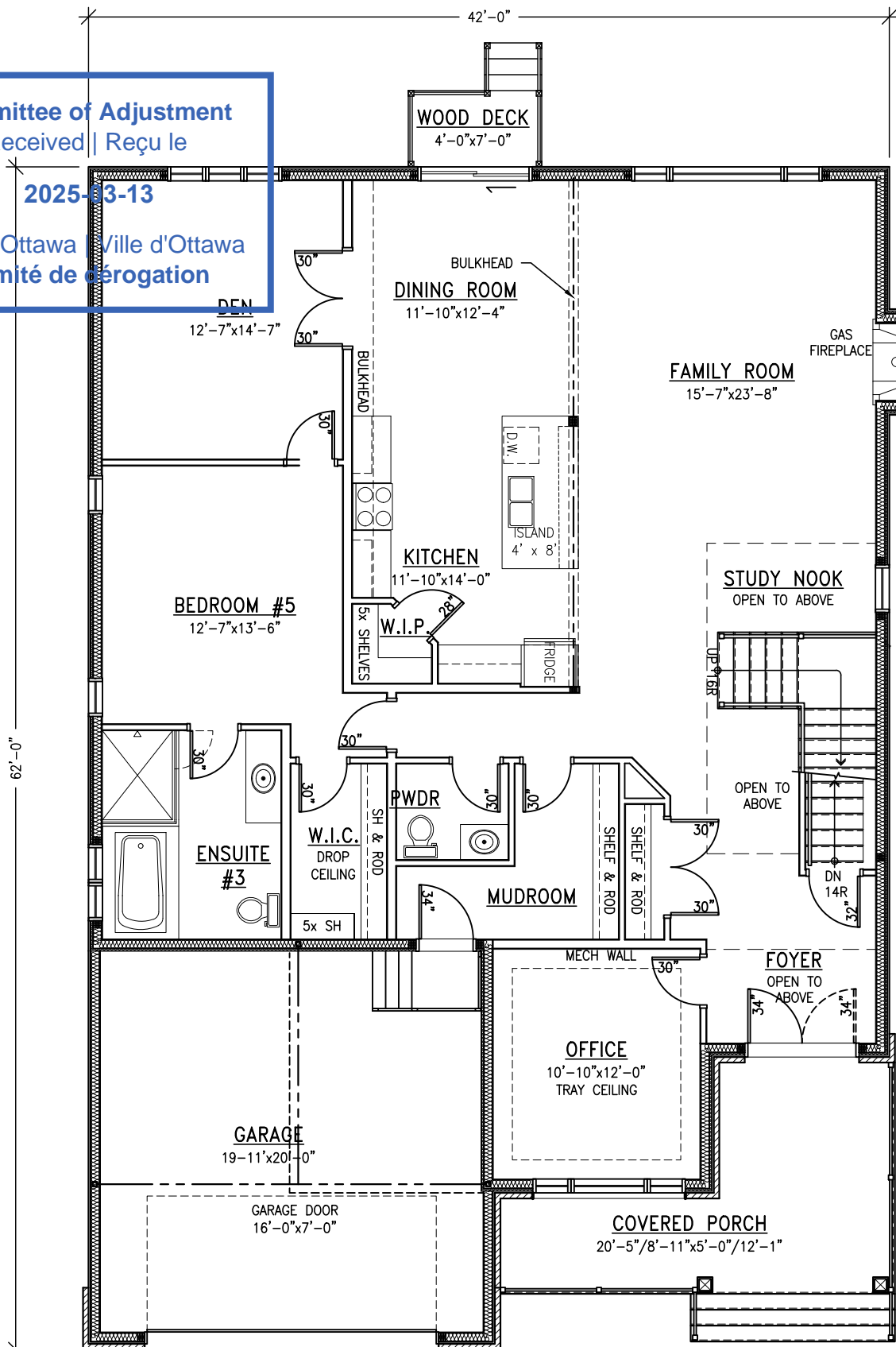
WINDOW #	WIDTH	HEIGHT
24	48"	60"
25	48"	18"
26	48"	18"
27	56"	32"



LEFT ELEVATION

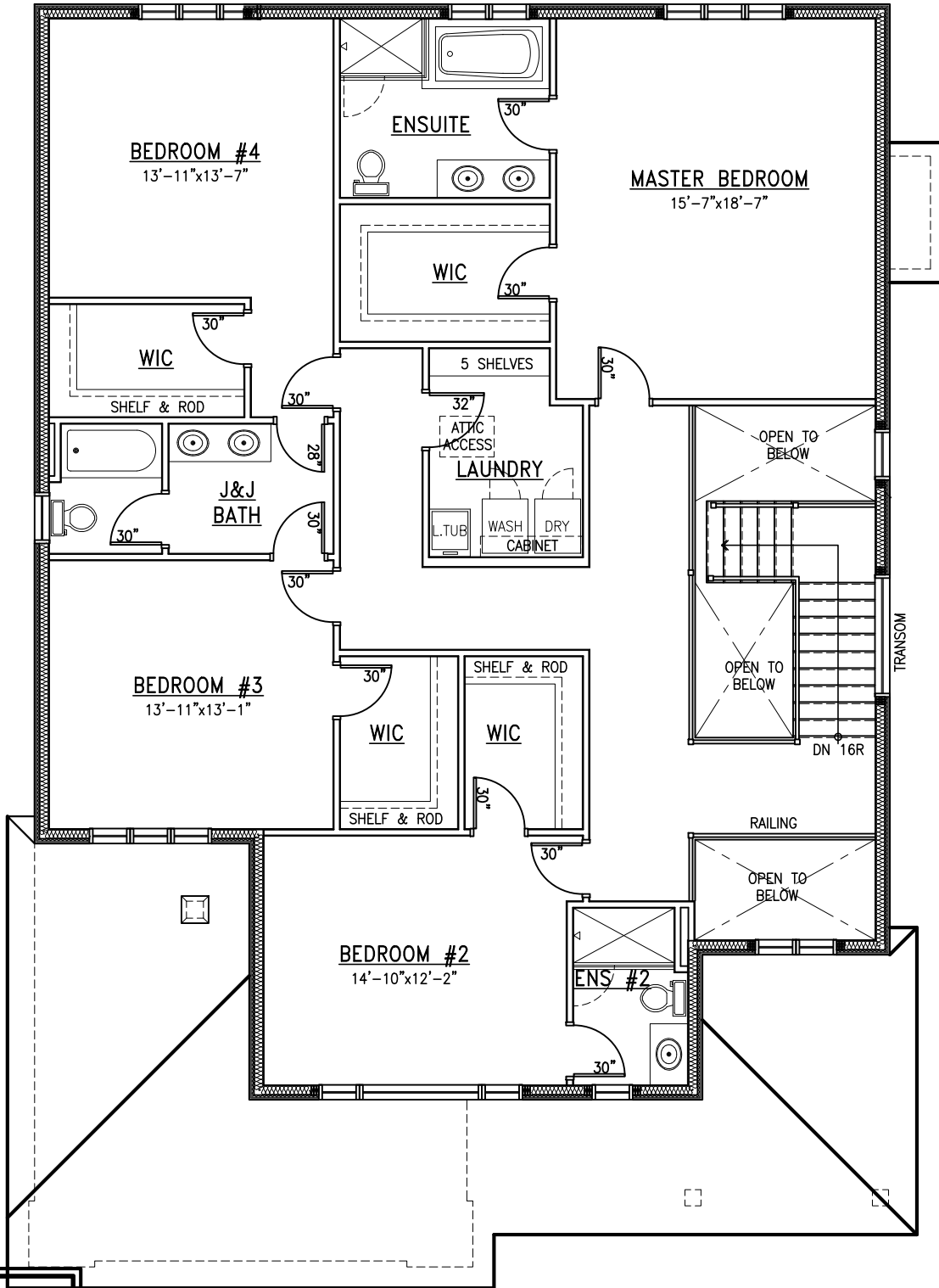
**HG PART 3 PROPOSAL 3,955 SQ.FT.
Brochure - March 11, 2025**

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GROUND FLOOR PLAN

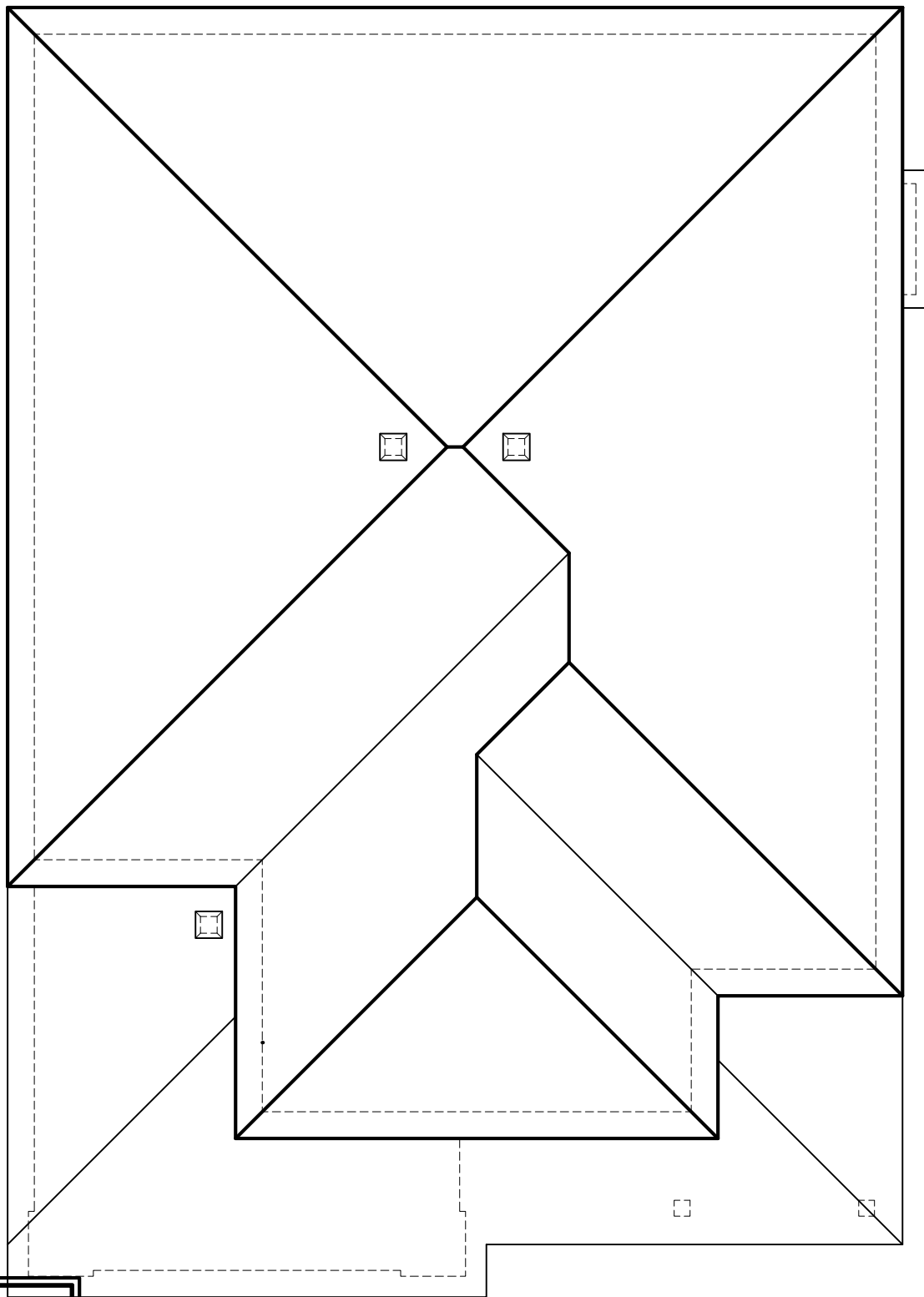
HG PART 1 PROPOSAL - 3,965 SQ.FT.
 Brochure Plan - March 11, 2025



SECOND FLOOR PLAN

HG PART 1 PROPOSAL - 3,965 SQ.FT.
Brochure Plan - March 11, 2025









ROOF PLAN

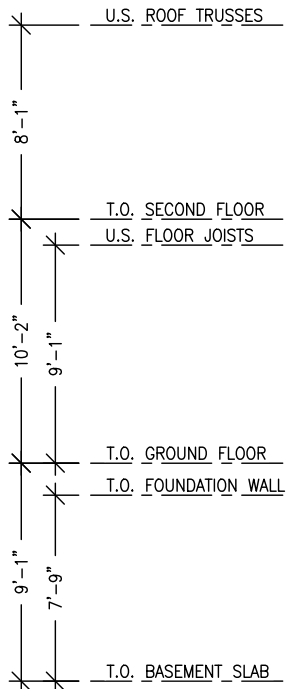
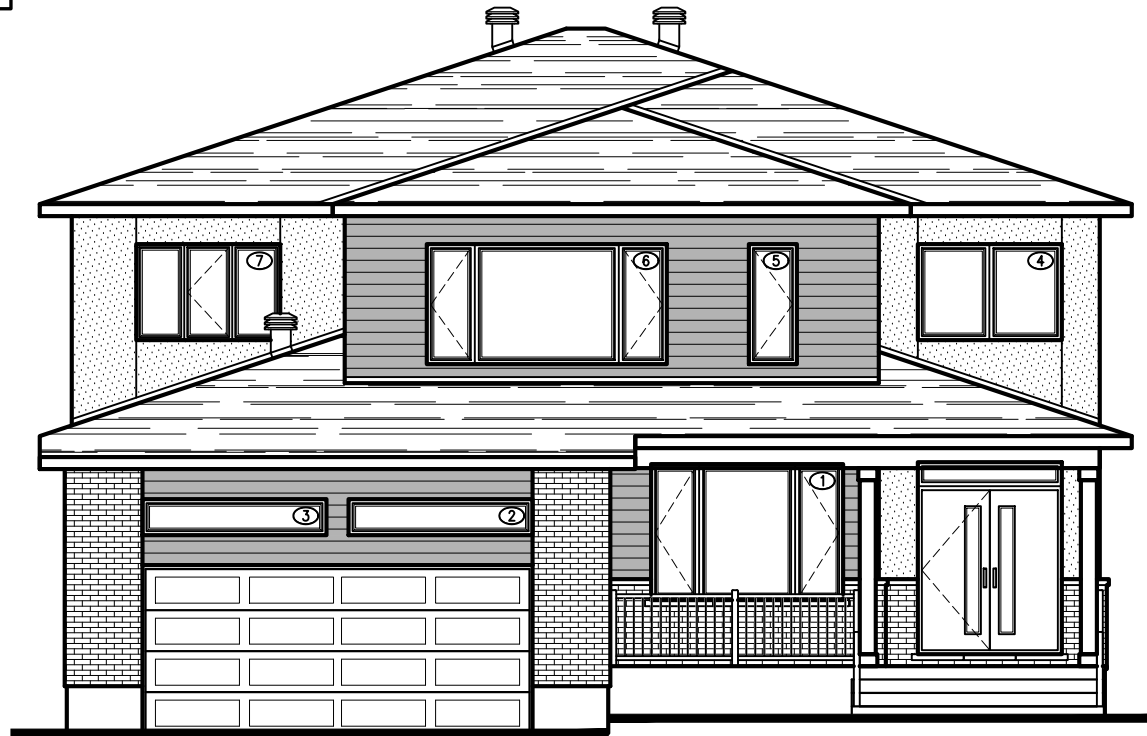
HG PART 1 PROPOSAL - 3,965 SQ.FT.
Brochure Plan - March 11, 2025

EXTERIOR FINISH SCHEDULE

	JAMES HARDIE LAP SIDING
	JAMES HARDIE 2-TONE LAP SIDING
	JAMES HARDIE PANEL
	BRICK VENEER

WINDOW SCHEDULE




WINDOW #	WIDTH	HEIGHT
①	96"	68"
②	92"	18"
③	92"	18"
④	72"	48"
⑤	24"	60"
⑥	120"	60"
⑦	72"	48"



FRONT ELEVATION

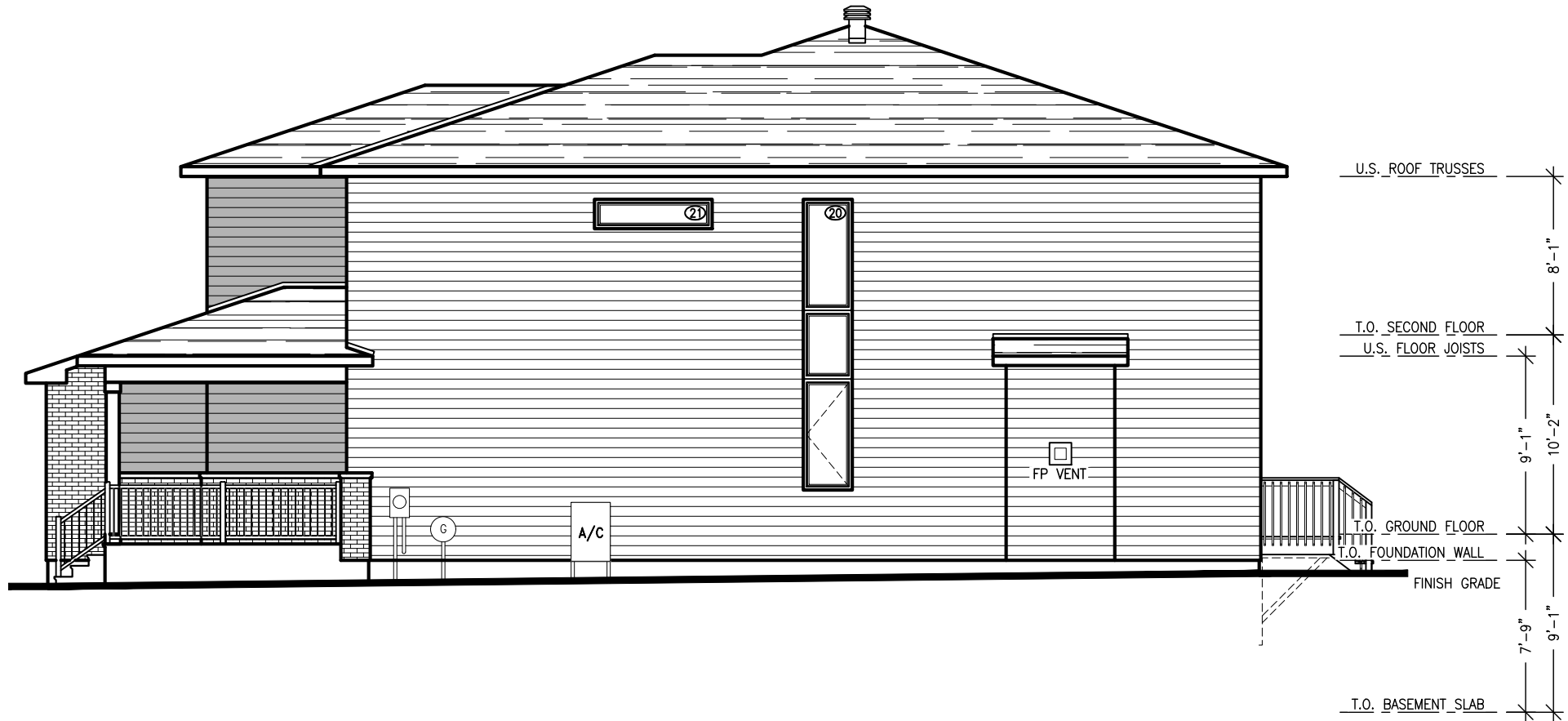
**HG PART 1 PROPOSAL - 3,965 SQ.FT.
Brochure Plan - March 11, 2025**

EXTERIOR FINISH SCHEDULE

	JAMES HARDIE LAP SIDING
	JAMES HARDIE 2-TONE LAP SIDING
	BRICK VENEER

WINDOW SCHEDULE




WINDOW #	WIDTH	HEIGHT
②①	30"	178"
②②	72"	18"



RIGHT ELEVATION

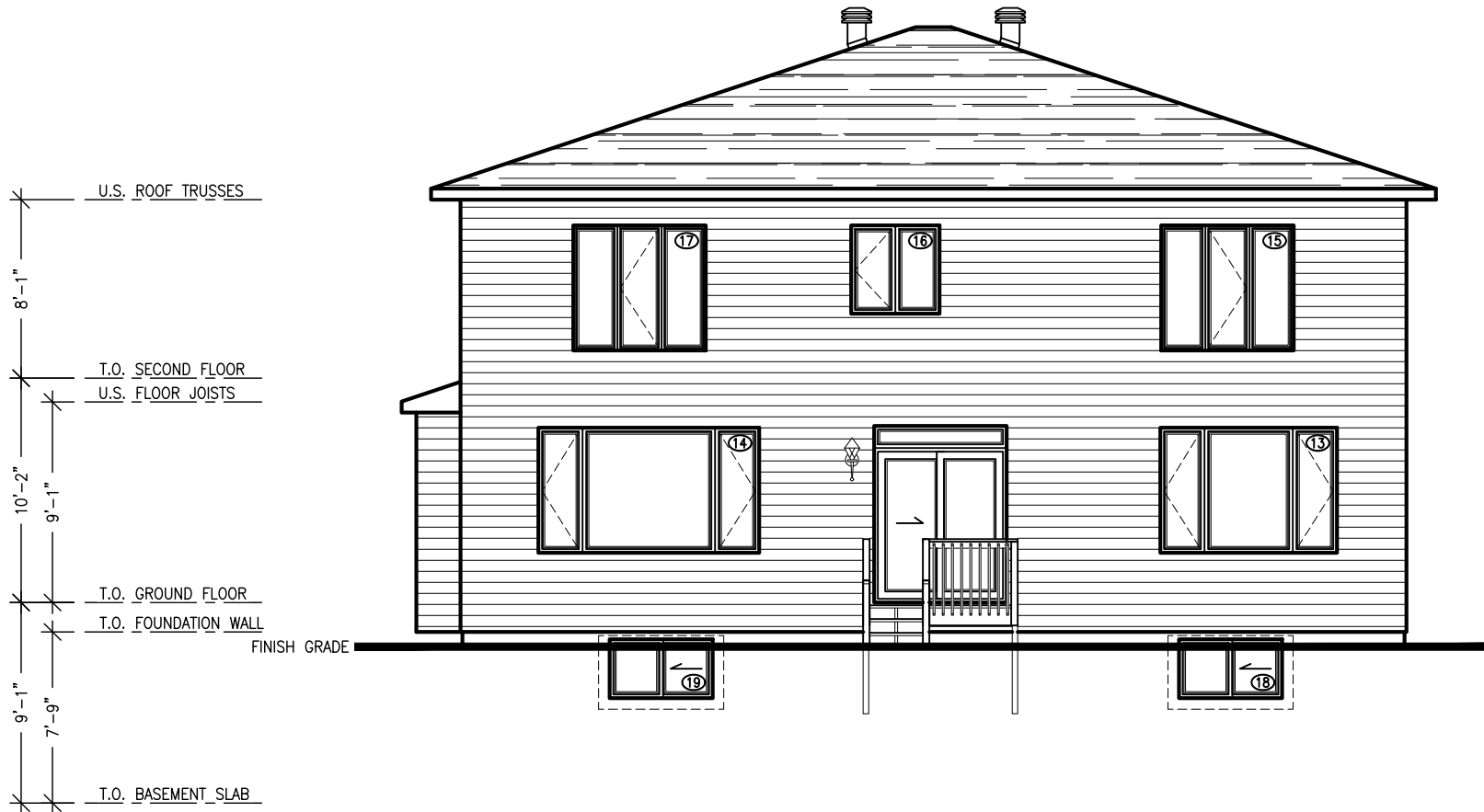
**HG PART 1 PROPOSAL - 3,965 SQ.FT.
Brochure Plan - March 11, 2025**

EXTERIOR FINISH SCHEDULE

-  JAMES HARDIE LAP SIDING
-  JAMES HARDIE 2-TONE LAP SIDING
-  BRICK VENEER

WINDOW SCHEDULE




WINDOW #	WIDTH	HEIGHT
⑬	96"	68"
⑭	120"	68"
⑮	72"	68"
⑯	48"	48"
⑰	72"	68"
⑱	56"	32"



REAR ELEVATION

**HG PART 1 PROPOSAL - 3,965 SQ.FT.
Brochure Plan - March 11, 2025**

EXTERIOR FINISH SCHEDULE

	JAMES HARDIE LAP SIDING
	JAMES HARDIE 2-TONE LAP SIDING
	BRICK VENEER

WINDOW SCHEDULE

WINDOW #	WIDTH	HEIGHT
⑧	48"	60"
⑨	24"	60"
⑩	24"	60"
⑪	30"	48"



LEFT ELEVATION

**HG PART 1 PROPOSAL - 3,965 SQ.FT.
Brochure Plan - March 11, 2025**