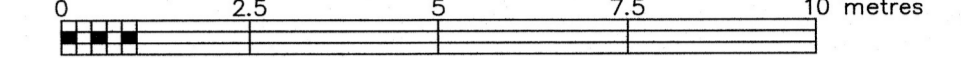


LOT 437 REGISTERED PLAN 4M-23 CITY OF OTTAWA

FARLEY, SMITH & DENIS SURVEYING LTD. 2024

Scale 1: 100



Metric Note

Distances and/or coordinates on this plan are in metres and can be converted to feet by dividing by 0.3048.

Distance Note

Distances shown on this plan are ground distances and can be converted to grid distances by multiplying by the combined scale factor of 0.99994.

Bearing Note

Bearings are grid, are referred to the southerly limit of Anoka Street having a bearing of N 83° 38' 50" E as shown on Plan 4R-5096 and are derived from the Can-Net Real Time Network and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) Nad-83 (Original).

For bearing comparisons, a rotation of 0°36'10" counter-clockwise was applied to bearings on P1, P4 & P5.

For bearing comparisons, a rotation of 0°04'40" counter-clockwise was applied to bearings on P3.

Elevation Notes

- 1. Elevations shown are geodetic and are referred to Geodetic Datum CGVD-1928 -1978. (FSD File No. 257-21)
2. It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

Utility Notes

- 1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. Underground utility data derived from City of Ottawa utility sheet reference: L-15-10, L-15-15 & 13899p.k1
4. Sanitary and storm sewer grades and inverts were derived from: Field measurement.
5. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.
6. Not all overhead wires/transmitters adjacent to the property have been located, the nearest overhead wire locations are shown on the plan.

Notes & Legend

- D- Denotes Survey Monument Planted
-SIB Survey Monument Found
-SSIB Standard Iron Bar
-SSIB Short Standard Iron Bar
-IB Iron Bar
-IB+ Iron Bar (0.3m Long)
-CP Concrete Pin
-(Wit) Witness
-Meas Measured
-(P1) Registered Plan 4M-23
-(P2) Plan 4R-5096
-(P3) Plan by (1692) dated January 16, 2023 (File No. 656-22)
-(P4) Plan by (AG) dated April 13, 1992 (Job No. 0-120-91)
-(P5) Plan by (990) dated September 24, 1992
-(P6) Plan 4R-29451
-(P7) Plan 4R-321
-(P8) Plan 4R-29472
-(P9) Plan by (AG) dated March 10, 1997 (Job No. 0-076-97)
-O M-H-S Maintenance Hole (Sanitary)
-U/S Undergound Sanitary Sewer
-U/W Undergound Water
-OW Overhead Wires
-CP Corrugated Steel Pipe
-FH Fire Hydrant
-GM Gas Meter
-WV Water Valve
-D Diameter
-CLF Chain Link Fence
-BF Board Fence
-SRW Stone Retaining Wall
-Inv Invert
-T/G Top of Grate
-T/P Top of Pipe
-U/Eve Underside of Eave
-TpFdn Top of Foundation
-C/L Centreline
+65.00 Location of Elevations
+65.00 Top of Concrete Curb/Retaining Wall Elevation
- Property Line
- Deciduous Tree - The Symbol shown denotes location and trunk diameter only. Size of its' root system/overhead canopy may be smaller/larger than the symbol size depicted on this plan.

Site Area=463.5 sq.m.

Table with 3 columns: Overhead Wire Elevations at Location 1, Overhead Wire Elevations at Location 2, Overhead Wire Elevations at Location 3. Rows include Wire A, B, C, D, E with specific elevation values.

TOPOGRAPHIC DATA WAS COLLECTED UNDER WINTER CONDITIONS. SNOW COVER AND ICE PRECLUDE DETERMINING LOCATION AND ELEVATION OF SOME TOPOGRAPHICAL DATA THAT IS OTHERWISE VISIBLE.

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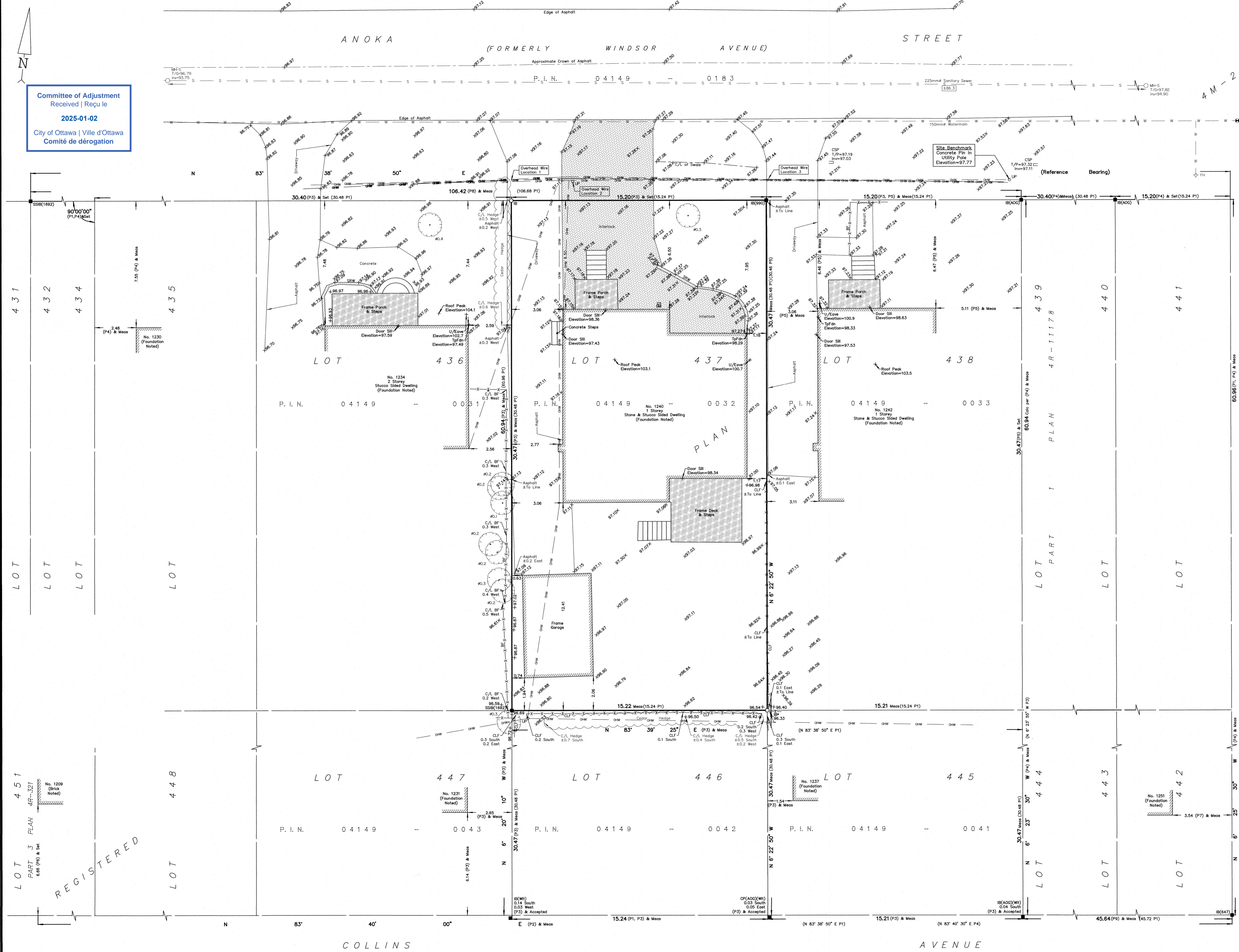
Surveyor's Certificate

- 1. This survey and plan are correct and in accordance with the Surveys Act, the Surveyors Act and the Regulations made under them.
2. The survey was completed on the 19th day of December, 2024.

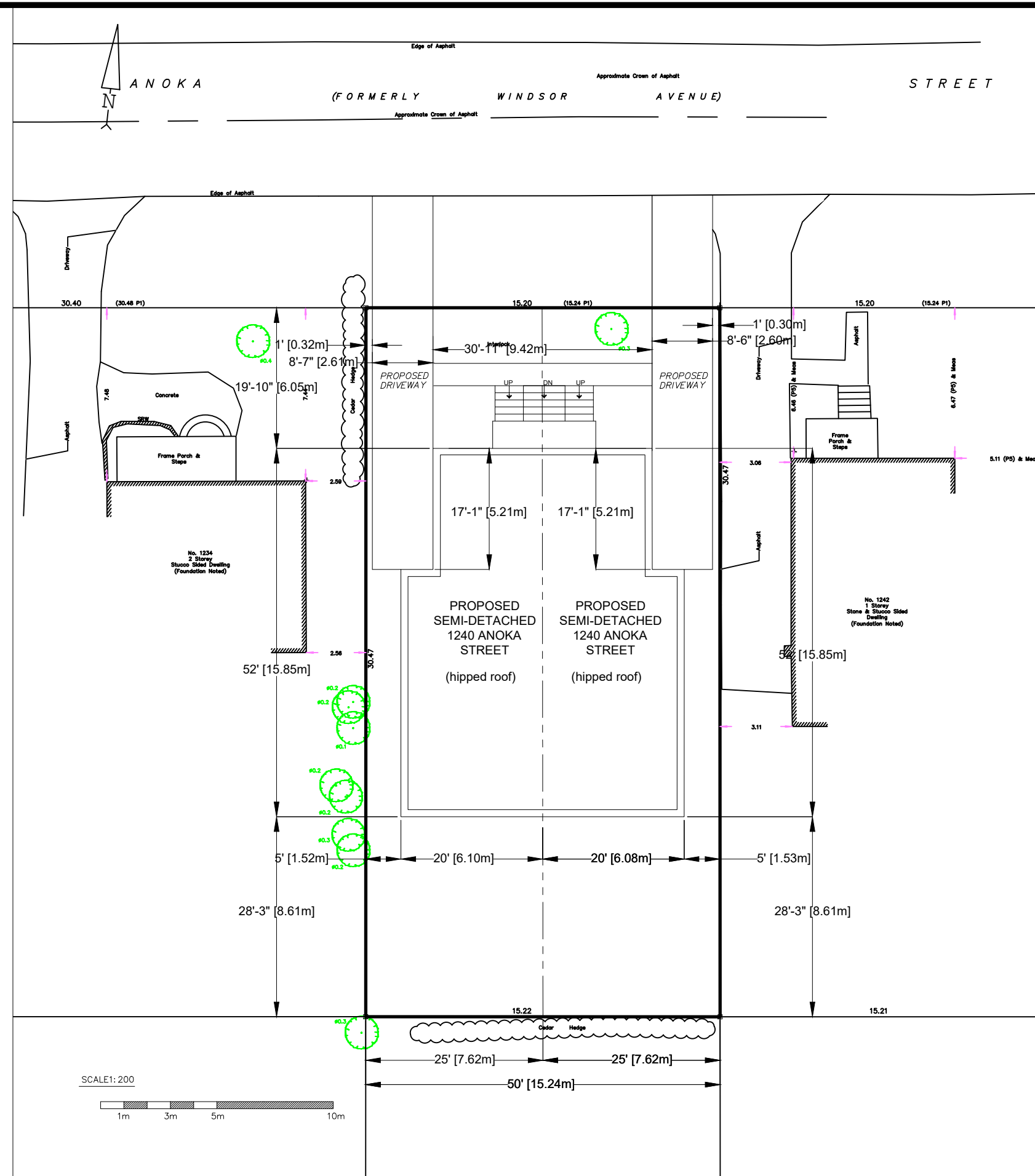
Signature and name of Emad Alrefaai, Ontario Land Surveyor, dated Dec 20/2024.

This plan of survey relates to AOLS Plan Submission Form Number V-90894 FARLEY, SMITH & DENIS SURVEYING LTD.

ONTARIO LAND SURVEYORS CANADA LAND SURVEYORS Unit 275, 30 COLONNADE ROAD, OTTAWA, ONTARIO K2E 7J6 TEL: (613) 727-8226 E-mail: info@fstds.com



Committee of Adjustment Received | Reçu le 2025-01-02 City of Ottawa | Ville d'Ottawa Comité de dérogation



Committee of Adjustment
 Received | Reçu le
Revised | Modifié le : 2025-01-29
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation

General Notes		
1	Client's Review	28/01/2024
No.	Revision/Issue	Date

ZONING INFO (PIN 04149-0032, 1240 ANOKA STREET, LOT 437 PLAN 4M-23)		
PRINCIPAL DWELLING TYPE	SEMI-DETACHED DWELLING	PROPOSED
MINIMUM LOT WIDTH	9m	7.62m *
MINIMUM LOT AREA	270 sq.m	232 sq.m *
MAXIMUM BUILDING HEIGHT	8m	7.9m
MINIMUM FRONT YARD SETBACK	6m	6.01m
MINIMUM CORNER SIDE YARD SETBACK	N/A	N/A
MINIMUM INTERIOR SIDE YARD SETBACK	1.5m	1.5m
DRIVEWAY WIDTH		2.60m
DRIVEWAY AREA	Greater of 50% x 7.62m x 6m = 22.86sq.m 2.6m x 6m = 15.60sq.m	2.60m x 6m = 15.60sq.m
REAR SETBACK	28% x 30.51m = 8.54m	8.61m
REAR AREA	25% x 30.51m x 7.62m = 58.00sq.m	8.56m x 7.62m = 65.23sq.m
FRONT YARD		6.01m x 15.24m = 91.6sq.m
FRONT YARD SOFT LANDSCAPING	40%	37.8sq.m (41%)
* MINOR VARIANCE		

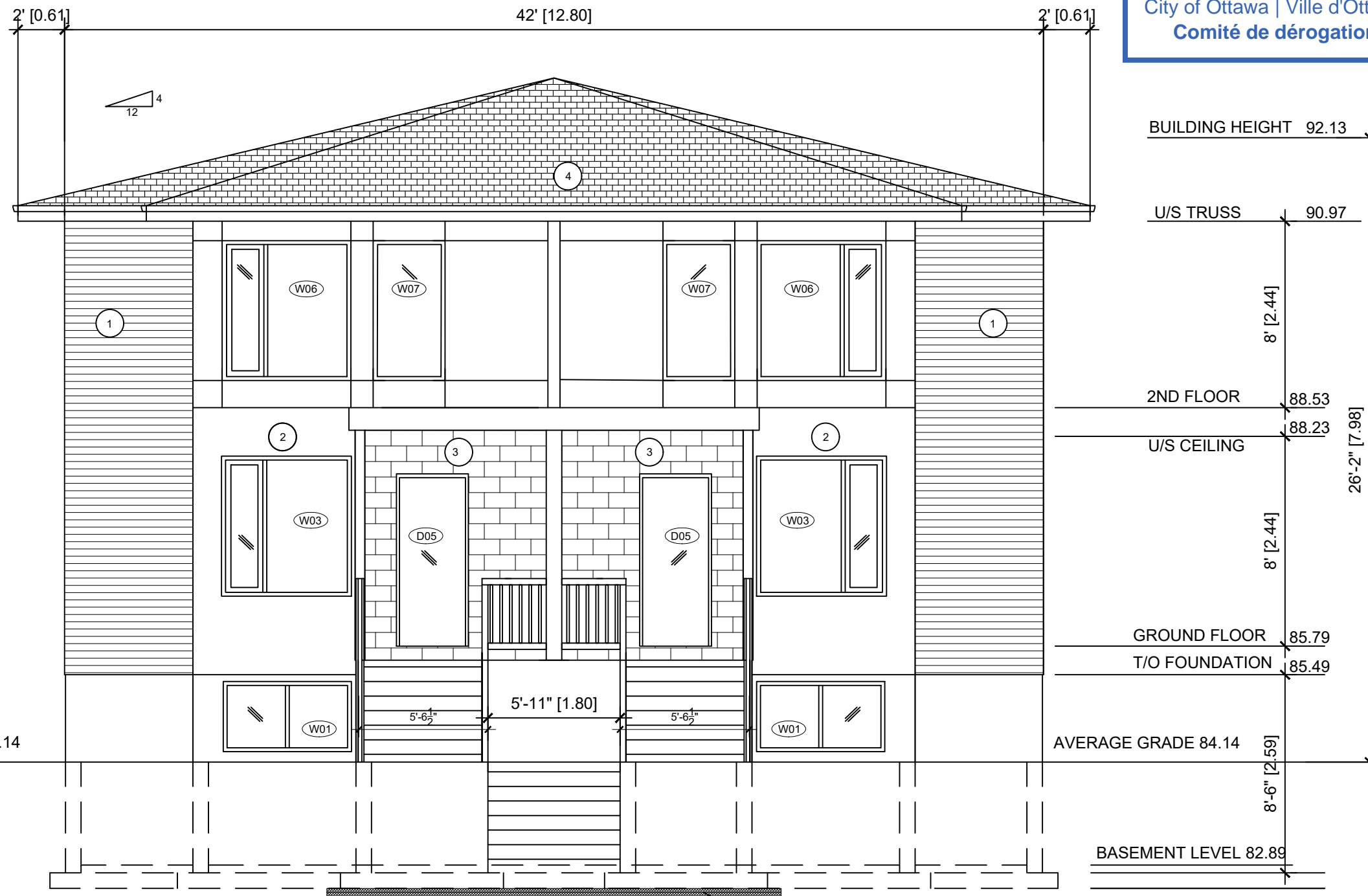
Altira Construction
 509-2647 Alta Vista Drive
 Ottawa, ON K1V 7T5
 Tel (613) 697 6974

Project Address
1240 Anoka Street
 Ottawa, ON
 K1V 6C6

Project	CA 001-24	Drawing No.
Date	28/01/2024	SP1 of SP1
Scale	As Shown	

- SITE PLAN
 SCALE 1:200

Committee of Adjustment
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2025-01-02
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PROPOSED FRONT (WEST) ELEVATION
 3/16"=1'-0"

- MATERIAL LIST
- 1 - VINYL SIDING
 - 2 - HARDIE BOARD SIDING
 - 3 - MASONRY VENEER
 - 4 - 35 YEAR ASPHALT SHINGLES OR BETTER
 - 5 - PARGED FOUNDATION WALL

FOOTINGS TO HAVE A MINIMUM OF
 5'-0" GROUND COVER FOR FROST
 PROTECTION
 IF LESS THAN 5'-0" GROUND COVER
 PLACE 2" RIGID INSULATION BELOW
 OR ABOVE FOOTING AND EXTEND
 24" PAST FOOTINGS

BUILDING HEIGHT	92.13
U/S TRUSS	90.97
2ND FLOOR	88.53
U/S CEILING	88.23
GROUND FLOOR	85.79
T/O FOUNDATION	85.49
AVERAGE GRADE	84.14
BASEMENT LEVEL	82.89

AVERAGE GRADE 84.14

AVERAGE GRADE 84.14

No.	Revision/Issue	Date
1	Client's Review	22/12/2024

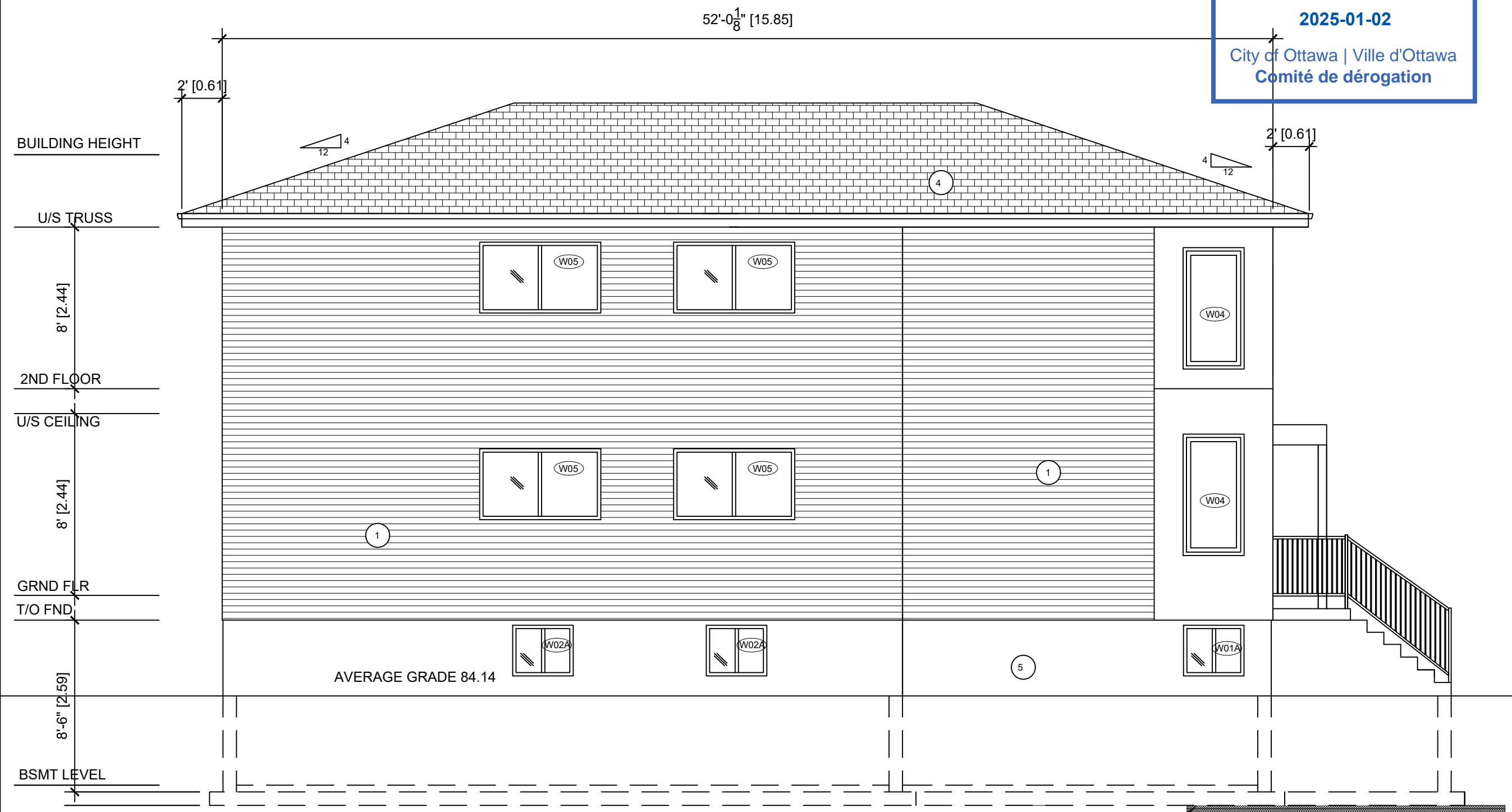
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Project	CA 001-24	Drawing No.	A4 of A10
Date	22/12/2024		
Scale	As Shown		

General Notes

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- MATERIAL LIST
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 - 3 - MASONRY VENEER
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 - 5 - PARGED FOUNDATION WALL

FOOTINGS TO HAVE A MINIMUM OF 5'-0" GROUND COVER FOR FROST PROTECTION IF LESS THAN 5'-0" GROUND COVER PLACE 2" RIGID INSULATION BELOW OR ABOVE FOOTING AND EXTEND 24" PAST FOOTINGS

PROPOSED LEFT (NORTH) ELEVATION
3/16"=1'-0"

No.	Revision/Issue	Date
1	Client's Review	22/12/2024

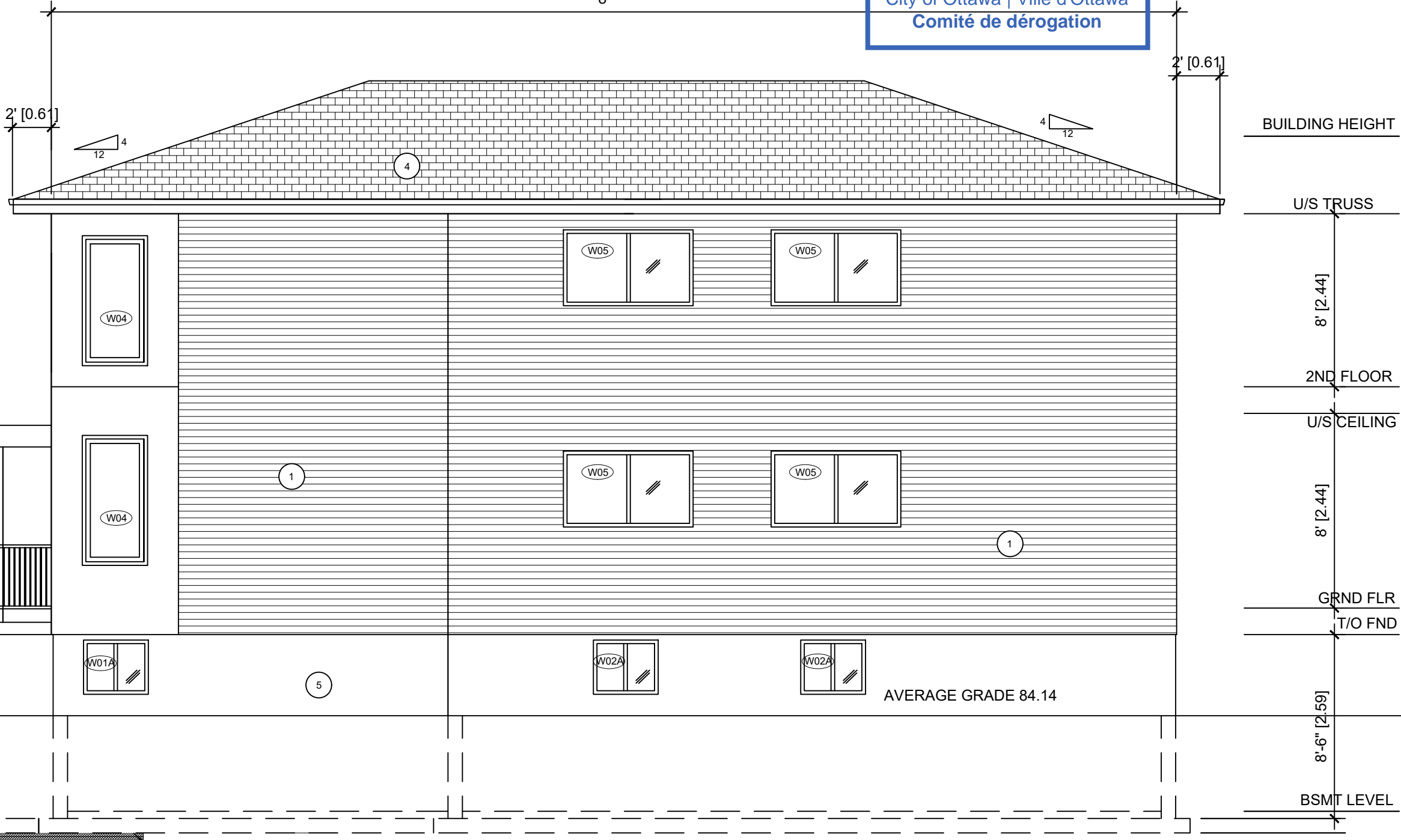
Altira Construction
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 Ottawa, ON K1V 7T5
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Project Address
1240 Anoka Street
 Ottawa, ON
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Project	CA 001-24	Drawing No.	A5 of A10
Date	22/12/2024		
Scale	As Shown		

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2025-01-02
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52'-0¹/₈" [15.85]



PROPOSED RIGHT (SOUTH) ELEVATION
 3/16"=1'-0"

FOOTINGS TO HAVE A MINIMUM OF
 5'-0" GROUND COVER FOR FROST
 PROTECTION
 IF LESS THAN 5'-0" GROUND COVER
 PLACE 2" RIGID INSULATION BELOW
 OR ABOVE FOOTING AND EXTEND
 24" PAST FOOTINGS

- MATERIAL LIST
- 1 - VINYL SIDING
 - 2 - HARDIE BOARD SIDING
 - 3 - MASONRY VENEER
 - 4 - 35 YEAR ASPHALT SHINGLES OR BETTER
 - 5 - PARGED FOUNDATION WALL

BUILDING HEIGHT

U/S TRUSS

8' [2.44]

2ND FLOOR

U/S CEILING

8' [2.44]

GRND FLR

T/O FND

8'-6" [2.59]

BSMT LEVEL

General Notes		
1	Client's Review	22/12/2024
No.	Revision/Issue	Date

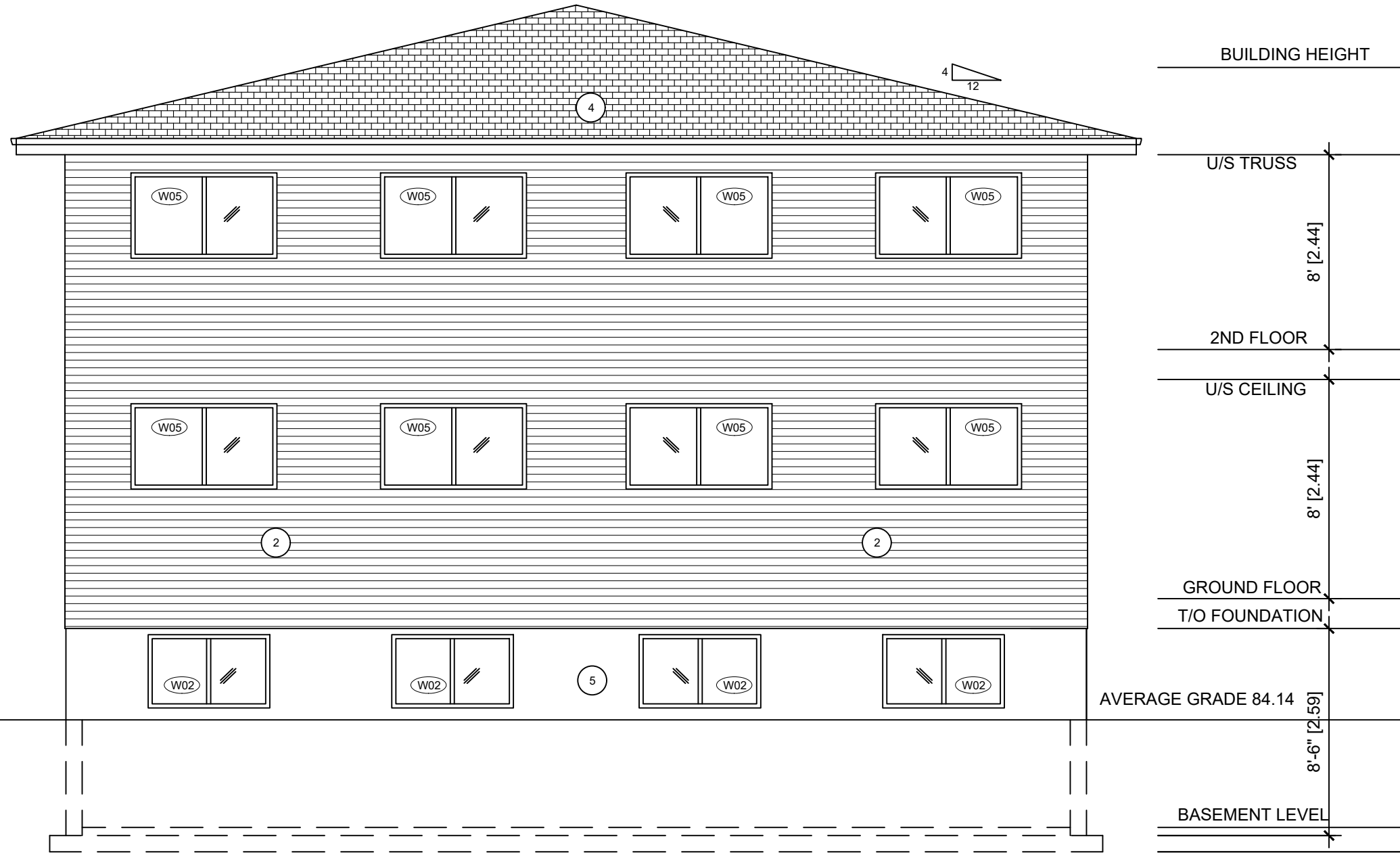
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Project Address

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Project	CA 001-24	Drawing No.
Date	22/12/2024	SRI off/SRI
Scale	As Shown	

Committee of Adjustment
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2025-01-02
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Comité de dérogation



PROPOSED REAR (EAST) ELEVATION
 3/16"=1'-0"

- MATERIAL LIST**
- 1 - VINYL SIDING
 - 2 - HARDIE BOARD SIDING
 - 3 - MASONRY VENEER
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 - 5 - PARGED FOUNDATION WALL

General Notes

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Date	22/12/2024		
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SP/loff/SRI