

17 October 2024 10:17 AM

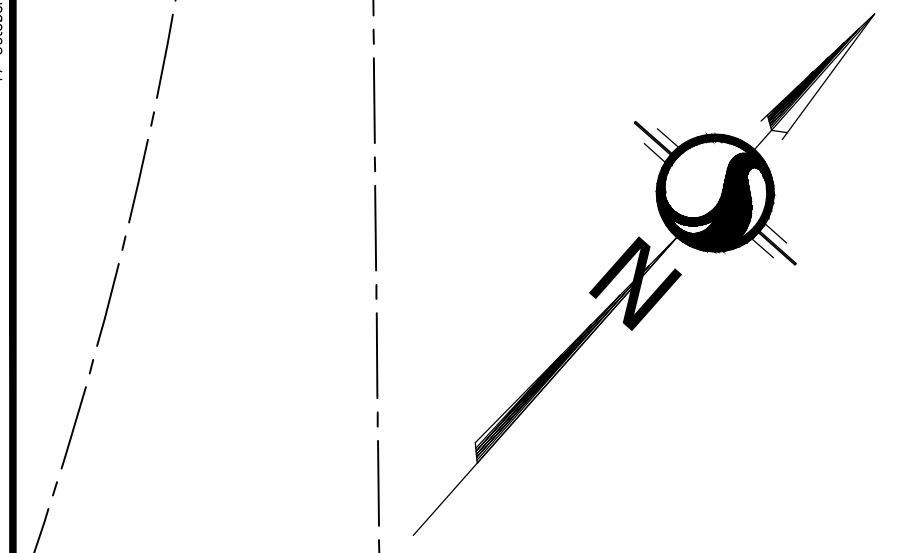
SCHEDULE			
PART	BLOCK	REGISTERED PLAN	PIN
1	PART OF BLOCK 1	4M-1563	PART OF PIN 04510-1082

PART 1 COMPRISES PART OF PIN 04510-1082

Committee of Adjustment
Received | Reçu le
2025-03-28
City of Ottawa | Ville d'Ottawa
Comité de dérogation

REGISTERED PLAN 4 M - 1 5 0 2

CAMPEAU DRIVE
(DEDICATED BY REGISTERED PLAN 4M-1502)
PIN 04510-0514



HUNTMAR DRIVE
ROAD ALLOWANCE BETWEEN THE GEOGRAPHIC TOWNSHIPS OF HUNTLEY AND MARCH

BLOCK 111 REGISTERED PLAN 4M-1502 (STREET WIDENING)
PIN 04510-0504

PART 1
AREA: 4623.42m²

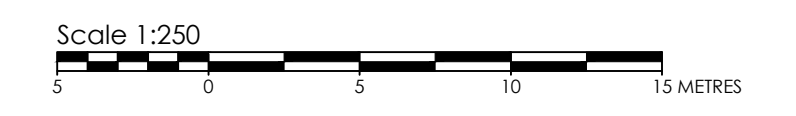
PIN 04510-1082

PART 1 PLAN 4 R - 3 2 7 6 0

BLOCK 1

REGISTERED PLAN 4 M - 1 5 6 3

PLAN OF SURVEY OF
**PART OF BLOCK 1
REGISTERED PLAN 4M-1563**
(GEOGRAPHIC TOWNSHIP OF MARCH)
CITY OF OTTAWA



METRIC CONVERSION
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

GRID SCALE CONVERSION
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999914.

BEARING NOTE
BEARINGS ARE GRID, DERIVED FROM THE CAN-NET VRS NETWORK OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 76°30' WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL).

19773035 N:5006040.42 E:324888.04
19680191 N:5033564.26 E:388064.94

LEGEND

DENOTES	FOUND MONUMENTS
■	SET MONUMENTS
□	IRON BAR
IB	ROUND IRON BAR
IBO	STANDARD IRON BAR
SIB	SHORT STANDARD IRON BAR
SSIB	CUT CROSS
CC	CONCRETE PIN
CP	WITNESS
WIT	IDENTIFICATION NUMBER
PIN	MEASURED
M/MEAS	INSTRUMENT
INST	PROPORTIONED
PROP	ORIGIN UNKNOWN
OU	STANTEC GEOMATICS LTD. PLAN
SG	
P1	

OBSERVED REFERENCE POINTS DERIVED FROM THE CAN-NET VRS NETWORK GPS OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 76°30' WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL). COORDINATES TO URBAN ACCURACY PER SEC 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
Ⓐ		
Ⓑ		

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

SOUTHEASTERLY CORNER OF
BLOCK 111
REGISTERED PLAN 4M-1502

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE DAY OF . 2024.

DATE _____ R.G. BENNETT
ONTARIO LAND SURVEYOR
THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER #####.

Stantec Geomatics Ltd.
CANADA LANDS SURVEYORS
ONTARIO LAND SURVEYORS
1331 CLYDE AVENUE, SUITE 300
OTTAWA, ONTARIO, K2C 3G4
TEL: 613.722.4420
stantec.com

DRAWN: DM CHECKED: CT PM: CT FIELD: * PROJECT NO.: 161614833-114

2025-03-26

City of Ottawa | Ville d'Ottawa
Comité de dérogation

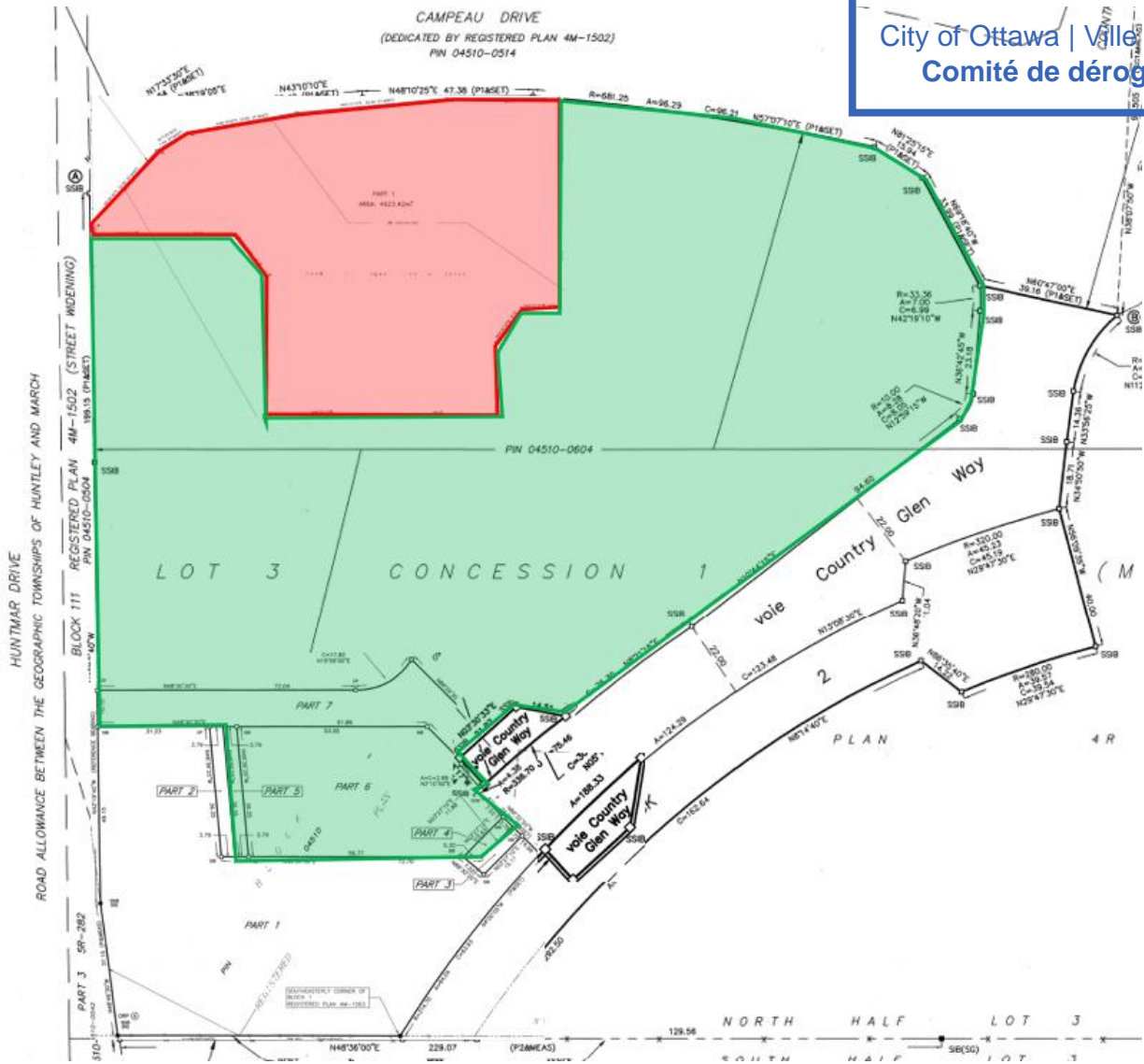
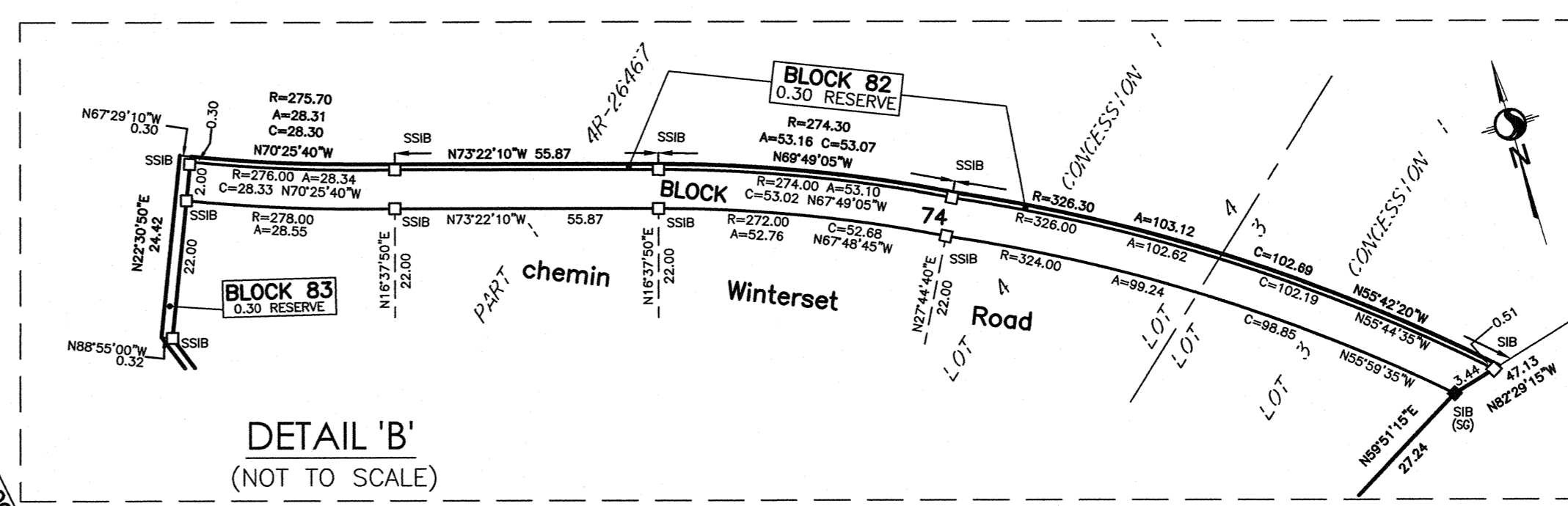
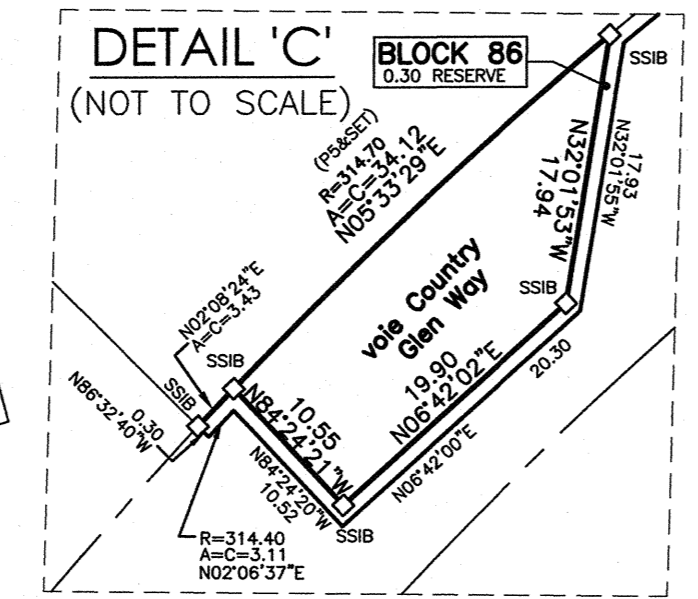
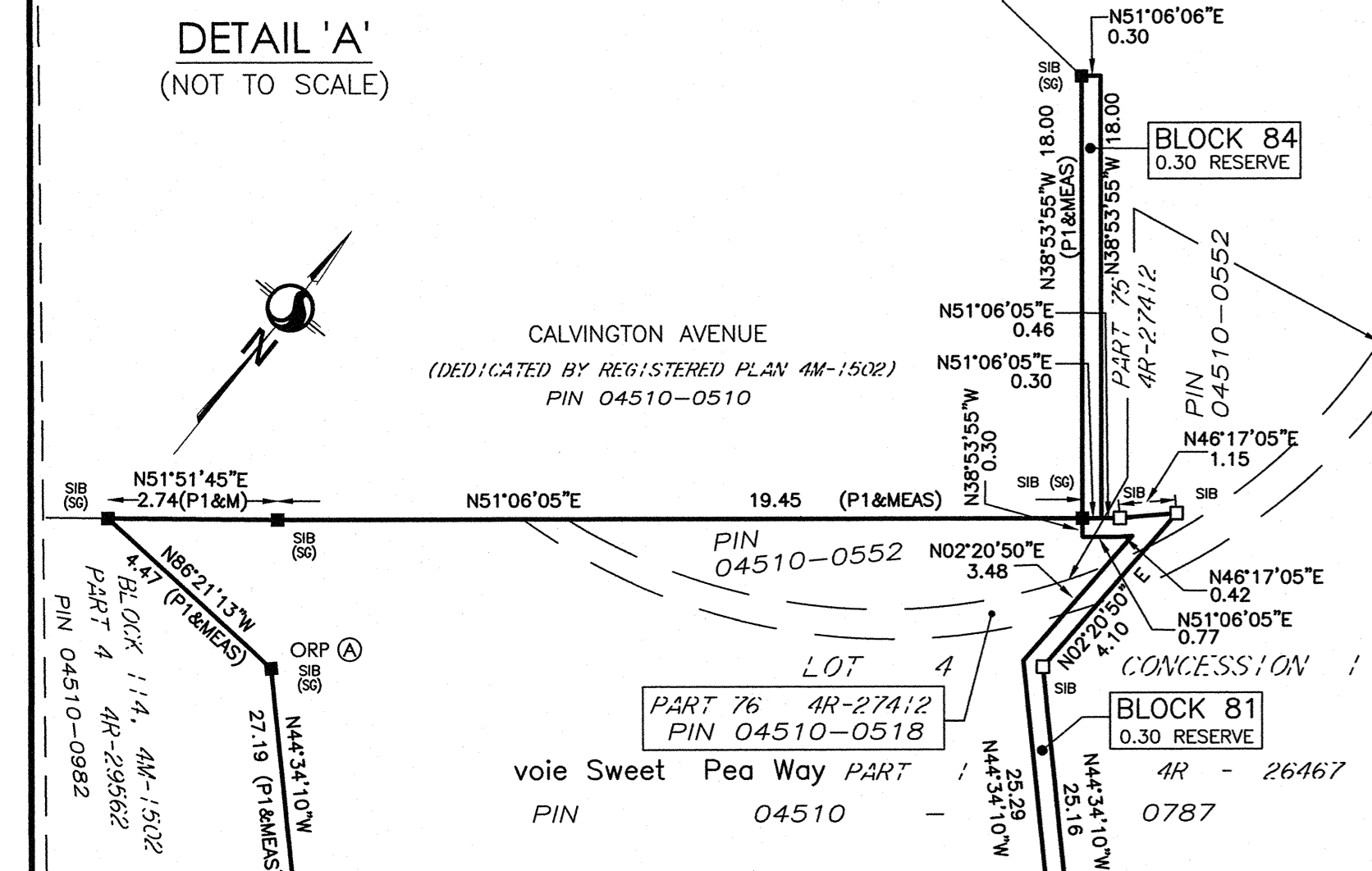
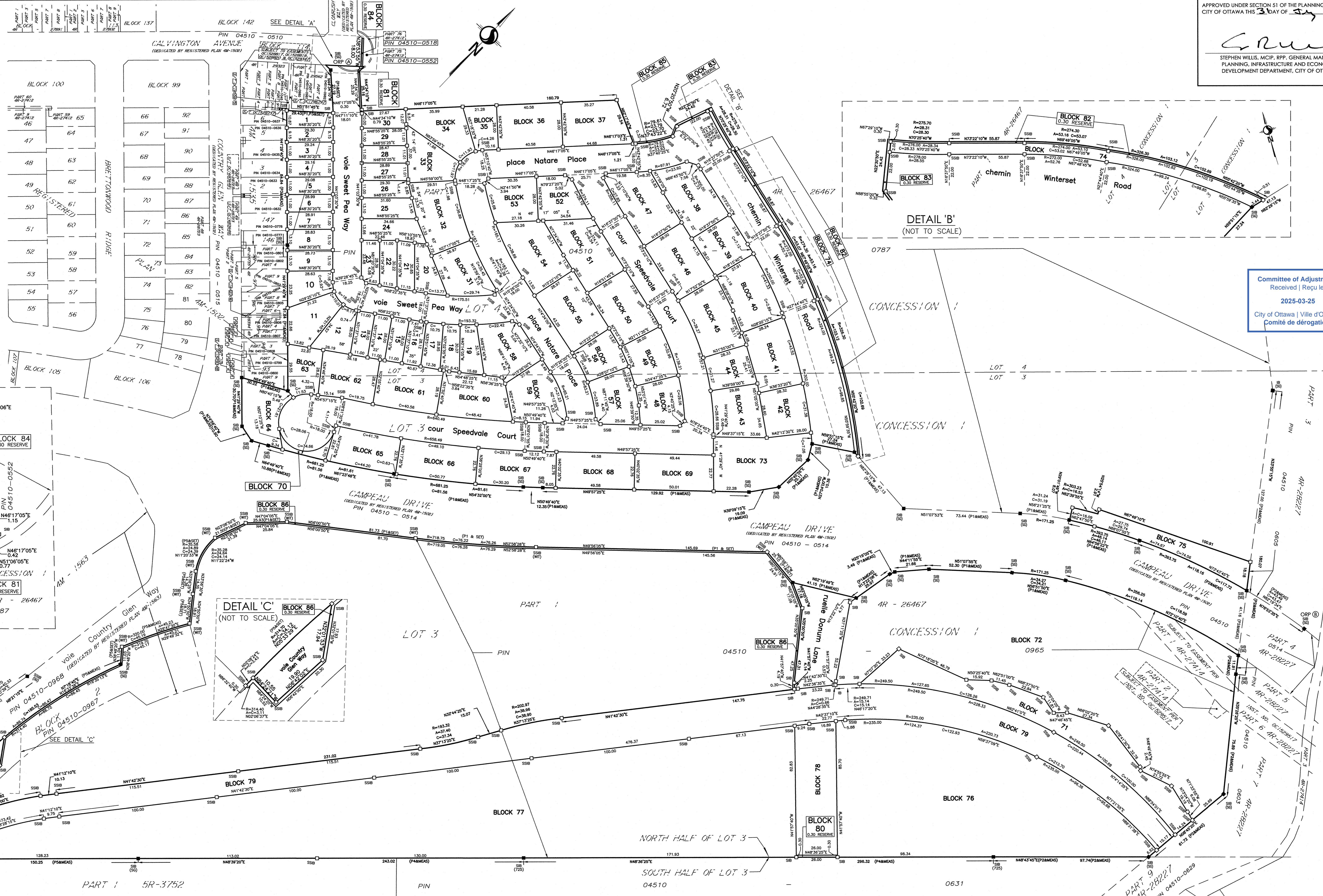


Figure 5: Compilation of Draft R-Plan, Plan 4R-30733, Plan 4M-1661 showing Severed Lands in Red and Retained Lands in Green

LOT/BLOCK	RADIUS	ARC	CHORD	BEARING
10	18.00	5.96	5.93	N53°32'20"W
11	18.00	10.14	10.01	N76°09'35"W
12	18.00	9.21	9.11	N73°02'15"E
16	193.32	3.41	3.41	N56°38'45"E
17	193.32	10.75	10.75	N54°32'40"E
18	193.32	10.75	10.75	N51°21'30"E
19	193.32	10.24	10.24	N48°14'55"E
20	175.51	13.77	13.77	N54°45'30"E
31	175.51	29.78	29.74	N47°39'05"E
31	183.17	35.50	35.45	N68°16'05"W
32	183.17	36.95	36.89	N56°56'10"W
32	18.00	1.98	1.98	N48°01'10"W
33	18.00	12.20	11.97	N25°25'35"W
34	18.00	12.16	11.93	N13°20'40"E
35	18.00	4.27	4.28	N39°29'15"E
36	97.91	23.98	23.92	N34°22'45"E
38	300.00	2.73	2.73	N73°06'30"W
39	250.00	7.12	7.12	N72°33'15"W
40	250.00	41.38	41.33	N65°59'50"W
40	302.00	2.89	2.89	N61°58'55"W
41	302.00	43.55	43.52	N57°34'35"W
42	302.00	31.39	31.38	N50°28'00"W
43	157.21	28.70	28.68	N44°47'15"W
44	157.21	21.29	21.27	N53°53'45"W
45	157.21	39.38	39.27	N64°57'00"W
46	157.21	6.91	6.91	N32°32'05"W
47	356.11	27.85	27.85	N71°07'35"W
47	97.91	8.35	8.35	N43°50'25"E
48	139.21	29.07	29.06	N49°13'05"W
49	139.21	33.04	33.98	N52°01'40"E
50	139.21	14.37	14.57	N71°45'55"W
51	374.11	9.54	9.54	N72°38'15"W
52	374.11	28.11	28.10	N52°45'15"W
53	165.17	25.71	25.68	N63°39'25"W
54	165.17	38.77	38.69	N67°50'30"W
56	83.21	18.42	18.38	N68°13'35"W
57	83.21	23.97	23.89	N53°38'00"W
58	193.32	22.46	22.42	N43°24'10"E
59	65.21	31.54	31.23	N60°42'40"W
59	640.49	8.14	8.15	N51°28'30"E
60	640.49	48.43	48.42	N54°02'25"E
61	640.49	40.57	40.56	N57°59'10"E
62	640.49	19.75	19.75	N60°41'00"E
63	18.00	11.74	11.53	N38°43'05"E
64	18.00	23.18	21.61	N16°48'50"W
64	681.25	9.34	9.34	N64°28'05"E
65	658.49	41.78	41.78	N59°44'15"E
65	681.25	44.21	44.20	N59°09'15"E
66	681.25	0.63	0.63	N57°42'25"E
66	658.49	49.12	49.10	N55°46'55"E
66	681.25	50.78	50.77	N55°46'55"E
67	658.49	29.18	29.13	N52°22'45"E
67	681.25	30.20	30.20	N52°22'20"E
70	18.00	76.70	34.66	N51°75'50"E
70	681.25	28.08	28.08	N52°14'45"E
73	302.00	7.06	7.06	N46°49'10"W



APPROVED UNDER SECTION 51 OF THE PLANNING ACT BY THE CITY OF OTTAWA THIS 30 DAY OF JULY 2020

Stephen Willis
STEPHEN WILLIS, M.C.P., R.P.P., GENERAL MANAGER
PLANNING, INFRASTRUCTURE AND ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

PLAN 4M-1661

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF OTTAWA-CARLETON No.4 AT 10:15 O'CLOCK ON THE 12 DAY OF Aug 2020 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER 04510-0787, 04510-0965, 04510-0518, 04510-0552, 04510-0967, 04510-1075 AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NUMBER 00-2244499

R. MATTA
REPRESENTATIVE FOR LAND REGISTRAR

THIS PLAN COMPRESES OF PART OF PIN 04510-0787, PART OF PIN 04510-0965, PART OF PIN 04510-0518, PART OF PIN 04510-0552, PART OF PIN 04510-0967 AND PART OF PIN 04510-1075. PART OF BLOCK 73 IS SUBJECT TO EASEMENT AS IN OC1529517. PART OF VOLE COUNTRY GLEN WAY IS SUBJECT TO EASEMENT AS IN OC1973345.

PLAN OF SUBDIVISION OF
**PART OF BLOCKS 1 AND 2
REGISTERED PLAN 4M-1563 AND
PART OF LOTS 3 AND 4
CONCESSION 1**
(GEOGRAPHIC TOWNSHIP OF MARCH)
CITY OF OTTAWA

Scale 1:1000

METRIC CONVERSION
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

GRID SCALE CONVERSION
DISTANCES ARE SHOWN AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999914

BEARING NOTE
BEARINGS ARE GRID, DERIVED FROM CAN-NET VRS NETWORK GPS OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 78° 30' WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL).

19773035 N:5006040.42 E:324888.04
19680191 N:5033564.26 E:388064.94

OBSERVED REFERENCE POINTS DERIVED FROM THE CAN-NET VRS NETWORK GPS OBSERVATIONS ON NCC HORIZONTAL CONTROL MONUMENTS 19773035 AND 19680191, CENTRAL MERIDIAN, 78° 30' WEST LONGITUDE MTM ZONE 9, NAD83 (ORIGINAL), COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.R.G. 21/10

CRP ID	NORTHING	EASTING
①	5018470.25	349193.42
②	5018610.70	349886.55

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND

SYMBOL	DENOTES	FOUND MONUMENTS
■	SET MONUMENTS (BY UNLESS OTHERWISE STATED)	SET MONUMENTS (BY UNLESS OTHERWISE STATED)
IB	IRON BAR	IRON BAR
SB	ROUND IRON BAR	ROUND IRON BAR
SIB	STANDARD IRON BAR	STANDARD IRON BAR
CSB	SHORT STANDARD IRON BAR	SHORT STANDARD IRON BAR
CC	CUT CROSS	CUT CROSS
CP	CONCRETE PIN	CONCRETE PIN
WIT	WITNESS	WITNESS
PN	PROPERTY IDENTIFICATION NUMBER	PROPERTY IDENTIFICATION NUMBER
MEAS	MIS-SHOWN	MIS-SHOWN
PROP	PROPORTIONED	PROPORTIONED
OU	ORIGIN UNKNOWN	ORIGIN UNKNOWN
SE	STANTEC GEOMATICS LTD.	STANTEC GEOMATICS LTD.
ORP	OBSERVED REFERENCE POINT	OBSERVED REFERENCE POINT
P1	REGISTERED PLAN 4M-1502	REGISTERED PLAN 4M-1502
P2	PLAN AR-26427	PLAN AR-26427
P3	REGISTERED PLAN 4M-1535	REGISTERED PLAN 4M-1535
P4	REGISTERED PLAN 4M-1563	REGISTERED PLAN 4M-1563
S/T	SUBJECT TO EASEMENT	SUBJECT TO EASEMENT

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:

- LOTS 1 TO 30, BOTH INCLUSIVE, BLOCKS 31 TO 79 BOTH INCLUSIVE, THE STREETS, NAMELY chemin Winterset Road, place Natara Place, cour Speedvale Court and voie Sweet Pea Way, voie Country Glen Way, LANE NAMELY rueille Donum Lane, AND RESERVES, NAMELY BLOCKS 80, 81, 82, 83, 84, 85 AND 86, HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
- THE STREETS AND LANE ARE DEDICATED TO CITY OF OTTAWA AS PUBLIC HIGHWAYS.

MINTO COMMUNITIES INC.

July 27, 2020
Raymond Anderson
VICE PRESIDENT, LAND DEVELOPMENT

July 25, 2020
Jacques Brisson
VICE-PRESIDENT, CONSTRUCTION

I HAVE THE AUTHORITY TO SIGN THE CORPORATION

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 3rd DAY OF JULY, 2020.

July 27, 2020
Francis Lau
FRANCIS LAU
ONTARIO LAND SURVEYOR

Stantec
CANADA LAND SURVEYORS
ONTARIO LAND SURVEYORS
1331 CLIVE AVENUE, SUITE 400
OTTAWA, ONTARIO, K2C 3G4
TEL: 613-772-4420 FAX: 613-772-2799
stantec.com

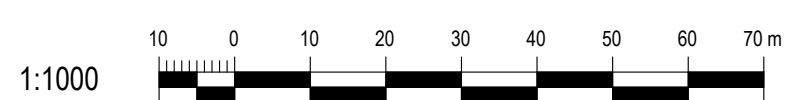
Stantec Geomatics Ltd.
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1331 CLIVE AVENUE, SUITE 400
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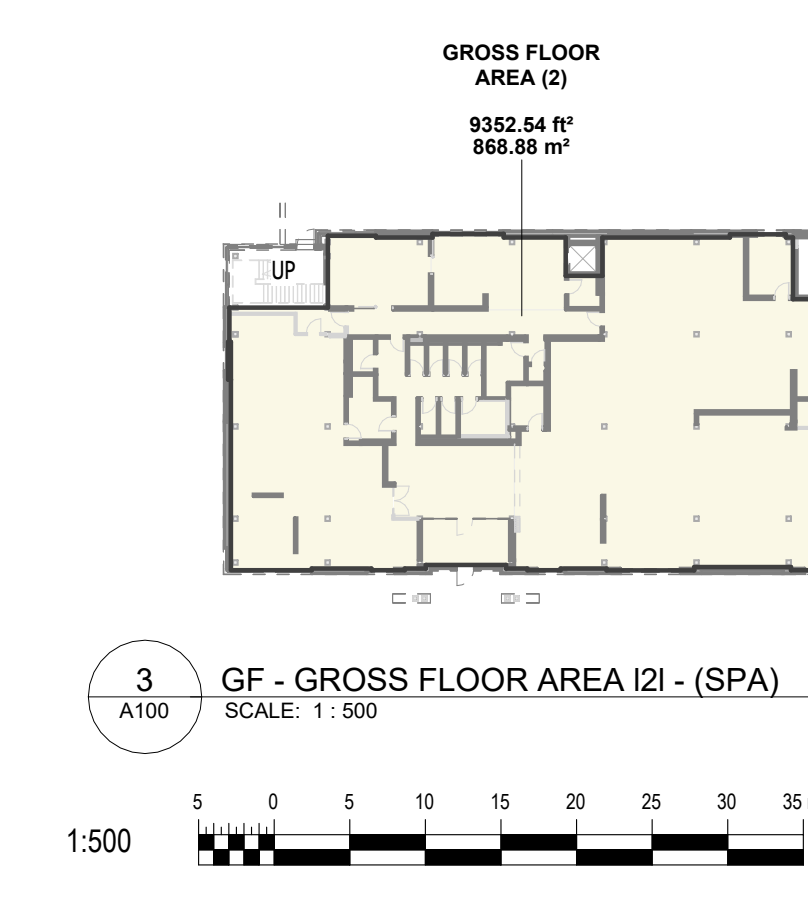
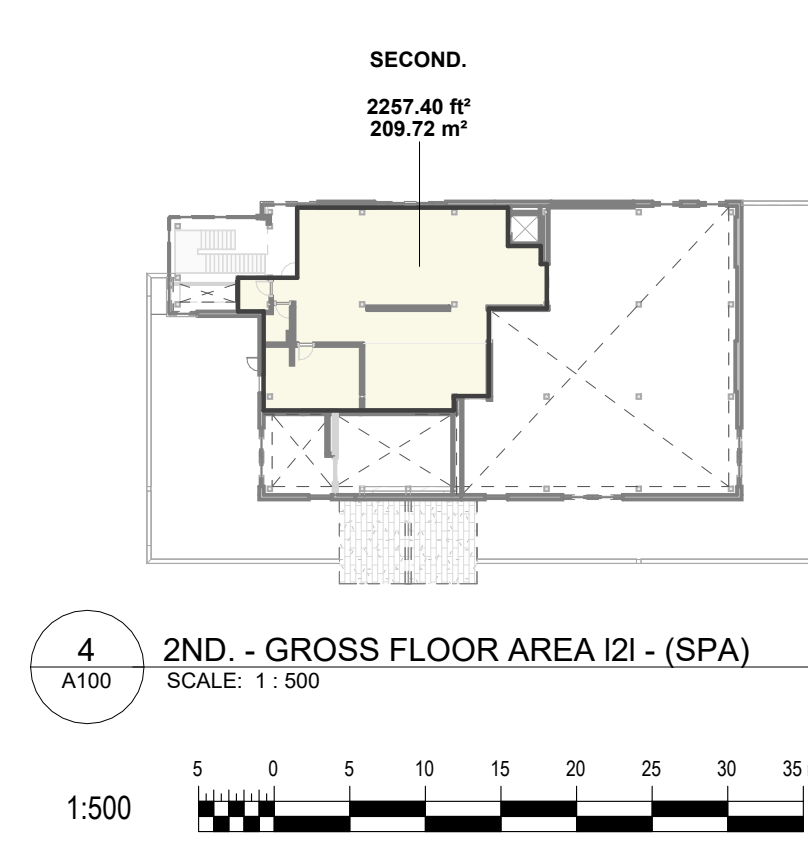
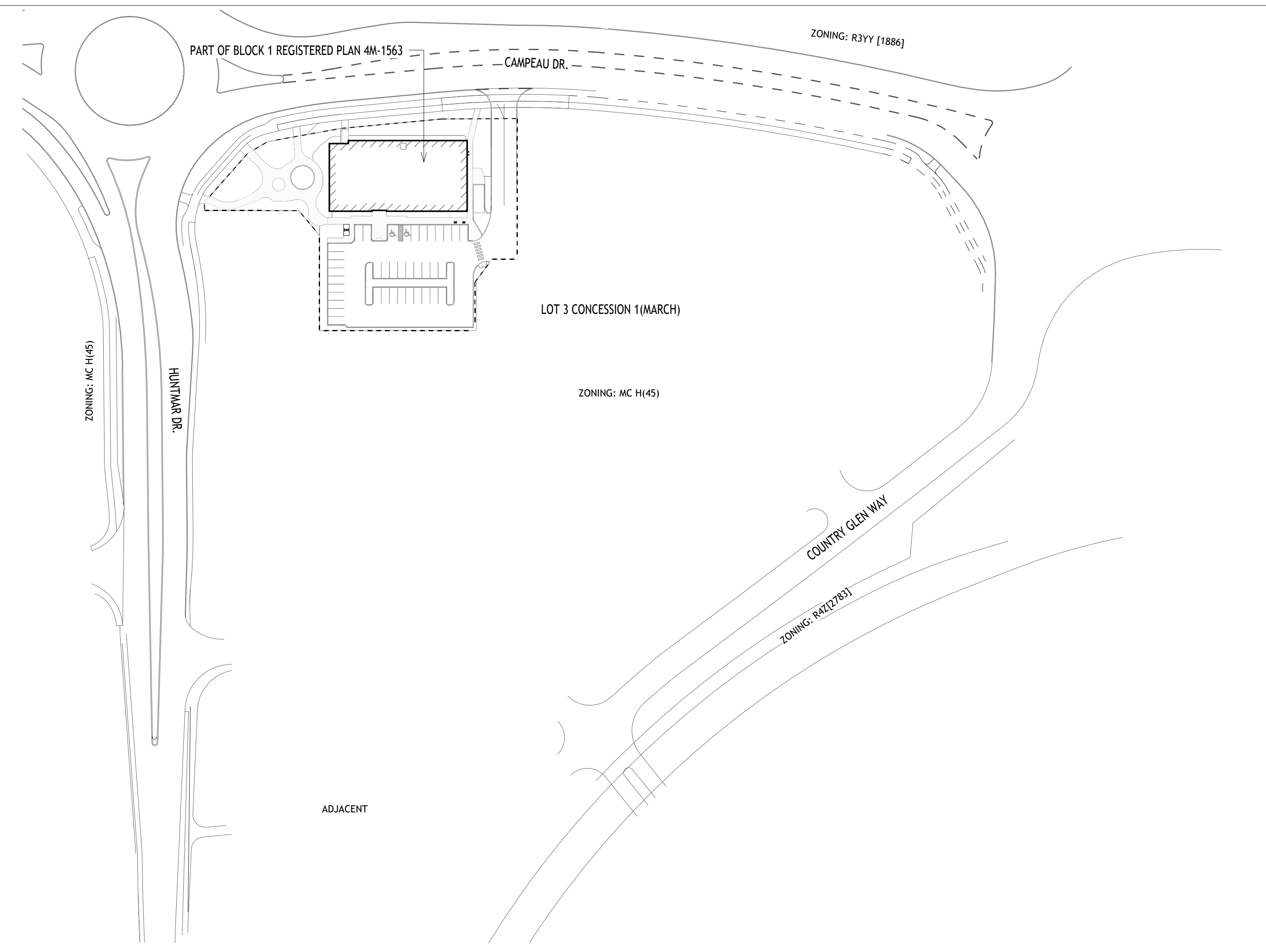
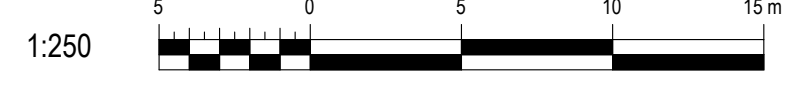
0631

Committee of Adjustment
Received | Reçu le
2025-03-25
City of Ottawa | Ville d'Ottawa
Comité de dérogation

2 SITE KEYPLAN - (SPA)
SCALE: 1:1000



1 SITE PLAN - (SPA)
SCALE: 1:250



LEGEND

- PROPOSED BUILDING LOCATION
- EXISTING NEIGHBOURING BUILDING
- LANDSCAPED AREA
- CONCRETE/ SIDEWALK
- FIRE ROUTE
- BARBIER-FREE PARKING CLEARANCE
- TACTILE WALKING SURFACE INDICATOR
- FIRE DEPARTMENT CONNECTION
- BUILDING ENTRANCE / EXIT
- PRINCIPAL ENTRANCE (& TRAVEL PATH EXIT)
- EXIT AT REQUIRED TRAVEL PATH
- FIRE HYDRANT
- BOLLARD
- MANHOLE / STORMWATER MANHOLE (SEE CIVIL)
- TRANSFORMER (HYDRO)
- CATCH BASIN (SEE CIVIL)
- GAS METER & PAD (SEE MECHANICAL)
- LIGHT STANDARD (SEE ELECTRICAL)
- EV CHARGE STATION (SEE ELECTRICAL)
- BARBIER-FREE PARKING
- VEHICULAR TRAFFIC DIRECTION
- CURB
- DEPRESSED CURB
- LANDSCAPE PLANTING: SEE LANDSCAPE
- TYPICAL BIKE RACK
- TYPICAL PARKING
- TYPICAL BF PARKING (TYPE A)

GENERAL SITE PLAN NOTES:

TOPOGRAPHICAL INFORMATION:
PART OF BLOCK 1 REGISTERED PLAN 4M-1563
GEOGRAPHIC TOWNSHIP OF MARCH
CITY OF OTTAWA
SURVEY BY: STANTEC GEOMATICS LTD.
BY LAW NUMBER: 2008-250

SITE AND BUILDING DATA:
NEW SITE SUB-DIVISION AREA: 4,824 m²

BUILDING HEIGHT:
MINIMUM HEIGHT: N/A
MAXIMUM HEIGHT: 45M
BUILDING HEIGHT PROVIDED: 9.25M

AREAS:
GROSS BUILDING AREA (1) 1270 m² 13668.84 ft²
GROSS FLOOR AREA (2) 1079 m² 11609.94 ft²
(*) SEE GROSS BUILDING AREA NOTES BELOW

GENERAL NOTES:
1. FOR PAVED SURFACES, GRADING, SITE SERVISING, DRAINAGE EROSION AND SEDIMENT CONTROL, REFER TO CIVIL DRAWINGS.
2. FOR PLANTING DETAILS, REFER TO LANDSCAPE DRAWINGS.
3. GROSS BUILDING AREA (1) (ONTARIO BUILDING CODE DEFINITION): THE TOTAL AREA OF ALL FLOORS ABOVE GRADE MEASURED BETWEEN THE OUTSIDE SURFACES OF EXTERIOR WALLS.
4. GROSS FLOOR AREA (2) (CITY OF OTTAWA ZONING BYLAW): DEFINITION FOR THE PURPOSE OF DETERMINING PARKING REQUIREMENTS: GROSS LEASABLE FLOOR AREA MEANS THE TOTAL FLOOR AREA DESIGNED FOR TENANT OCCUPANCY AND EXCLUSIVE USE, MEASURED FROM THE INTERIORS OF OUTSIDE WALLS EXCLUDING FLOOR AREA OCCUPIED BY PARTY WALLS AND:
EXCLUDING:
1. INTERIOR PARKING / LOADING (DRIVE THRU).
2. FLOOR AREA OCCUPIED BY SHARED MECHANICAL, SERVICE AND ELECTRICAL EQUIPMENT THAT SERVE THE BUILDING, (BY-LAW 2008-328)
3. COMMON HALLWAYS, CORRIDORS, STAIRWELLS, ELEVATOR SHAFTS AND OTHER VOIDS, STEPS AND LANDINGS, (BY-LAW 2008-328)
4. BICYCLE PARKING, MOTOR VEHICLE PARKING OR LOADING FACILITIES, COMMON LAUNDRY, STORAGE AND WASHROOM FACILITIES THAT SERVE THE BUILDING OR TENANTS.
5. COMMON STORAGE AREAS THAT ARE ACCESSORY TO THE PRINCIPAL USE OF THE BUILDING, (BY-LAW 2008-328)
6. COMMON AMENITY AREA AND PLAY AREAS ACCESSORY TO A PRINCIPLE USE ON THE LOT, AND (BY-LAW 2008-328) LIVING QUARTERS FOR A CARETAKER OF THE BUILDING.

ZONING:
ZONING DESIGNATIONS (PART 10):
EXISTING ZONING: MC MIXED USE CENTRE H(45)

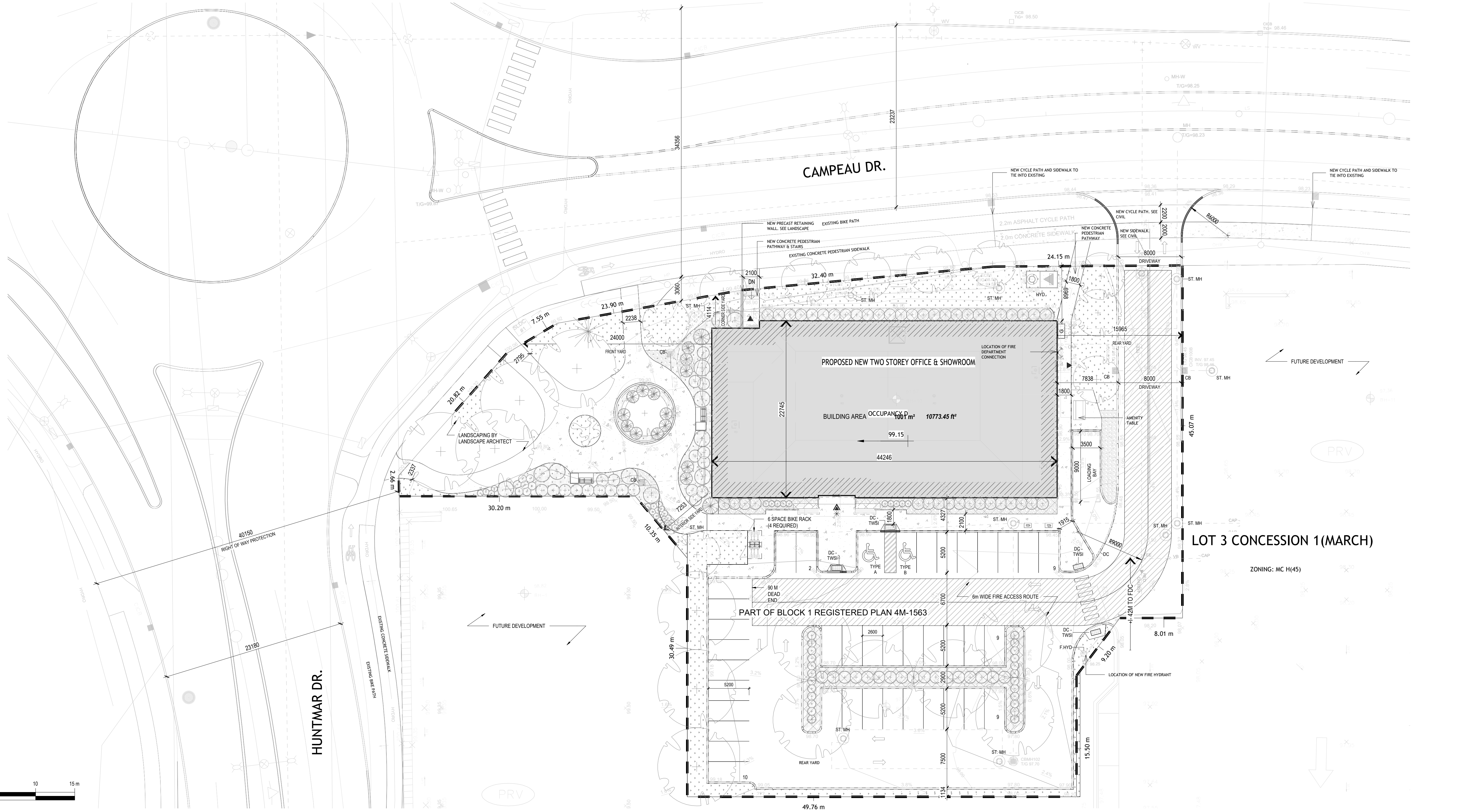
GENERAL NOTES

- DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO TAKE INTO ACCOUNT DISCREPANCIES TO THE ARCHITECT PROMPTLY.
- GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE. GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
- ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (O12) OR NATIONAL BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS.
- DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.

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ISSUE RECORD

NO.	DESCRIPTION	DATE
1	SITE PLAN APPLICATION UPDATE	2025-10-15
2	SITE PLAN APPLICATION UPDATE	2025-01-27
3	SITE PLAN APPLICATION UPDATE	2025-03-06



PROVISIONS

REQUIRED	PROVIDED
MINIMUM LOT WIDTH (m):	NO MIN. IRR
MINIMUM LOT AREA (m ²):	NO MIN. 4625 M ²
MINIMUM FRONT YARD SETBACK:	NO MIN. 24 M
MINIMUM REAR YARD SETBACK:	NO MIN. 15.9 M
MINIMUM INTERIOR SIDE YARD SETBACK:	NO MIN. 7.2 M
MINIMUM CORNER SIDE YARD SETBACK:	NO MIN. 4.1 M
MAXIMUM FLOOR SPACE INDEX:	NO MAX. 0.24

LANDSCAPING (SECTION 110):
REQUIRED FRONT AND CORNER SIDE YARDS TO BE LANDSCAPED, EXCEPT FOR DRIVEWAYS CROSSING THE FRONT OR CORNER SIDE YARD LEADING TO PARKING AREA

PARKING AREA (HARDSCAPE)	LANDSCAPE AREA PROVIDED	MIN. LANDSCAPE REQUIREMENT OF 1%
2396 m ²	359.3 m ²	
	LANDSCAPE AREA PROVIDED	
	1328 m ²	

VEHICLE PARKING (SECTION 101):
OFFICE (N50): [2.4 Per 100 m²] = 1126m² x 0.034
MINIMUM REQUIRED: 26
PARKING FOR THE PHYSICALLY DISABLED (PARKING BYLAW 2003-530, SECTION 122):
MINIMUM REQUIRED: - No. [1x TYPE 'A' 1x TYPE 'B']
NUMBER PROVIDED: - No. [1x TYPE 'A' 1x TYPE 'B']

(*) PARKING PROVIDED: PARKING BAY TYPE:
PARK-5-2X2-6 1 SITE PARKING 37
PARK-BF-5-2X3-4-TYPE-A 2 BARRIER FREE BAY TYPE A 1
PARK-BF-5-2X2-6-TYPE-B 3 BARRIER FREE BAY TYPE B 1
PARKING TOTAL PROVIDED: 39 (2 EV)

BICYCLE PARKING (SECTION 111):
MINIMUM REQUIRED (OFFICE): [1 / 250m²] = 1085 / 250 = 4
NUMBER PROVIDED: 6

LOADING ZONE (SECTION 113):
MINIMUM REQUIRED: 1' [3.5M x 9M]
NUMBER PROVIDED: 1

CLIENT:
MINTO GROUP
200 1801 KENT STREET, OTTAWA, ON, K1P 0B6
TEL: 613-404-4235

CONSULTANTS

STRUCTURAL CONSULTANT
ENTUITIVE ENGINEERS
TEL: 613-500-6219

MECHANICAL CONSULTANT
SMITH + ANDERSEN
TEL: 613-891-0266

ELECTRICAL CONSULTANT
SMITH + ANDERSEN
TEL: 613-891-0266

CIVIL CONSULTANT
ARCADIS
TEL: 613-795-5610

LANDSCAPE CONSULTANT
JAMES B. LENNOX & ASSOCIATES INC.
TEL: 613-722-9188

DCA
A GROUP OF ARCHITECTS
201-1339 WELLINGTON ST. WEST OTTAWA, ON K1Y 3B8
WWW.ARCHITECTSDCA.COM 613-725-2294

PROJECT TITLE:
MINTO DESIGN CENTRE

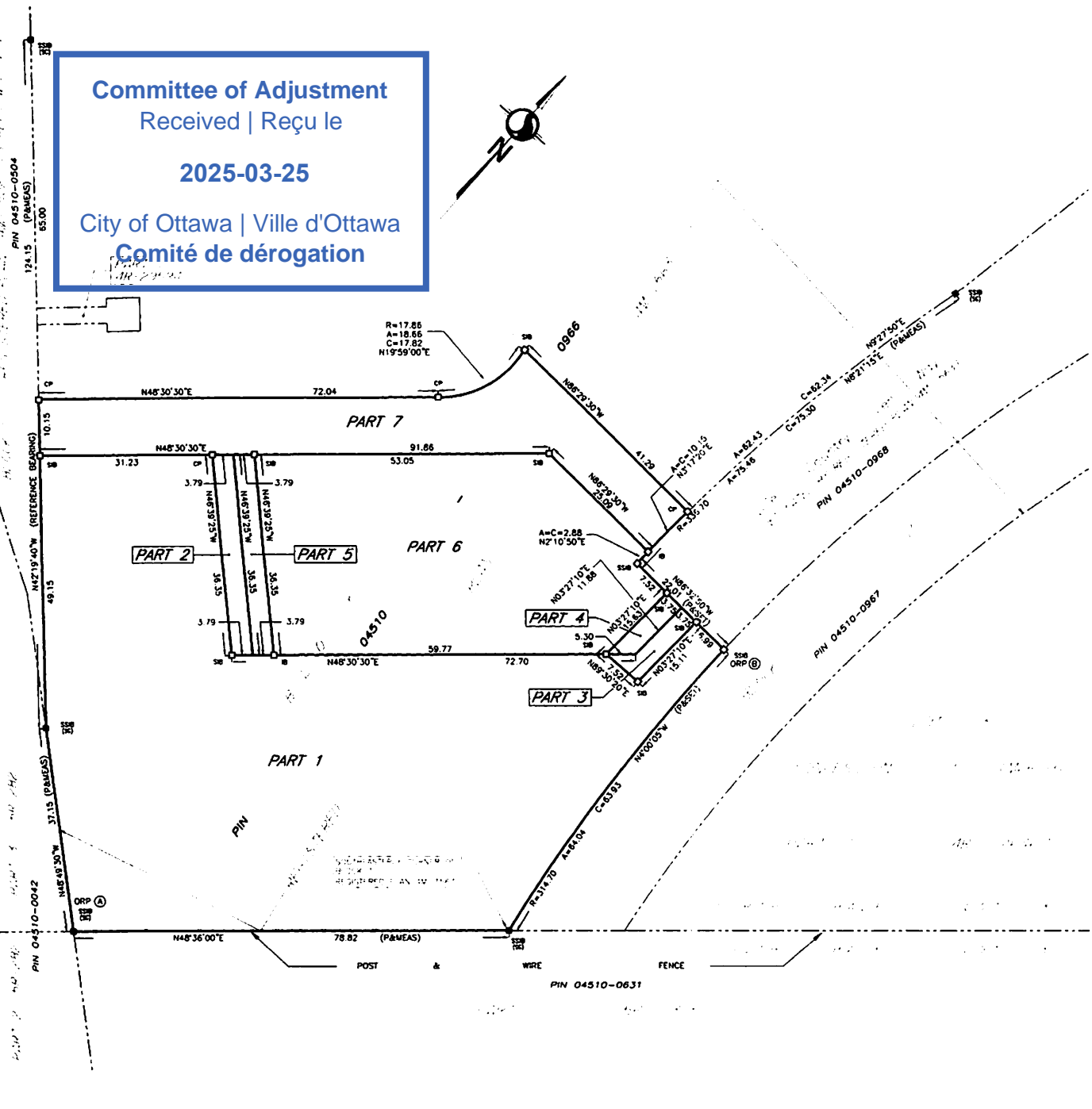
DRAWING TITLE:
SITE PLAN (SPA)

DATE	DRAWN	JOB NO.	DRAWING NO.
2025-01-17	As indicated	3622	A100

ARCHITECTURAL

D07-12-24-0148

Committee of Adjustment
 Received | Reçu le
2025-03-25
 City of Ottawa | Ville d'Ottawa
 Comité de dérogation



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE Nov 23/17

BJS
 BRIAN J. WEBSTER
 ONTARIO LAND SURVEYOR

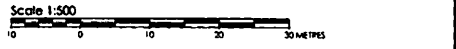
PLAN 4R-30733
 RECEIVED AND DEPOSITED

DATE November 23, 2017

William
 REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF OTTAWA-CARLETON No. 4

SCHEDULE			
PART	BLOCK	PLAN	PIN
1	PART OF 1	4M-1563	PART OF 045100966
2			
3			
4			
5			
6			
7			

PLAN OF SURVEY of
PART OF BLOCK 1
REGISTERED PLAN 4M-1563
CITY OF OTTAWA



METRIC CONVERSION
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

GRID SCALE CONVERSION
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999914.

BEARING NOTE
 BEARINGS SHOWN HEREON ARE MTM GRID AND ARE REFERRED TO THE WESTERLY LIMIT OF REGISTERED PLAN 4M-1563, HAVING A BEARING OF N42°19'40\".

OBSERVED REFERENCE POINTS DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET VIRTUAL REFERENCE STATION NETWORK:
 3rd MTM ZONE 9, NAD83 (FORGNAL1) (1997.0),
 COORDINATES TO URBAN ACCURACY PER SEC 142B OF O.P.R.G. 2/14/10

ORP ID	NORTHING	EASTING
①	S017851.66	349257.73
②	S017981.56	349312.39

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND

SYMBOL	DENOTES	FOUND MONUMENTS
■	SET MONUMENTS	
IB#	IRON BAR	
IB#	ROUND IRON BAR	
SIB	STANDARD IRON BAR	
SSIB	SHORT STANDARD IRON BAR	
CC	CUT CROSS	
CP	CONCRETE PIN	
WIT	WITNESS	
PIN	PROPERTY IDENTIFICATION NUMBER	
MEAS	MEASURED	
PROP	PROPORTIONED	
OU	ORIGIN UNKNOWN	
SS	STANTEC GEOMATICS LTD.	
ORP	OBSERVED REFERENCE POINT	
P	REGISTERED PLAN 4M-1563	

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 16th DAY OF NOVEMBER, 2017.

Nov 23/17
 DATE

BJS
 BRIAN J. WEBSTER
 ONTARIO LAND SURVEYOR

Stantec
 CANADA LAND SURVEYORS
 ONTARIO LAND SURVEYORS
 151 CLYDE AVENUE, SUITE 400
 OTTAWA, ONTARIO K1R 5S4
 TEL: 613 722 4420 FAX: 613 722 2799
 stantec.com

DRAWN: CEC CHECKED: FP PLOT: FP/BW REVD: CA PROJECT NO.: 161613058-114

APPROVED UNDER SECTION 51 OF THE PLANNING ACT BY THE CITY OF OTTAWA THIS 21 DAY OF April, 2016

MICHAEL MIZZI, MCIP, RPP, ACTING GENERAL MANAGER
PLANNING AND GROWTH MANAGEMENT DEPARTMENT
PLANNING AND INFRASTRUCTURE PORTFOLIO
CITY OF OTTAWA

CERTIFICATE OF REGISTRATION
PLAN 4M-156-3

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF OTTAWA-CARLETON NO.4 AT 3:30 O'CLOCK ON THE 26 DAY OF April 2016 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER 0450-0604 AND THAT THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NUMBER 021781944.

F. Lamont
REPRESENTATIVE FOR THE LAND REGISTRAR

THIS PLAN COMPRISES PART OF THE LAND IDENTIFIED BY PIN 04510-0604.

PLAN OF SUBDIVISION of
PART OF LOT 3
CONCESSION 1
GEOGRAPHIC TOWNSHIP OF MARCH
CITY OF OTTAWA

Scale 1 : 750
30 22.5 15 7.5 0 15 30 Metres

METRIC CONVERSION
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

GRID SCALE CONVERSION
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999914.

BEARING NOTE
BEARINGS HEREON ARE GRID BEARINGS DERIVED FROM THE CAN-NET VRS NETWORK MONUMENT - OTTAWA - (N 5036741.327, E 327757.614) AND FITZROY (N 5036741.327, E 327757.614) AND ARE REFERRED TO THE CENTRAL MERIDIAN 76° 30' WEST LONGITUDE OF THE 3° MTM ONTARIO COORDINATE SYSTEM, NAD83 (ORIGINAL) ZONE 9.

OBSERVED REFERENCE POINTS DERIVED FROM GPS OBSERVATIONS USING THE CAN-NET VIRTUAL REFERENCE STATION NETWORK:
HTM ZONE 9, NAD83 (ORIGINAL)
COORDINATES TO URBAN ACCURACY PER SEC 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
(A)	5018037.34	349095.66
(B)	5018201.04	349332.80

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 24th DAY OF FEBRUARY, 2015.

April 9/15
DATE
Brian J. Webster
BRIAN J. WEBSTER
ONTARIO LAND SURVEYOR

OWNER'S CERTIFICATE
THIS IS TO CERTIFY THAT:
1. BLOCKS 1 AND 2 INCLUSIVE, THE STREET, NAMELY voie Country Glen Way HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.
2. THE STREET IS DEDICATED AS PUBLIC HIGHWAY.

MINTO COMMUNITIES INC.
DATED: 04/16/16
Susan Murphy
SUSAN MURPHY
VICE PRESIDENT,
DEVELOPMENT
I HAVE THE AUTHORITY
TO BIND THE CORPORATION

DATE: 04/16/16
Brent Strachan
BRENT STRACHAN
SENIOR VICE PRESIDENT,
MINTO COMMUNITIES ONTARIO
I HAVE THE AUTHORITY
TO BIND THE CORPORATION

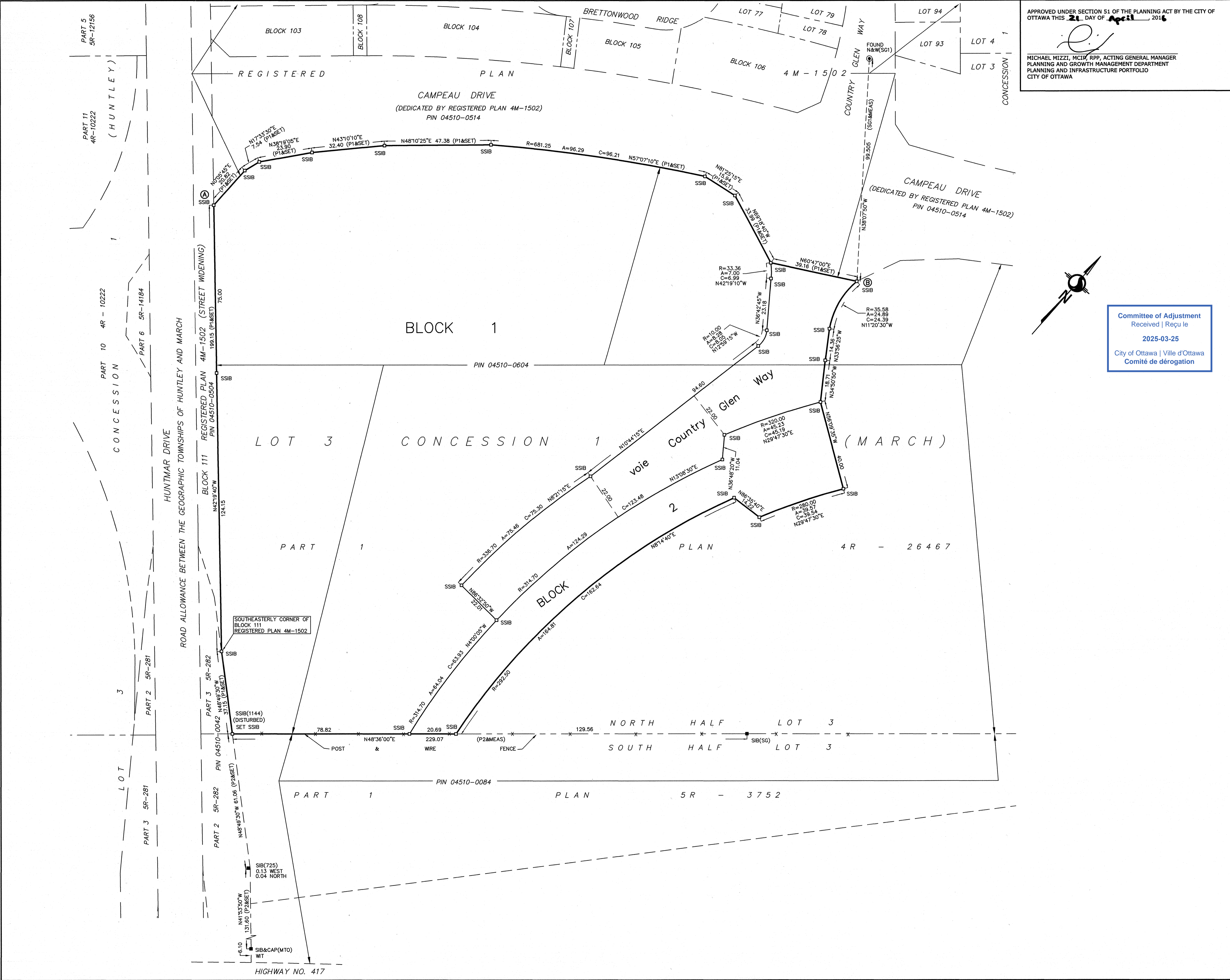
LEGEND

SYMBOL	DENOTES	FOUND MONUMENTS
■	SET MONUMENTS	IRON BAR
□	IRON BAR	ROUND IRON BAR
180	STANDARD IRON BAR	SHORT STANDARD IRON BAR
IB	CUT CROSS	CONCRETE PIN
SIB	NAIL & WASHER	WITNESS
SSIB	PROPERTY IDENTIFICATION NUMBER	MEASURED
CC	PROPORTIONED	ORIGIN UNKNOWN
CP	REGISTERED PLAN 4M-1502	STANTEC GEOMATICS LTD.
N&W	PLAN 4R-26467	SG COORDINATE FILE PER 4M-1502
WIT		
PIN		
MEAS		
PROP		
CU		
SG		
P1		
P2		
SG1		

ALL SET MONUMENTS SHOWN HEREON ARE IRON BARS (IB) UNLESS OTHERWISE NOTED.

Stantec Geomatics Ltd.
Ontario Land Surveyors
Canada Lands Surveyors
1331 CLYDE AVENUE, SUITE 400, OTTAWA, ON. K2C 3G4
PHONE (613)722-4420 FAX (613)722-2799
brian.webster@stantec.com
stantec.com

DRAWN BY: CEC/ME | CHECKED BY: BL/PM: BW | FIELD: AL | PROJECT No.: 161613058-132

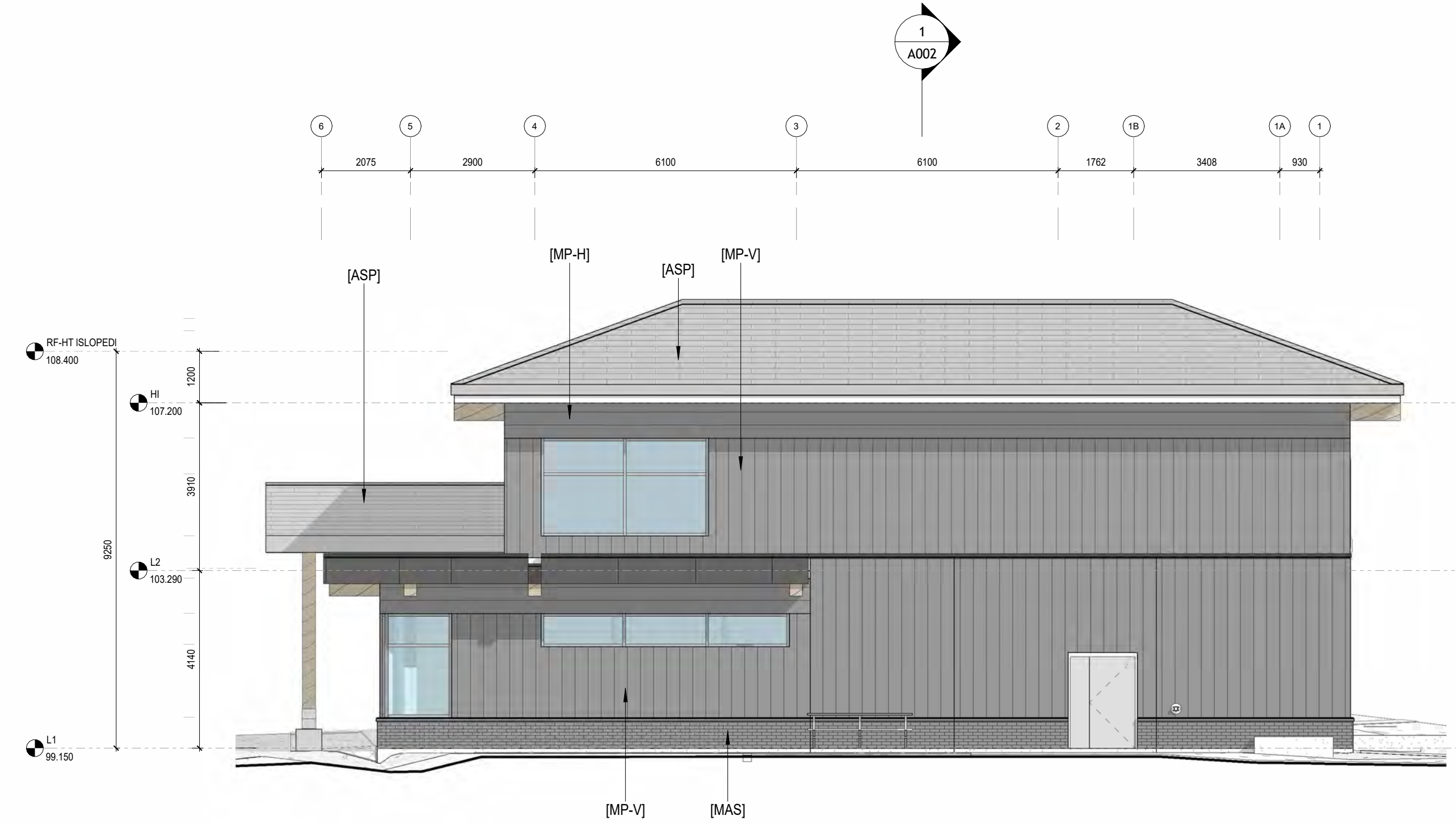


Committee of Adjustment
Received | Reçu le
2025-03-25
City of Ottawa | Ville d'Ottawa
Comité de dérogation

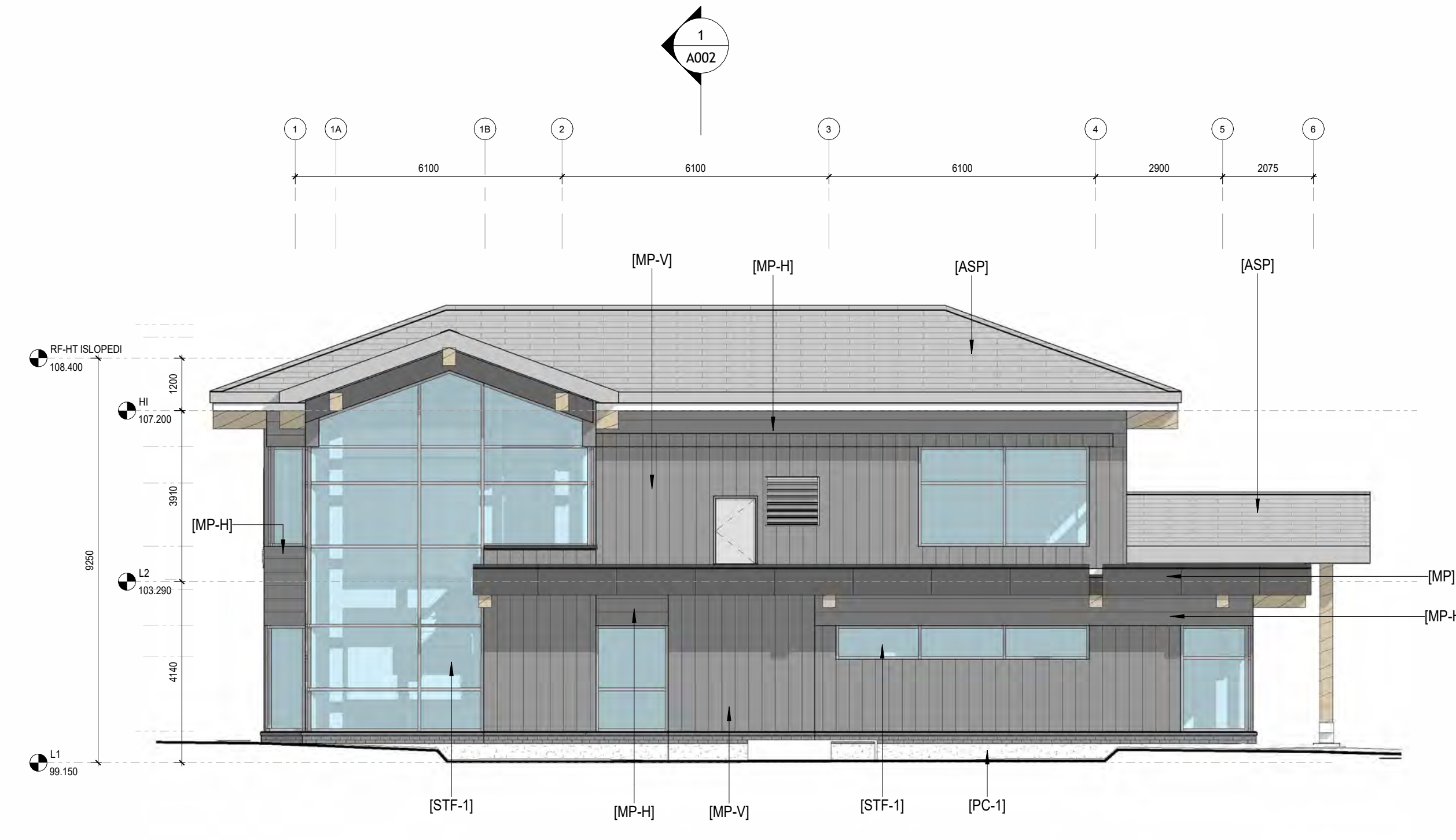
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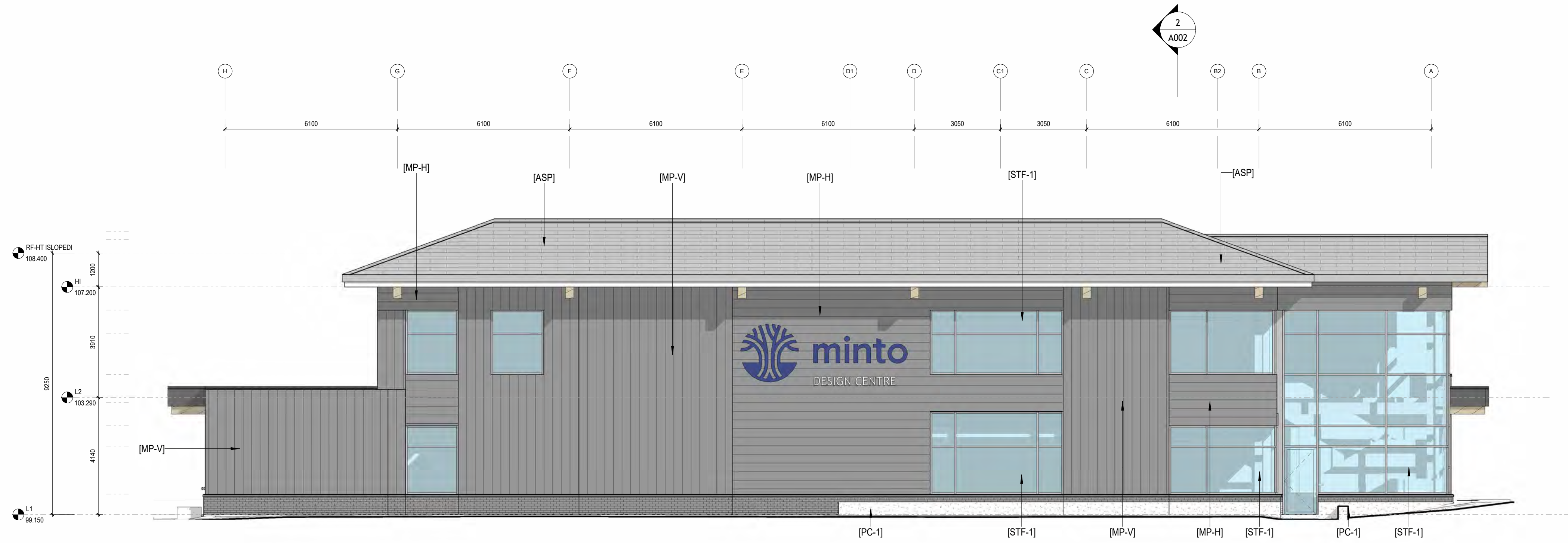
1 SOUTH ELEVATION (SPA)
SCALE: 1:100
1:100




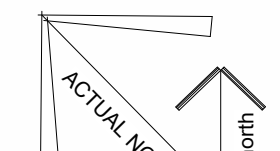
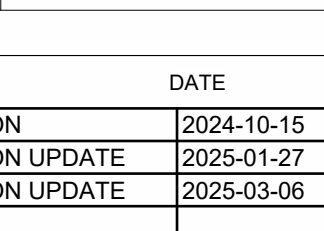
2 EAST ELEVATION (SPA)
SCALE: 1:100
1:100



3 WEST ELEVATION (SPA)
SCALE: 1:100
1:100



4 NORTH ELEVATION (SPA)
SCALE: 1:100
1:100

ELEVATION LEGEND:		GENERAL NOTES	
[MP]	METAL PANEL. SEE SPECIFICATIONS.	1.	DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS, FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
[MP-H]	HORIZONTAL METAL SIDING.	2.	IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.
[MP-V]	VERTICAL METAL SIDING.	3.	GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE. GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
[MP-WG]	HORIZONTAL METAL SIDING (WOOD GRAIN).	4.	ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (OBC) OR NATIONAL BUILDING CODE (NBC) INCLUDING MOST RECENT AMENDMENTS.
[ASP]	ASPHALT SHINGLE.	5.	DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.
[PFC]	PREFINISHED METAL CAP.	COPYRIGHT	
[PFM]	PREFINISHED METAL.	THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS PROTECTED BY COPYRIGHT AND IS THE SOLE PROPERTY OF ARCHITECTS DCA INC. COPIES, INCLUDING ELECTRONIC COPIES MAY ONLY BE USED FOR THE PURPOSE INTENDED, FOR THE SINGLE PROJECT FOR WHICH THEY ARE ISSUED AND MAY NOT BE OFFERED FOR SALE OR TRANSFER WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.	
[MAS]	MASONRY VENER.		
[PC-1]	PRECAST CONCRETE. SEE STRUCTURAL.		
[STF-1]	CURTAINWALL STOREFRONT GLAZING.		
[CWM]	CURTAIN WALL WINDOW. SEE SCHEDULE.		

ISSUE RECORD		
NO.	DESCRIPTION	DATE
1	SITE PLAN APPLICATION	2025-10-15
2	SITE PLAN APPLICATION UPDATE	2025-01-27
3	SITE PLAN APPLICATION UPDATE	2025-03-06

CLIENT
MINTO GROUP
200 180 KENT STREET, OTTAWA, ON, K1P 0B6
TEL: 613-404-4235

CONSULTANTS
STRUCTURAL CONSULTANT
ENTUITIVE ENGINEERS
TEL: 613-500-6219

MECHANICAL CONSULTANT
SMITH + ANDERSEN
TEL: 613-891-0266

ELECTRICAL CONSULTANT
SMITH + ANDERSEN
TEL: 613-891-0266

CIVIL CONSULTANT
ARCADIS
TEL: 613-785-5610

LANDSCAPE CONSULTANT
JAMES B. LENNOX & ASSOCIATES INC.
TEL: 613-722-9168

DCA
A GROUP OF ARCHITECTS
201-1338 WELLINGTON ST. WEST OTTAWA, ON K1V 3B8
WWW.ARCHITECTSDCA.COM 613-725-2294

PROJECT TITLE
MINTO DESIGN CENTRE

DRAWING TITLE
ELEVATIONS (SPA)

DATE	DRAWN	JOB NO.	DRAWING NO.
2025-01-17	As Indicated	3622	A400

ARCHITECTURAL