

**SURVEYOR'S REAL PROPERTY REPORT WITH TOPOGRAPHIC DETAILS**  
**PART 1 - PLAN SHOWING**  
**PART OF LOT 1354**  
**REGISTERED PLAN 157**  
**CITY OF OTTAWA**

SCALE 1 : 150  
 2.5 0 2.5 5 10 metres

J.D. BARNES LIMITED  
 © COPYRIGHT 2025  
**METRIC** DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NOTES**  
 BEARINGS ARE MTM GRID, AND DERIVED FROM GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) BY REAL TIME NETWORK (RTN) OBSERVATIONS, MTM ZONE 9, NAD 83, (CSRS) (2010.0).  
 FOR BEARING COMPARISONS, A COUNTER-CLOCKWISE ROTATION OF 0°33'08" WAS APPLIED TO BEARINGS ON REGISTERED PLAN 157.  
 FOR BEARING COMPARISONS, A COUNTER-CLOCKWISE ROTATION OF 0°32'38" WAS APPLIED TO BEARINGS ON PLAN SR-11204.  
 DISTANCES ARE GROUND.  
 COMPLIANCE WITH ONTARIO BUILDING CODE SETBACK REQUIREMENTS ARE NOT VERIFIED BY THIS SURVEY.  
 ALL SET SSIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

**PART 2 - SURVEY REPORT**  
 - DESCRIPTION  
 PART OF LOT 1354 ON REGISTERED PLAN 157, BEING ALL OF PIN 04035-0110 (LT), IN THE CITY OF OTTAWA  
 - REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY  
 NONE  
 - BOUNDARY FEATURES  
 NOTE LOCATION OF THE BOARD FENCE, POLE, CHAIN LINK FENCE, AND THE FRAME GARAGE ALONG THE WESTERLY LIMIT OF THE SUBJECT PROPERTY  
 NOTE LOCATION OF THE CEDAR HEDGE, THE CHAIN LINK FENCE, THE ASPHALT, THE OVERHEAD HYDRO WIRE, THE WOOD GATE AND THE OVERHANGS ALONG THE SOUTHERLY LIMIT OF THE SUBJECT PROPERTY  
 NOTE LOCATION OF THE GRAVEL DRIVEWAY, THE TELEPHONE CABLE, THE WOOD DECK, THE CONCRETE STEPS AND THE ASPHALT ALONG THE EASTERLY LIMIT OF THE SUBJECT PROPERTY  
 NOTE LOCATION OF THE GRAVEL DRIVEWAY AND FRAME GARAGE ALONG THE NORTHERLY LIMIT OF THE SUBJECT PROPERTY

**LEGEND**

■	DENOTES SURVEY MONUMENT FOUND	○	DENOTES STANDARD IRON BAR
□	DENOTES SURVEY MONUMENT SET	○	DENOTES ROUND IRON BAR
SIB	DENOTES ROUND IRON BAR	IB	DENOTES IRON BAR
IB	DENOTES IRON BAR	PB	DENOTES PLASTIC BAR
PB	DENOTES PLASTIC BAR	CALC	DENOTES CALCULATED
MEAS	DENOTES MEASURED	OU	DENOTES ORIGIN UNKNOWN
D	DENOTES INSTRUMENT NUMBER CR620761	D2	DENOTES INSTRUMENT NUMBER NS53908
P	DENOTES REGISTERED PLAN 157	P1	DENOTES PLAN SR-11204
P2	DENOTES SURVEYOR'S REAL PROPERTY REPORT BY FARLEY, SMITH & DENIS SURVEYING LTD., DATED JANUARY 24, 2023	P3	DENOTES SURVEYOR'S REAL PROPERTY REPORT BY PAUL A. RIDDELL LTD., DATED MAY 27, 2003
P4	DENOTES PLAN SR-7962	647	DENOTES H.R. FARLEY, O.L.S.
857	DENOTES FAIRHALL, MOFFATT & WOODLAND LTD.	1236	DENOTES PAUL A. RIDDELL, LTD.
1236	DENOTES PAUL A. RIDDELL, LTD.	—	DENOTES PROPERTY LINE

N=NORTH / S=SOUTH / E=EAST / W=WEST

**TOPOGRAPHIC LEGEND**

FDN	DENOTES FOUNDATION
CONC	DENOTES CONCRETE
C/L	DENOTES CENTERLINE
OH	DENOTES OVERHANG
EA	DENOTES EDGE OF ASPHALT
EG	DENOTES EDGE OF GRAVEL
TOW	DENOTES TOP OF WALL
BF	DENOTES BOARD FENCE
CLF	DENOTES CHAIN LINK FENCE
GM	DENOTES GAS METER
BOL	DENOTES BOLLARD
WK	DENOTES WATER KEY
E_TRANS	DENOTES HYDRO TRANSFORMER
MH_STM	DENOTES STORM MANHOLE
MH_SAN	DENOTES SANITARY MANHOLE
E	DENOTES OVERHEAD HYDRO CABLE
T	DENOTES OVERHEAD TELEPHONE CABLE
STM	DENOTES UNDERGROUND STORM SEWER
SAN	DENOTES UNDERGROUND SANITARY SEWER

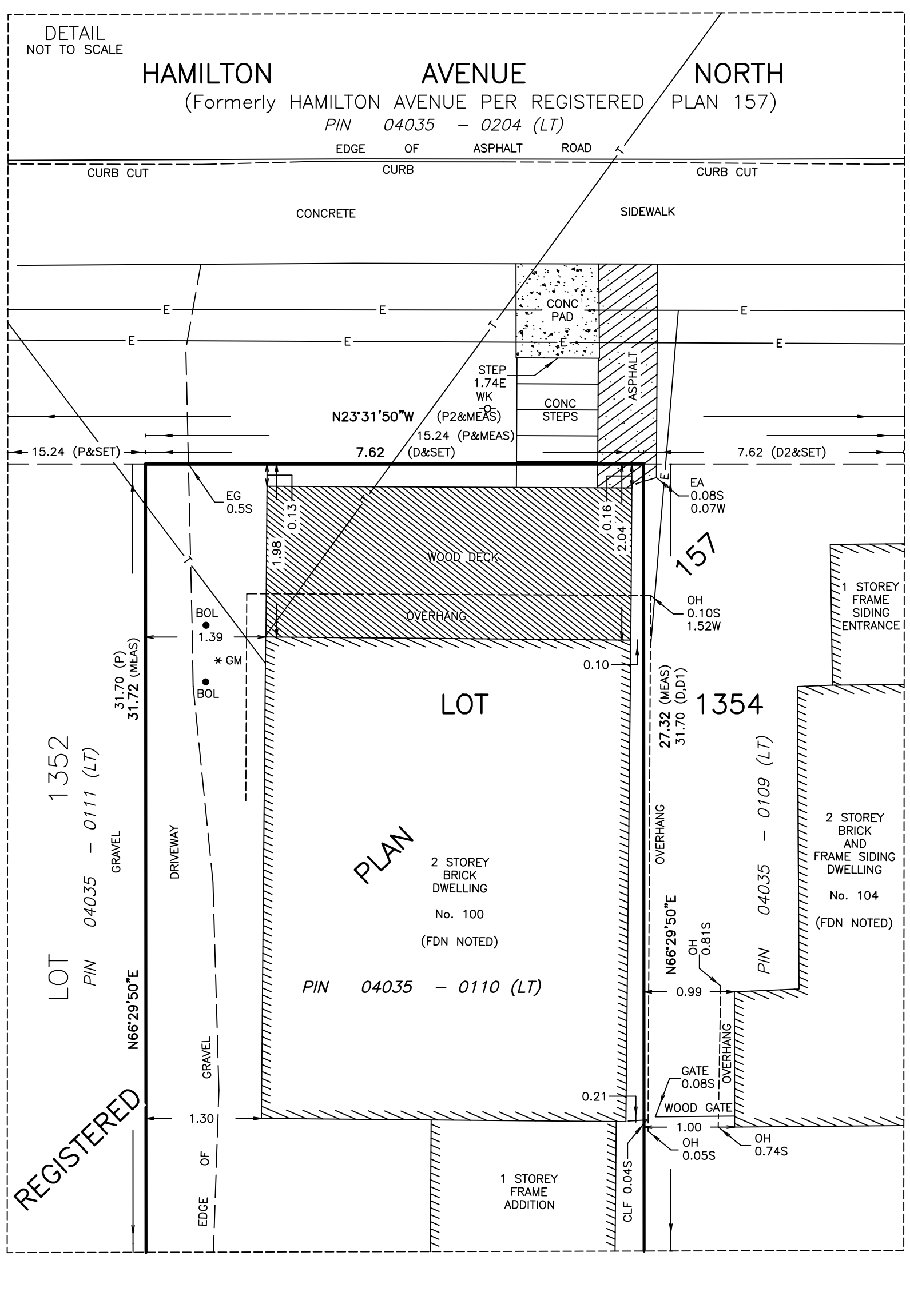
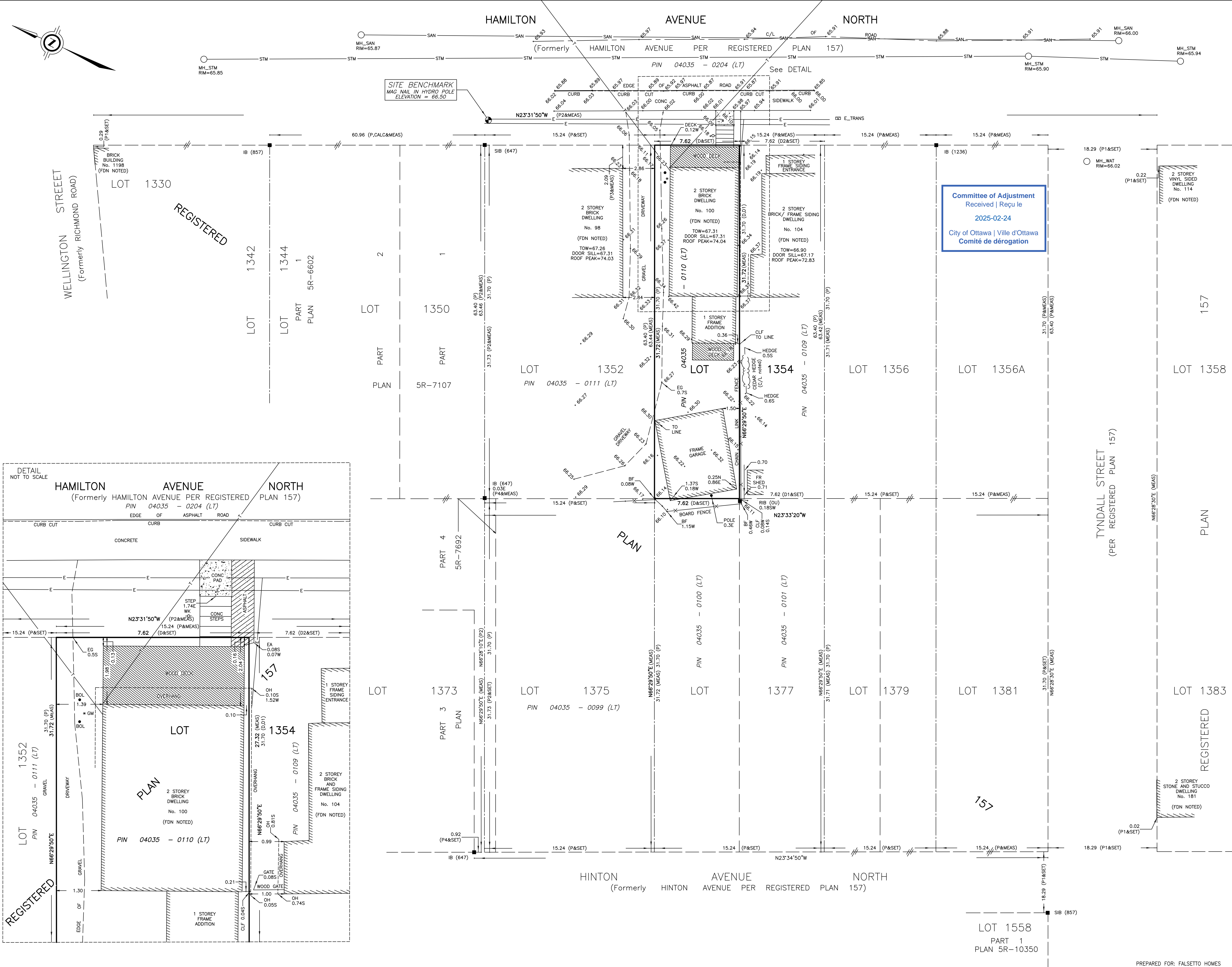
**ELEVATION NOTE:**  
 1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.  
 2. ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF OTTAWA CONTROL POINT 2016-0105 HAVING A PUBLISHED ELEVATION OF 60.14 METRES (CGVD28:78).

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON X, 2025.

JANUARY 6, 2025 DATE  
 GEORGE ZERVOS ONTARIO LAND SURVEYOR  
 THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-76766

**J.D. BARNES LIMITED**  
 LAND INFORMATION SPECIALISTS  
 62 STEACIE DRIVE, SUITE 105, KANATA, ON K2K 2A9  
 T: (613) 751-7244 F: (613) 254-8659 www.jdbarnes.com

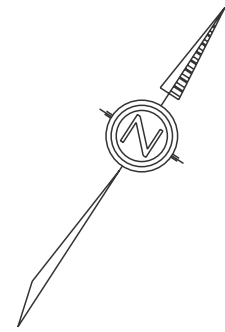
DRAWN BY: RP CHECKED BY: NS/GZ REFERENCE NO.: 24-10-131-00  
 DATE: 01/06/25 PLOT DATE: 1/9/2025 2:49 PM





# SITE PLAN

1:75



Committee of Adjustment  
Received | Reçu le  
**Revised | Modifié le : 2025-03-04**  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation

TWO STOREY BRICK SEMI DETACHED HOUSE  
WITH A FLAT ROOF



BEECHWOOD BUILDING  
DESIGN SERVICES

ADDRESS:

100 HAMILTON  
AVE. NORTH.,  
OTTAWA, ON

PART OF LOT  
1354  
REGISTERED PLAN  
157  
CITY OF OTTAWA

ADDITIONAL  
INFORMATION:

INFORMATION  
DERIVED FROM  
J.D. BARNES LTD.  
SURVEYORS

DATE: 01/06/25

REFERENCE NO:  
24-10-131-00

REVISION DATES:

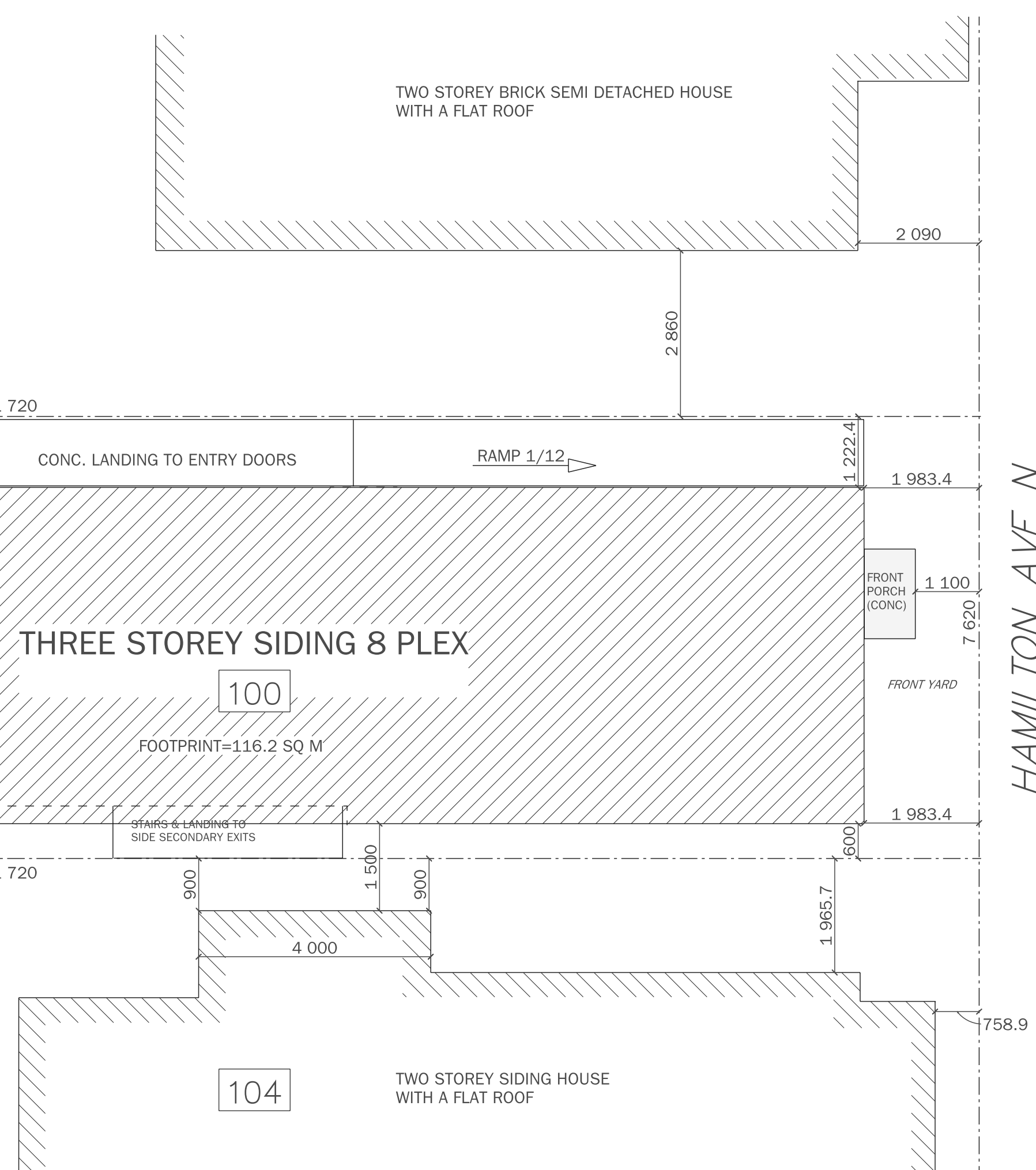
NOTES & REVISION DATES:

MARCH 3, 2025

ALL DRAWINGS IN THIS  
SET DRAWN BY:

DEAN BUCHHOLZ  
BCIN 38070  
FIRM 27040

## A-01



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer:  
**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.4.1. (2) & (4) of the Ontario Building Code.  
 DEAN BUCHHOLZ *Dean Buchholz* 38070  
 name: Signature BCIN #:  
**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.4.1. (2) & (4) of the Ontario Building Code.  
 BEECHWOOD BUILDING DESIGN SERVICES 27040  
 Firm Name: BCIN #:  
 DATE: 2025-02-08

# Minor Variance Applications

- a) To permit a reduced lot width of 7.62 metres; whereas the By-law requires a minimum lot width of 10.0 metres for an eight-unit, low-rise apartment dwelling (Part 6, Table 162A, Subzone R4UB, Column IV).
- b) To permit a reduced lot area of 241 square metres; whereas the By-law requires a minimum lot area of 300 square metres for an eight-unit, low-rise apartment dwelling (Part 6, Table 162A, Subzone R4UB, Column V).
- c) To permit a reduced interior side yard setback of 0.6 metres on the south side of the Subject Site; whereas the By-law requires a minimum interior side yard setback of 1.5m for an eight-unit, low-rise apartment dwelling (Part 6, Table 162A, Subzone R4UB, Column X).
- d) To permit a reduced interior side yard setback of 1.2 metres on the north side of the Subject Site; whereas the By-law requires a minimum interior side yard setback of 1.5m for an eight-unit, low-rise apartment dwelling (Part 6, Table 162A, Subzone R4UB, Column X).

**Committee of Adjustment**  
 Received | Reçu le  
**Revised | Modifié le : 2025-03-04**  
 City of Ottawa | Ville d'Ottawa  
**Comité de dérogation**



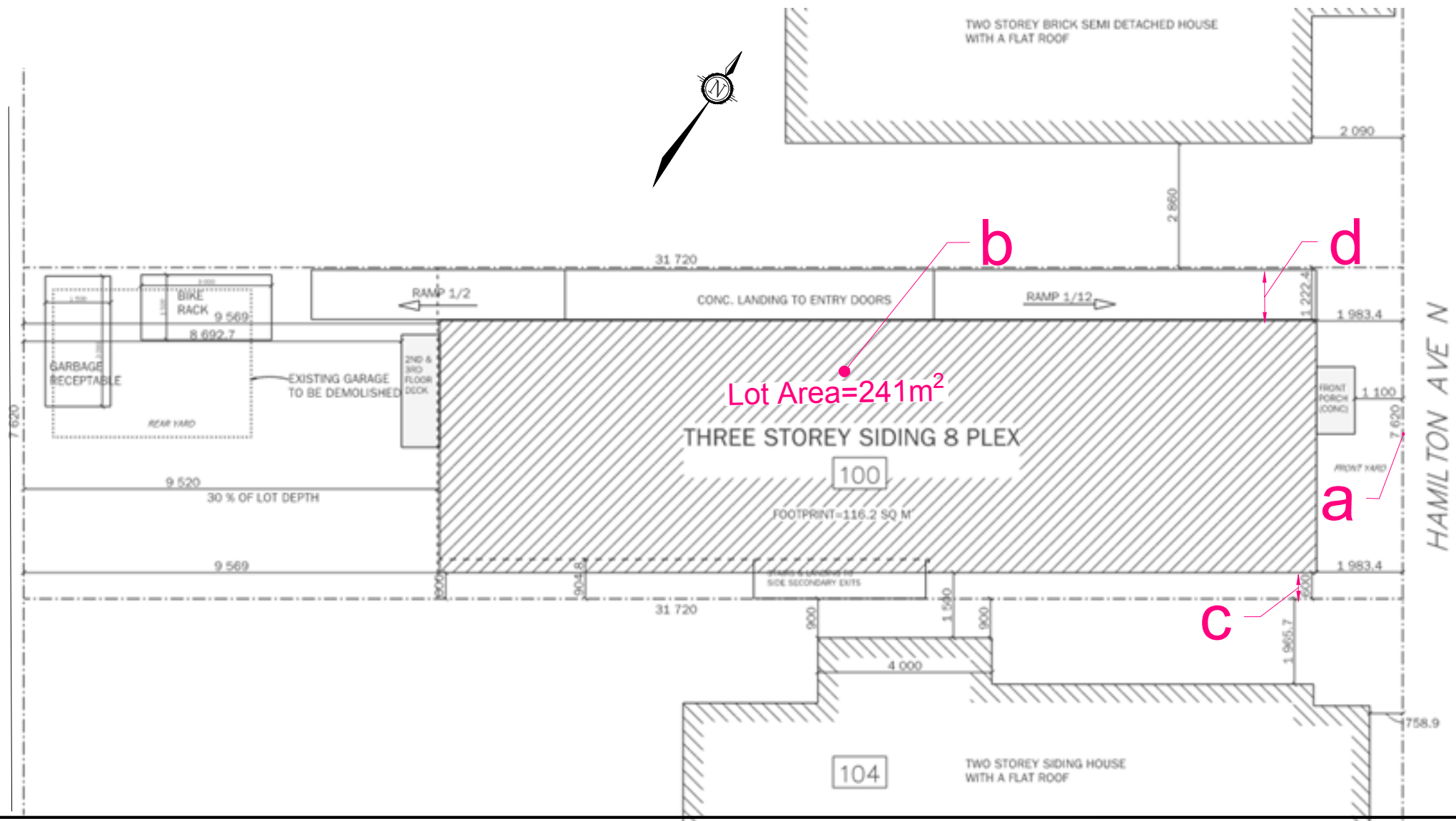
KEY PLAN  
N.T.S.

# MINOR VARIANCE APPLICATION

100 HAMILTON AVENUE N.

PART OF LOT 1354  
REGISTERED PLAN 157  
CITY OF OTTAWA

1 : 125



M:\2025\125008\CAD\Planning\Figures\125008-MV.dwg\_MV, Feb 12, 2025 - 2:11pm, mleat

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">1.</td> <td style="width: 70%;">PREPARED FOR MINOR VARIANCE APPLICATION</td> <td style="width: 10%;">FEB 12/25</td> <td style="width: 10%;">JK</td> </tr> <tr> <td>No.</td> <td>REVISION</td> <td>DATE</td> <td>BY</td> </tr> </table>	1.	PREPARED FOR MINOR VARIANCE APPLICATION	FEB 12/25	JK	No.	REVISION	DATE	BY	<p style="text-align: center;">ISSUED <b>FEBRUARY, 2025</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">PROJECT No.</td> <td style="width: 50%; text-align: center;">125008</td> </tr> <tr> <td>DRAWING No.</td> <td style="text-align: center;">125008-MV</td> </tr> </table>	PROJECT No.	125008	DRAWING No.	125008-MV
1.	PREPARED FOR MINOR VARIANCE APPLICATION	FEB 12/25	JK										
No.	REVISION	DATE	BY										
PROJECT No.	125008												
DRAWING No.	125008-MV												
<p style="font-size: small;">                 Engineers, Planners &amp; Landscape Architects                  Suite 200, 240 Michael Cowpland Drive                  Ottawa, Ontario, Canada K2M 1P6                  Telephone: (613) 254-9643                  Facsimile: (613) 254-5867                  Website: www.novatech-eng.com             </p>													

# FRONT ELEVATION

SCALE: 1/4" = 1'-0"

Committee of Adjustment  
Received | Reçu le  
Revised | Modifié le : 2025-03-04  
City of Ottawa | Ville d'Ottawa  
Comité de dérogation



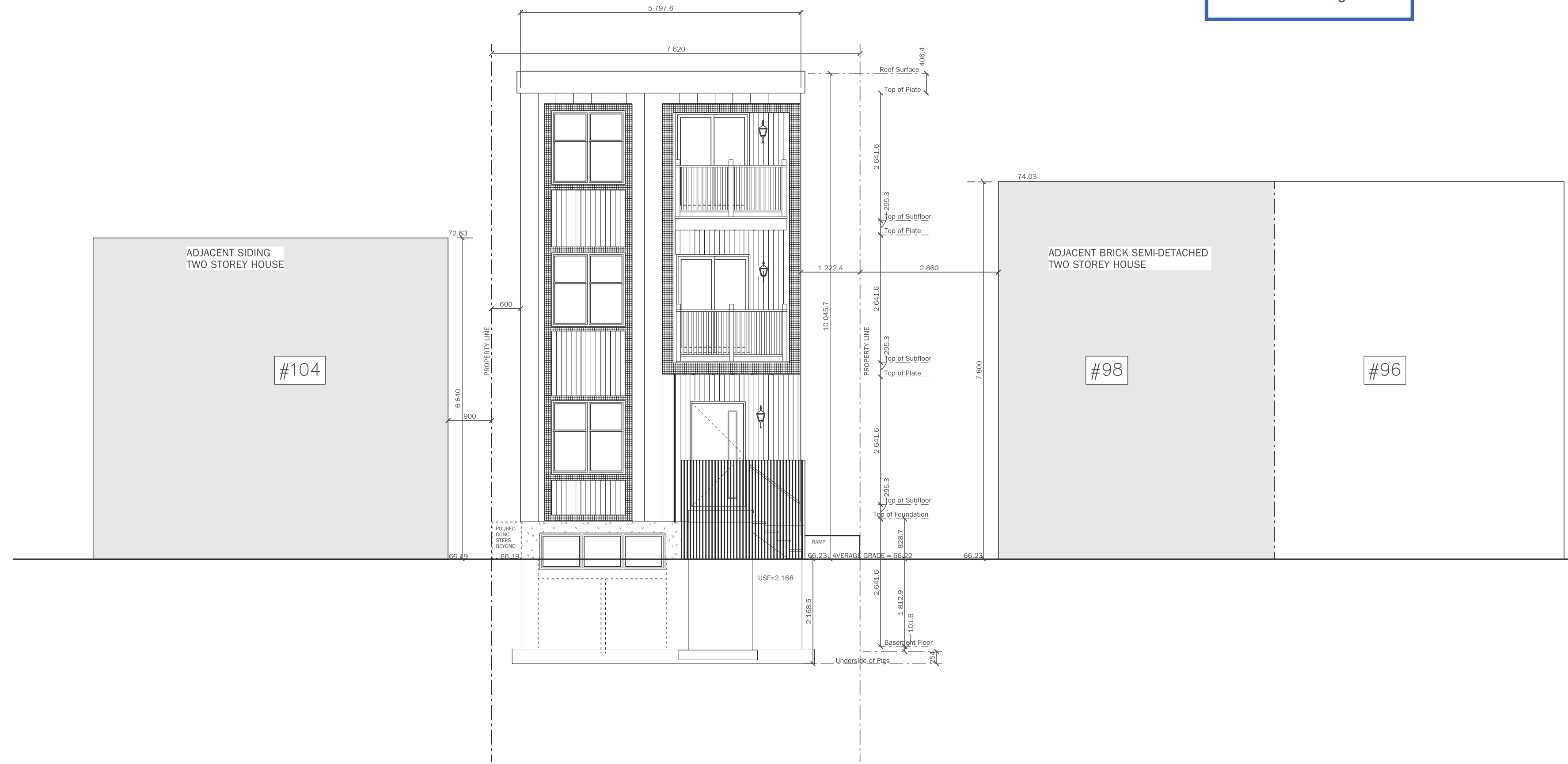
ADDRESS OF THIS CONSTRUCTION PROJECT:  
100 HAMILTON AVE. N.,  
OTTAWA, ON

CONSULTANTS:

CONSULTANTS STAMP BELOW:

DATE OF REVIEWS/ISSUANCES:  
MARCH 3, 2025

A-02



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4.1.(2) & (4) of the Ontario Building Code.

DEAN BUCHHEITZ *Dean Buchheitz* 38070  
name: Signature BCIN #:

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.1.(2) & (4) of the Ontario Building Code.

BEECHWOOD BUILDING DESIGN SERVICES 27040  
Firm Name: BCIN#:  
DATE: 2025-02-08



ADDRESS OF THIS  
CONSTRUCTION PROJECT:  
  
100 HAMILTON AVE. N.,  
OTTAWA, ON

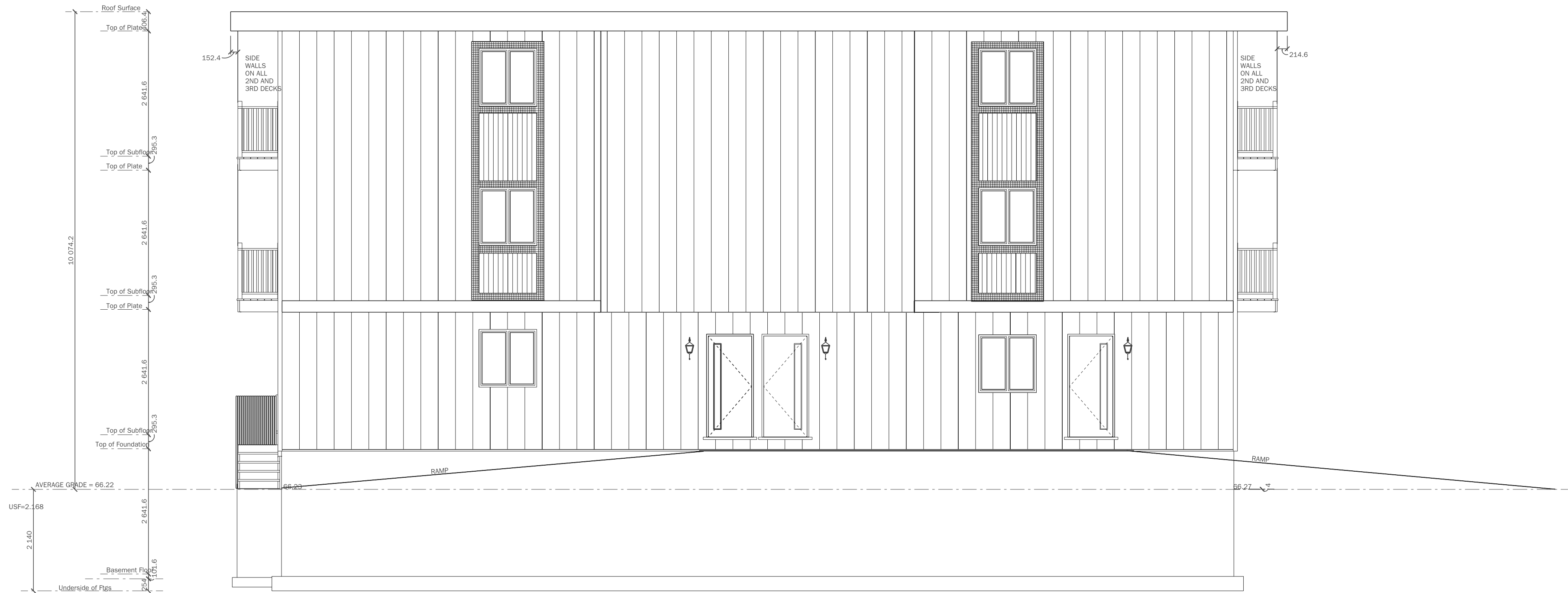
CONSULTANTS:

CONSULTANTS STAMP BELOW:

DATE OF REVIEWS/ISSUANCES  
MARCH 3, 2025

# RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4.1.(2) & (4) of the Ontario Building Code.

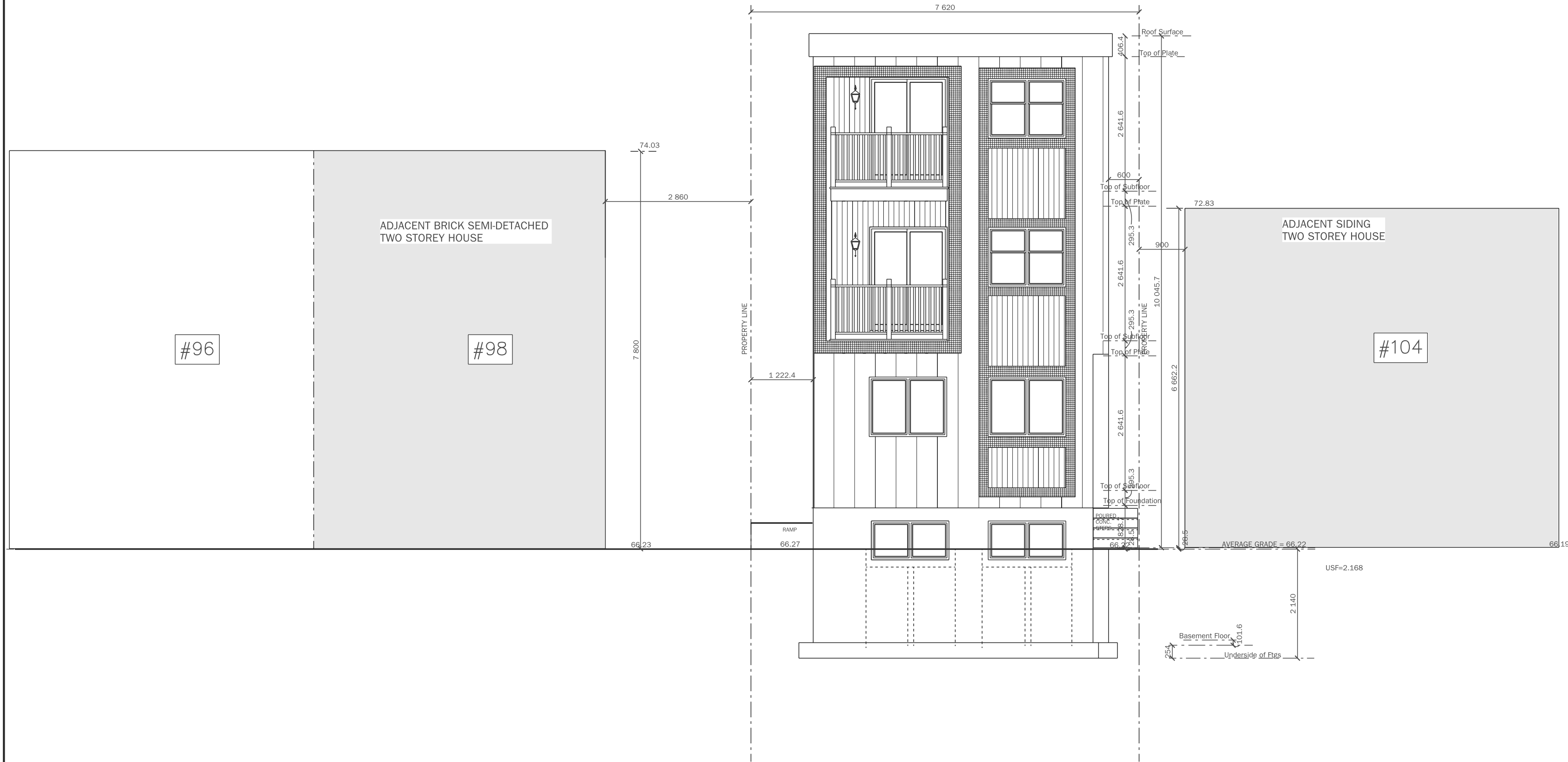
DEAN BUCHHEITZ *Dean Buchheitz* Signature 38070 BCIN #

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.1.(2) & (4) of the Ontario Building Code.

BEECHWOOD BUILDING DESIGN SERVICES 27240 BCIN#  
Firm Name: BCLIN#:  
DATE: 2025-02-08

# REAR ELEVATION

SCALE: 1/4" = 1'-0"



BEECHWOOD BUILDING  
DESIGN SERVICES



ADDRESS OF THIS  
CONSTRUCTION PROJECT:

100 HAMILTON AVE. N.,  
OTTAWA, ON

CONSULTANTS:

CONSULTANTS STAMP BELOW:

DATE OF REVIEWS/ISSUANCES:

MARCH 3, 2025

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

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DEAN BUCHHEITZ *Dean Buchheitz* 38070  
name: Signature BCIN #:

REGISTRATION INFORMATION  
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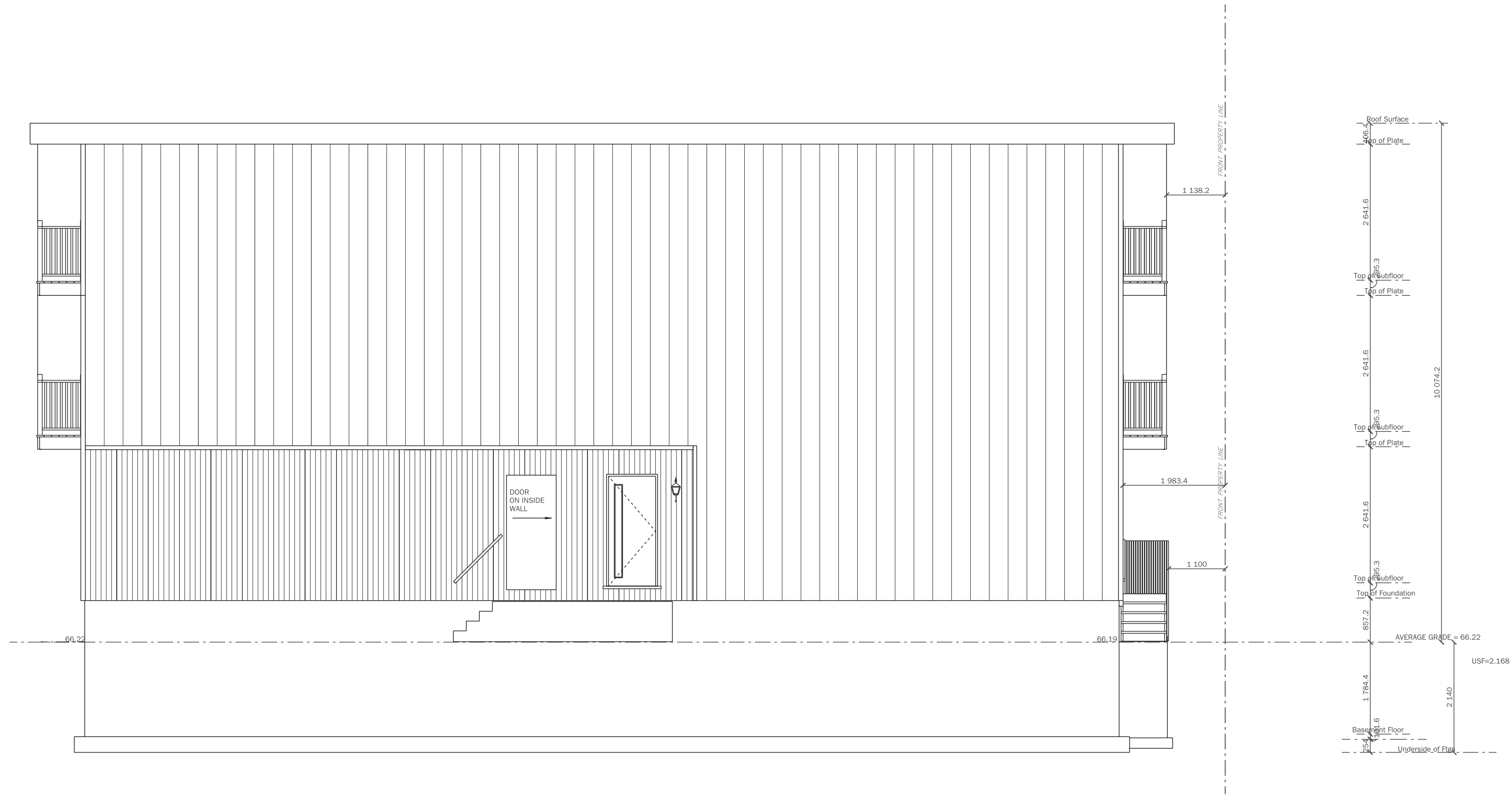
BEECHWOOD BUILDING DESIGN SERVICES 27040  
Firm Name: BCIN#:  
DATE: 2025-02-08

A-04



# LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



BEECHWOOD BUILDING  
DESIGN SERVICES



ADDRESS OF THIS  
CONSTRUCTION PROJECT:

100 HAMILTON AVE. N.,  
OTTAWA, ON

CONSULTANTS:

CONSULTANTS STAMP BELOW:

DATE OF REVIEWS/ISSUANCES:

MARCH 3, 2025

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QUALIFICATION INFORMATION  
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DEAN BUCHHEIMZ *Dean Buchheimz* 38070  
name: Signature BCIN #:

REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.1. (2) & (4) of the Ontario Building Code

BEECHWOOD BUILDING DESIGN SERVICES 27040  
Firm Name: BCINN:

DATE: 2025-02-08

A-05